

W-22-17
SERVICE 34179

Sewer 25071

EXP 8-18-2023
NEW BEDFORD WATER WORKS

APPLICATION FOR SERVICE AND METER

NEW BEDFORD 8-18-2022

I HEREBY ACKNOWLEDGE the receipt of a copy of the Regulations prescribed in the Ordinance of the City, for the use of Water, and I request that the water may be furnished through a

1" inch Copper meter at E.S. Farland Circle

PROD L 482

at such rates as may from time to time be established by the City.

I hereby agree to pay promptly the bill for the Service pipe laid down for my premises, and to pay all dues for water, and I agree to conform to the said Regulations and to all provisions of the Water Ordinances, until written notice is given by me or my agent to cut off the supply.

Single Family

Heavenly Bodies, 4 John Whittier, Dartmouth, MA 02747

TELEPHONE 508-989-9043

Service laid, Jives LLC

Size and kind of pipe 1" Copper

From Existing curb stop @ location connected to 8" DI. watermain on Farland St. Circle

Turned on Meter Set

Reading Location

Building rates Paid

Cost of Service \$500.00 V# 1017 Paid

31-727

09.02.2022 Install new service 1" Copper
Contractor Jives; Inspector Percy Reynolds
S X S LINE FARLAND CIRCLE NORTH 142.0'
W X E LINE FARLAND CIRCLE WEST 7.0'
S X N LINE GARAGE 45.0'
N X S LINE HOUSE .5'
W X W LINE HOUSE 32.0'
MAIN TO PROPERTY LINE 33.0'
PIPE INSIDE PROPERTY 27.0'

KEVIN J PONTE
4 JOHN WINTHROP ST
NORTH DARTMOUTH, MA 02747

1017
53-7223/2113
9613

8/18/22

Date

CHECK ARMOR
FRAUD PROTECTION

Pay to the
Order of

City of New Bedford \$ 500.00

five hundred

00 Dollars

Photo
Safe
Deposit®
Details on back

BayCoast
BANK

For Ferndale lot #27 water

[Signature]

MP

⑆ 211372239⑆ 841009443⑆ 01017

Harland Clarke

INTOUCH® CUSTOM CREATIONS®

DISPLAY PERMIT IN A CONSPICUOUS PLACE ON THE PREMISES



Commonwealth of Massachusetts

City of New Bedford

133 William Street New Bedford, MA 02740

WATER SERVICE PERMIT



Date: 9/8/2022

No. **W-22-17**

Permit Fee: \$500.00

Service Location: WS- FARLAND CRC

Owner Name: PONTE KEVIN JCLAYTON BROOKE

Owner Phone #: (508) 989-9043

Type of Occupancy: Residential

Type of Work: Water - Domestic New 1"

Work Description: water service# 34179

**1" copper service,
existing curbstop @ location connected to 8"DI water main on Farland Circle**

Contractor

Name: _____ Certificate #: _____ Type of Business : _____

Address: _____ City/Town/State: _____ Phone #: _____

Type of Service _____ Pipe Size _____ Trench Length: **0.00**

Fire Service _____

Domestic Service _____

Estimated consumption of water

Estimated average daily consumption 0.00 gallons

Cross Connection? **No**

Estimated maximum day consumption 0.00 gallons

Right of Way? **No**

Are lawn sprinklers and/or lawn irrigation proposed on site? **No**

Meter Impact? **No**

Estimated fire flows required for the project site: 0.00

Street Opening Permit Required? **No**

Does the project require a fire suppression system? **No**

Required minimum static pressure for the proposed project site 0.00

Call Phone: (781) 942-9077 For Inspection

DISPLAY PERMIT IN A CONSPICUOUS PLACE ON THE PREMISES



Commonwealth of Massachusetts

City of New Bedford

133 William Street New Bedford, MA 02740



WATER SERVICE PERMIT
GRANTED WITH THE USUAL CONDITIONS

Water

COMMISSIONER

Call Phone: (781) 942-9077 For Inspection



Commonwealth of Massachusetts

CITY OF NEW BEDFORD

City Hall, Room 308, 133 William Street New Bedford, MA 02740 (508) 979-1540



FOUNDATION PERMIT

6/28/2022

No. **B-22-1365**

MSBC Sect. 111.8 - Any permit issued shall be deemed abandoned and invalid unless the work authorized by it shall have been commenced within six (6) months after its issuance.

