

W-22-14
SERVICE 34176

Sewer: 25866

NEW BEDFORD WATER WORKS

APPLICATION FOR SERVICE AND METER

NEW BEDFORD

7-19-2022 to 7-19-2023

I HEREBY ACKNOWLEDGE the receipt of a copy of the Regulations prescribed in the Ordinance of the City, for the use of Water, and I request that the water may be furnished through a

1 inch Copper meter at Regent St (S.S.) 410' E x Tobey St

P. Bldg L 884

at such rates as may from time to time be established by the City.

I hereby agree to pay promptly the bill for the Service pipe laid down for my premises, and to pay all dues for water, and I agree to conform to the said Regulations and to all provisions of the Water Ordinances, until written notice is given by me or my agent to cut off the supply.

Single family

Fox & Olney Properties LLC 70 Sycamore St
New Bedford

TELEPHONE 508-733-5931

Service laid R.J. Caruso

Size and kind of pipe

1" Copper

From

Connecting to 8" AC water main on Regent

St.

Turned on

Meter Set

Reading

Location

Building rates

Paid

Cost of Service

500.00

Paid

check 2844

31-727

001

DISPLAY PERMIT IN A CONSPICUOUS PLACE ON THE PREMISES



Commonwealth of Massachusetts

City of New Bedford

133 William Street New Bedford, MA 02740

WATER SERVICE PERMIT



Date: 8/4/2022

No. **W-22-16**

Permit Fee: \$500.00

Service Location: SS- PEQUOT ST

Owner Name: FARIA & OLIVEIRA

Owner Phone #: (508) 733-5931

Type of Occupancy: Residential

Type of Work: Water - Domestic New 1"

Work Description: WATER SERVICE #34176
P. 136A
L.884
PEQUOT ST SS 410' E X TOBEY ST
CONNECTING TO 8" WATER MAIN ON PEQUOT ST

Contractor

Name: Robert J. Canessa Certificate #: _____ Type of Business: DPI - Other

Address: P. O. Box 51643 City/Town/State: New Bedford MA Phone #: (508) 998-

Type of Service Pipe Size Trench Length: 0.00

Fire Service _____

Domestic Service _____

Estimated consumption of water

Estimated average daily consumption 0.00 gallons

Cross Connection? No

Estimated maximum day consumption 0.00 gallons

Right of Way? No

Are lawn sprinklers and/or lawn irrigation proposed on site? No

Meter Impact? No

Estimated fire flows required for the project site: 0.00

Street Opening Permit Required? No

Does the project require a fire suppression system? No

Required minimum static pressure for the proposed project site 0.00

Call Phone: (781) 942-9077 For Inspection

DISPLAY PERMIT IN A CONSPICUOUS PLACE ON THE PREMISES



Commonwealth of Massachusetts

City of New Bedford

133 William Street New Bedford, MA 02740



WATER SERVICE PERMIT
GRANTED WITH THE USUAL CONDITIONS

Water

COMMISSIONER

Call Phone: (781) 942-9077 For Inspection

Corporations Division

Business Entity Summary

ID Number: 001512164

[Request certificate](#)[New search](#)

Summary for: FARIA & OLIVEIRA PROPERTIES LLC

The exact name of the Domestic Limited Liability Company (LLC): FARIA & OLIVEIRA PROPERTIES LLC**Entity type:** Domestic Limited Liability Company (LLC)**Identification Number:** 001512164**Date of Organization in Massachusetts:**
06-04-2021**Last date certain:****The location or address where the records are maintained** (A PO box is not a valid location or address):

Address: 70 SYCAMORE ST.

City or town, State, Zip code, NEW BEDFORD, MA 02740 USA
Country:**The name and address of the Resident Agent:**

Name: RONALDO S. GOMES DE OLIVEIRA

Address: 70 SYCAMORE ST.

City or town, State, Zip code, NEW BEDFORD, MA 02740 USA
Country:**The name and business address of each Manager:**

Title	Individual name	Address
MANAGER	CAITLIN FARIA	70 SYCAMORE ST. NEW BEDFORD, MA 02740 USA
MANAGER	RONALDO S GOMES DE OLIVEIRA	70 SYCAMORE ST. NEW BEDFORD, MA 02740 USA

In addition to the manager(s), the name and business address of the person(s) authorized to execute documents to be filed with the Corporations Division:

Title	Individual name	Address

The name and business address of the person(s) authorized to execute, acknowledge, deliver, and record any recordable instrument purporting to affect an interest in real property:

Title	Individual name	Address
REAL PROPERTY	RONALDO S. GOMES DE OLIVEIRA	70 SYCAMORE ST. NEW BEDFORD, MA 02740 USA
REAL PROPERTY	CAITLIN FARIA	70 SYCAMORE ST. NEW BEDFORD, MA 02740 USA

☐

Consent

☐Confidential
Data☐Merger
Allowed☐

Manufacturing

View filings for this business entity:

ALL FILINGS
Annual Report
Annual Report - Professional
Articles of Entity Conversion
Certificate of Amendment
Certificate of Consolidation

[View filings](#)**Comments or notes associated with this business entity:**[New search](#)

water permit 34176

stormwater 25005

sewer 25006

Corporations Division

Business Entity Summary

ID Number: 001512164

[Request certificate](#)[New search](#)

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☐ Consent☐ Confidential Data☐ Merger Allowed☐ Manufacturing**View filings for this business entity:**

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[View filings](#)**Comments or notes associated with this business entity:**[New search](#)



Commonwealth of Massachusetts

CITY OF NEW BEDFORD

City Hall, Room 308, 133 William Street New Bedford, MA 02740 (508) 979-1540



FOUNDATION PERMIT

6/2/2022

No. **B-21-389**

MSBC Sect. 111.8 - Any permit issued shall be deemed abandoned and invalid unless the work authorized by it shall have been commenced within six (6) months after its issuance.