FEE PAID \$100.00

This certifies that Lionel P. Barbosa

owner/contractor has permission to:

WS-

FARLAND CRC

on:

130D

-482

Foundations Only 1-2 Family - 100.00

Providing that the person accepting this permit shall in every respect conform to the terms of application therefore on file in this office; to the provisions of the statute of the Commonwealth and to the by-laws of the City of New Bedford relating to the inspection, erection, enlarging, altering, raising, moving, repairing, or tearing down of a building.

Permit is issued subject to the following special requirements: (Restrictions)



Wiring Inspector



Plumbing Inspector



Building Inspector

YOUR AREA INSPECTOR IS: Thomas Welch

Tel. (508) 979-1540 Between 8:00am - 9:00am

NOTICE: NOTIFY INSPECTOR 48 HOURS IN ADVANCE OF APPLYING SHEATHING OR LATHING

OCCUPANCY PERMIT REQUIRED BEFORE OCCUPANCY

No Building or Structure shall be used or occupied until the Certificate of Use and Occupancy shall have been issued by the Building Commissioner - MSBC, Sect. 120.1

This Card Must Be Displayed in a Conspicuous Place on the Premises and Not Torn Down or Removed Until Completion of Work

SUBJECT TO MASSACHUSETTS
STATE BUILDING CODE

Danny D. Bonaventura Jr.

Plan Review Comments: :

: Any changes, alterations, removal, or installation of any plumbing or gas fixture will require a permit. All work to conform to 248 CMR

- : 1. Sewer service to be 10 ft away from water service.
2. Water service to be perpendicular (90 degrees) from main to inside building.
3. Water curb stop (shut -off) to be 1.5ft from face of curb/pavement.
4. Install water meter at point of entry to building.
5. Owner to apply for water and sewer permits.

: TB-22-1365
E.S. Farland Circle
Assessors Map 130D, Lot: 482
Permit Type: foundation for 1-2 Family
Reviewed: 6-24-2022 by S.Crampton

Site plan submitted via email on 6-15-2022 (dated June 25, 2020) has been reviewed and Conditionally Approved by DPI with the following comments:

1. Engineer to revise site plan, per comments listed below:
 - a) Label of existing "water gate" for service tie-in to be labeled as "curb stop"
 - b) Provide topography/elevations for the backyard
 - c) Bearing for the easterly lot line is incorrect. Bearing labeled is for lot 487, not 482. Update plan accordingly.
 - d) Add additional labeling to identify loam & seed area, patios, walkways, etc.
 - e) Stormwater calculations to revised. Must include all impervious area (foundation footprint, driveway, patios, etc.)
 - f) Record Owner callout at bottom lefthand side of the page is incorrect. Update to current owner on file.
 - g) Notes #4 pertaining to sump pump tie in to revised to state the following: " IF SUMP PUMP IS INSTALLED, A CONCRETE LIP MUST BE INSTALLED AROUND THE SUMP PUMP AND A RELEASE OF LIABILITY FORM TO BE FILED WITH THE CITY OF NEW BEDFORD DEPT. OF PUBLIC INFRASTRUCTURE BY THE PROPERTY OWNER."
2. Applicant will not be able to file for DPI permits until revised plans have been submitted and approved by DPI Engineering.
3. Applicant is responsible for providing Inspection Services with the "final" site plan approved by DPI to be placed on file in the View Permit system for record/review by other City departments.
4. Applicant to request address measurement for legal address number assignment for this new single family home. Contact DPI Engineering once main entry doorway has been framed. Address number to be permanently affixed on, above, or next to the main entrance door such that it is highly visible from the street at all times, in accordance with DPI specifications.

: TB-22-1365
Foundation Permit
WS Farland Circle
Plot 130D, Lot 482

Review Date: 5-19-22
Reviewed By: S.Crampton

DPI Engineering review requires the proposed site plan be resubmitted. The scanned file of the site plan uploaded to ViewPermit is illegible. DPI cannot review the plan as is.

: Erect a 46'x 30 ' foundation for a single family dwelling as per plan submitted

TB-22-1365

E.S. Farland Circle

Assessors Map 130D, Lot: 482

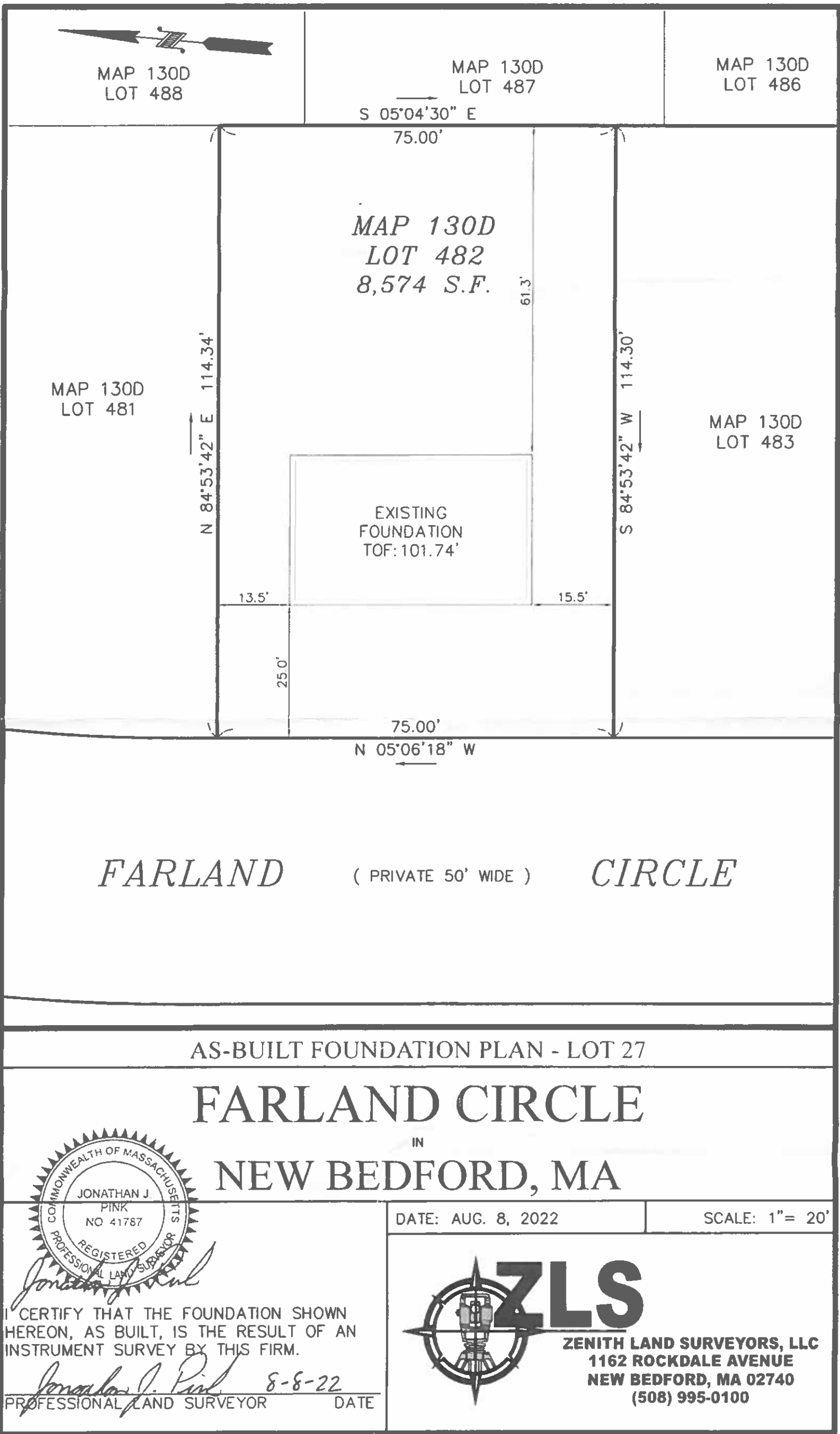
Permit Type: foundation for 1-2 Family

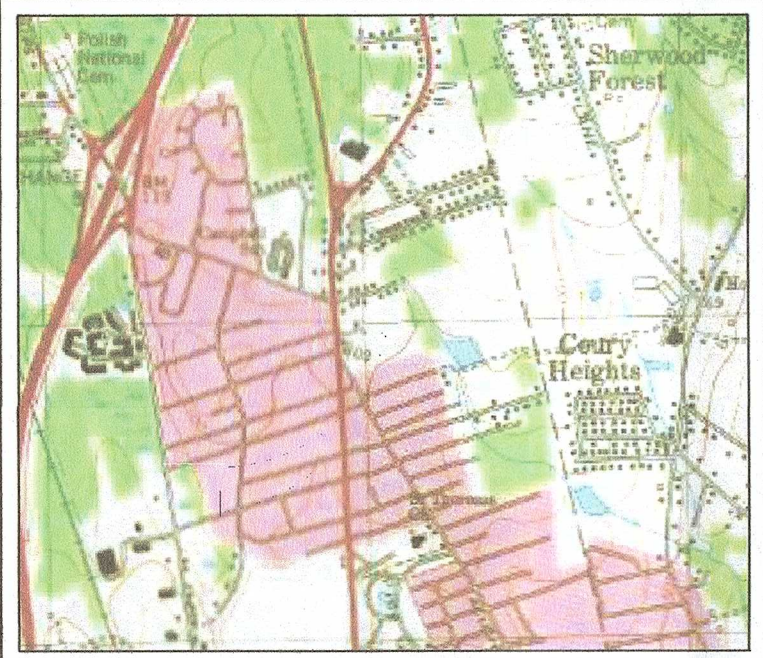
Reviewed: 6-24-2022 by S.Crampton

Approved plan dated 8/11/2022 last revision accepted by Stephanie 8/18/2022

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SCALE: 1"=2,000'±

SUBSURFACE ROOF RECHARGE UNIT SIZING CALCULATIONS:

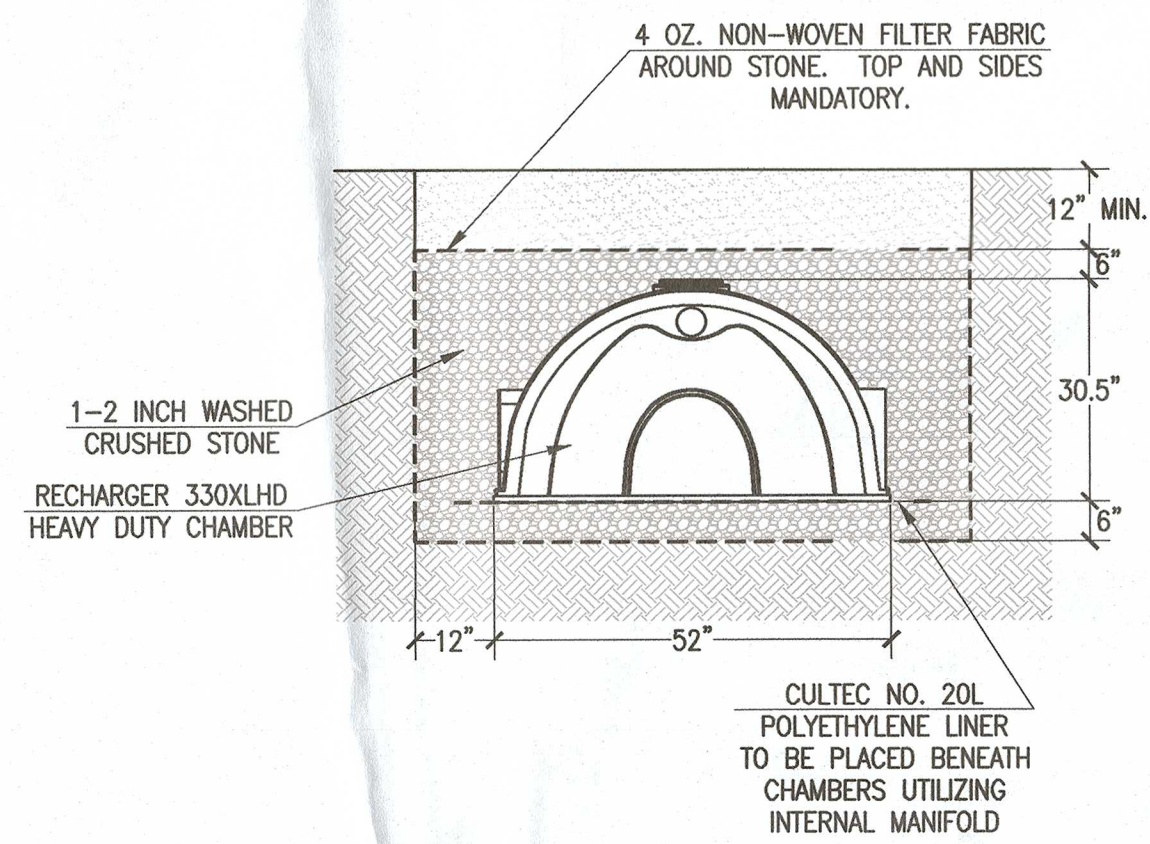
INFLOW AREA = 644 SF, 100.00% IMPERVIOUS, INFLOW DEPTH = 6.76" FOR 100-YEAR STORM EVENT
INFLOW = 0.10 CFS @ 12.09 HRS, VOLUME= 363 CF
OUTFLOW = 0.01 CFS @ 11.65 HRS, VOLUME= 363 CF, ATEN= 87%, LAG= 0.0 MIN
DISCARDED = 0.01 CFS @ 11.65 HRS, VOLUME= 363 CF

ROUTING BY STOR-IND METHOD, TIME SPAN= 0.00-30.00 HRS, DT= 0.05 HRS
PEAK ELEV= 100.04' @ 12.63 HRS SURF.AREA= 66 SF REQUIRED STORAGE= 108 CF

VOLUME INVERT AVAILABLE STORAGE STORAGE DESCRIPTION
#1 97.35' 69 CF 6.33'W X 10.50'L X 3.54'H PRISMATOID X 1
236 CF OVERALL - 63 CF EMBEDDED = 172 CF X 40.0% VOIDS
#2 97.85' 63 CF 47.8'W X 30.0'H X 7.00'L PARABOLIC ARCH X 1 INSIDE #1
#3 100.40' 1 CF 0.33'D X 10.0'H VERTICAL CONE/CYLINDER-IMPERVIOUS

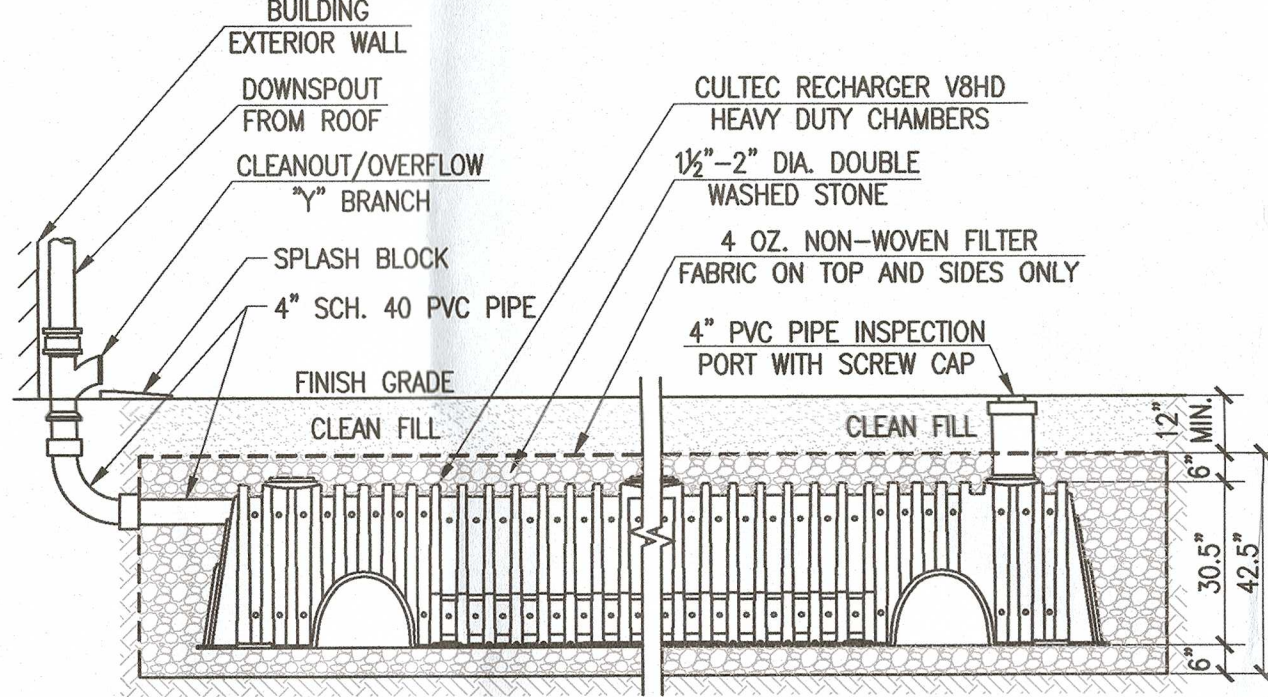
TOTAL AVAILABLE STORAGE = 133 CF >>> 108 CF

*PLEASE NOTE: THESE CALCULATIONS ARE PER UNIT. THERE ARE 2 UNITS ONSITE.



CULTEC RECHARGER 330XLHD STANDARD CROSS SECTION

NOT TO SCALE



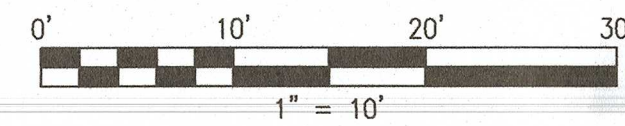
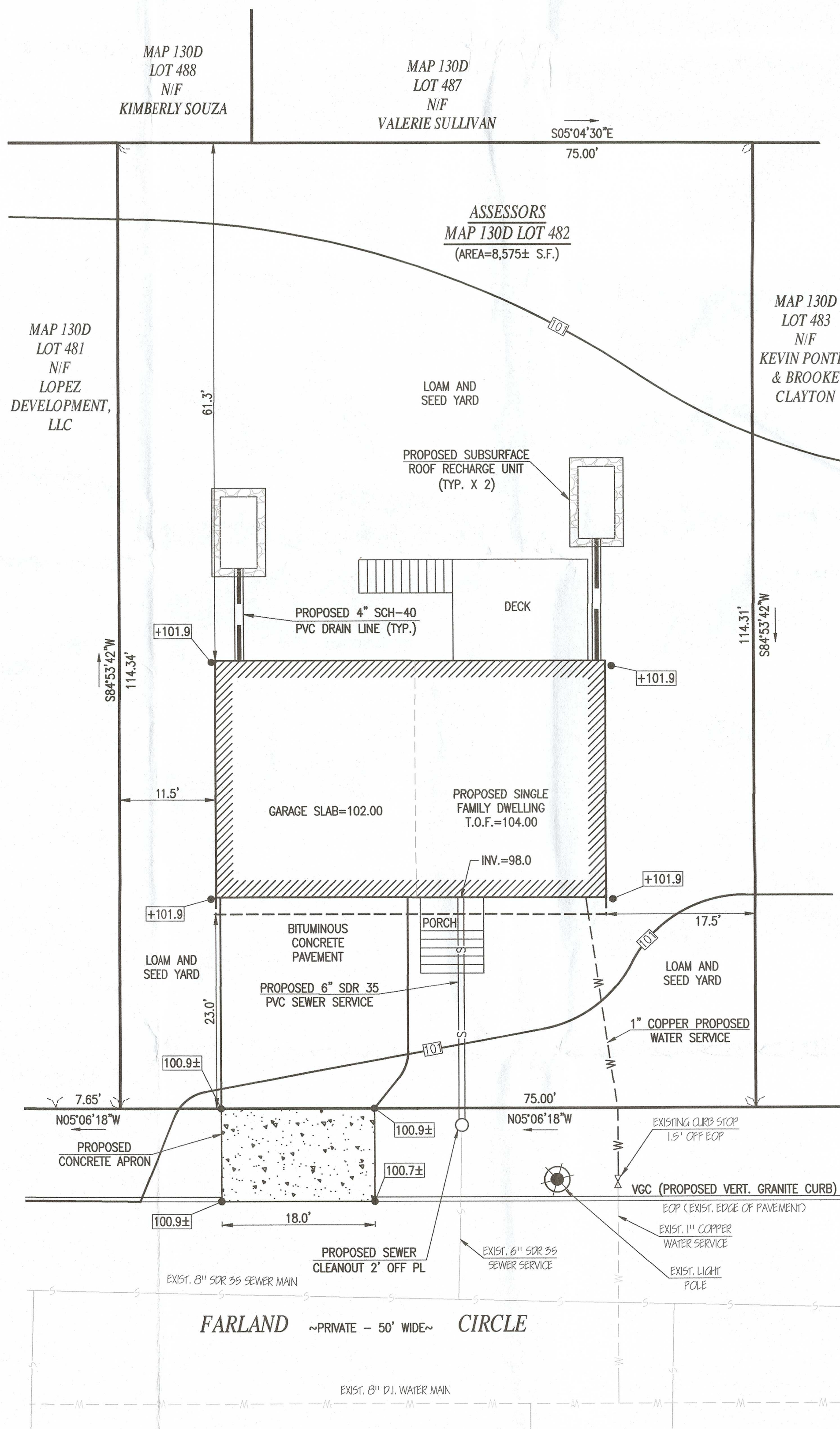
ROOF RECHARGE SYSTEM

NOT TO SCALE

RECORD OWNER:
ASSESSORS MAP 130D LOT 482
BROOKE CLAYTON & KEVIN PONTE
4 JOHN WINTHROP STREET
DARTMOUTH, MA 02747
DEED BOOK 13383 PAGE 281

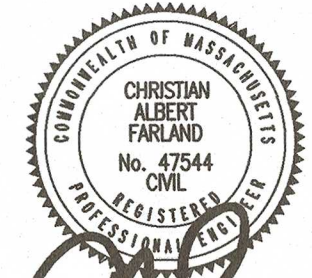
- NOTES:**
1. TOPOGRAPHIC AND PROPERTY LINE SURVEY PERFORMED BY FARLAND CORP. IN NOVEMBER OF 2017.
 2. PORTION OF DRIVEWAY BETWEEN EDGE OF ROADWAY AND PROPERTY LINE SHALL BE CONCRETE.
 3. ROOF RECHARGE SYSTEMS HAVE BEEN OVER DESIGNED TO WITHSTAND THE 100-YEAR STORM EVENT AND THE TIE-IN OF A SUMP PUMP SYSTEM, IF NECESSARY.
 4. IF SUMP PUMP IS INSTALLED, A CONCRETE LIP MUST BE INSTALLED AROUND THE SUMP PUMP AND A RELEASE OF LIABILITY FORM TO BE FILED WITH THE CITY OF NEW BEDFORD DEPT. OF PUBLIC INFRASTRUCTURE BY THE PROPERTY OWNER.

- ZONING DATA -		
DISTRICT: RA - RESIDENTIAL A		
DESCRIPTION	REQUIRED	PROVIDED
LOT AREA	8,000 S.F.	8,575± S.F.
LOT FRONTAGE	75 FT	75 FT
FRONT SETBACK	20 FT	23.0± FT
SIDE SETBACK	10/12 FT	11.5/17.5± FT
REAR SETBACK	30 FT	61.3± FT
BUILDING HEIGHT (MAXIMUM)	45 FT	30± FT
BUILDING COVERAGE (MAXIMUM)	30 %	15.0± %
LOT COVERAGE (MAXIMUM)	65 %	21.3± %



REVISIONS

NO.	DATE	DESCRIPTION
1	8/11/22	DPI COMMENTS



www.FarlandCorp.com

401 COUNTY STREET
NEW BEDFORD, MA 02740
P.508.717.3479
OFFICES IN:
•TAUNTON
•MARLBOROUGH
•WARWICK, RI

DRAWN BY: JT
DESIGNED BY: CAF/JT
CHECKED BY: CAF

SITE PLAN
— FARLAND CIRCLE —
ASSESSORS MAP 130D LOT 482
NEW BEDFORD, MASSACHUSETTS

PREPARED FOR:
BROOKE CLAYTON & KEVIN PONTE
4 JOHN WINTHROP STREET
DARTMOUTH, MA 02747

JUNE 25, 2020

SCALE: 1"=10'

JOB NO. 19-744.27

LATEST REVISION:

AUGUST 11 2022

SHEET 1 OF 1