FEE PAID **\$100.00**

This certifies that **Armando M. Pereira**

owner/contractor has permission to:

on:

SS-

PEQUOT ST

136A

-884

Foundations Only 1-2 Family - 100.00

Providing that the person accepting this permit shall in every respect conform to the terms of application therefore on file in this office; to the provisions of the statute of the Commonwealth and to the by-laws of the City of New Bedford relating to the inspection, erection, enlarging, altering, raising, moving, repairing, or tearing down of a building.

Permit is issued subject to the following special requirements: (Restrictions)



Wiring Inspector



Plumbing Inspector



Building Inspector

YOUR AREA INSPECTOR IS: **Thomas Welch**

Tel. (508) 979-1540 Between 8:00am - 9:00am

NOTICE: NOTIFY INSPECTOR 48 HOURS IN ADVANCE OF APPLYING SHEATHING OR LATHING

OCCUPANCY PERMIT REQUIRED BEFORE OCCUPANCY

No Building or Structure shall be used or occupied until the Certificate of Use and Occupancy shall have been issued by the Building Commissioner - MSBC, Sect. 120.1

This Card Must Be Displayed in a Conspicuous Place on the Premises and Not Torn Down or Removed Until Completion of Work

SUBJECT TO MASSACHUSETTS
STATE BUILDING CODE

Danny J. Romanowicz Jr.

Southern Bristol Registry of Deeds
Electronically Recorded Document

This is the first page of the document - Do not remove

Recording Information

Document Number	: 13299
Document Type	: DEED
Recorded Date	: June 07, 2022
Recorded Time	: 03:21:17 PM
Recorded Book and Page	: 14365 / 141
Number of Pages(including cover sheet)	: 3
Receipt Number	: 155687
Recording Fee (including excise)	: \$679.40

MASSACHUSETTS EXCISE TAX
Bristol ROD South 001
Date: 06/07/2022 03:21 PM
Ctrl# 036604 30958 Doc# 00013299
Fee: \$524.40 Cons: \$115,000.00

Southern Bristol Registry of Deeds
Sherrilynn M. Mello, Register
25 N 6th Street
New Bedford, MA 02740
508-993-2603
www.NewBedfordDeeds.com

QUITCLAIM DEED

Faria & Oliveira Properties, LLC, a Massachusetts Limited Liability Company having a mailing address of 70 Sycamore Street, New Bedford, Bristol County, Massachusetts,

for consideration paid and in full consideration of **ONE HUNDRED FIFTEEN THOUSAND AND 00/100 DOLLARS (\$115,000.00)**,

GRANT TO **Ronald Oliveira**, Trustee of the **ROSO Investment Realty Trust** u/d/t October 29, 2010, of 5 Archers Way, Acushnet, Bristol County, Massachusetts, as *Sole Owner*

With **QUITCLAIM COVENANTS**,

Parcel A on Plan entitled "ANR Plan-1092 Pequot Street-Assessors Map 136A Lot 883, New Bedford, Massachusetts, dated July 2, 2015, Scale 1"=20', drawn for Matthew Azevedo, drawn by Thompson Farland" recorded at the Bristol County S.D. Registry of Deeds in Plan Book 173, Page 49.

Meaning and intending to convey the same premises conveyed to Grantor by deed dated June 24, 2021 and recorded in the Bristol County (S.D) Registry of Deeds at Book 13891 Page 14.

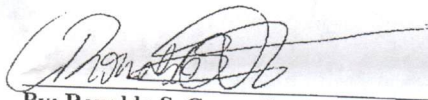
Under the pains and penalties of perjury, the Grantor named herein hereby states that it did not occupy the property as a principal residence and therefore is not entitled to homestead rights in the property conveyed herein and warrants that there are no other persons entitled to the benefit of homestead protection pursuant to M.G.L. Chapter 188.

Property Address: Vacant Land, SS Pequot Street, New Bedford, MA

THE REST OF THIS PAGE INTENTIONALLY LEFT BLANK

Executed as a sealed instrument this 7th day of June, 2022

Faria & Oliveira Properties, LLC


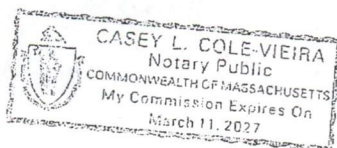


By: Ronaldo S. Gomes De Oliveira, Manager

COMMONWEALTH OF MASSACHUSETTS

Bristol, ss.

On this 7th day of June, 2022, before me, the undersigned notary public, personally appeared the above-named, **Ronaldo S. Gomes De Oliveira, Manager of Faria & Oliveira Properties, LLC**, proved to me through satisfactory evidence of identification, which were Driver's License, to be the person(s) who signed the preceding or attached document in my presence, and acknowledged to me that he/she/they signed it voluntarily for its stated purpose, by his/her/their free act and deed.



Notary Public:
My Commission Expires:

— ZONING DATA —

DISTRICT: RESIDENCE A (RA)

DESCRIPTION	REQUIRED
FRONT SETBACK	20 FT
SIDE SETBACK	10/12 FT
REAR SETBACK	30 FT



MAP 136A
LOT 866
N/F
PETER J. DUFF

MAP 136A LOT 883
N/F
MATTHEW D.
MCKAY

MAP 136A
LOT 884
(AREA=7,474± S.F.)

FOUNDATION
TOP = 94.01

BENCHMARK
NAIL SET IN UTILITY POLE
ELEV.=90.94 (ASSUMED)

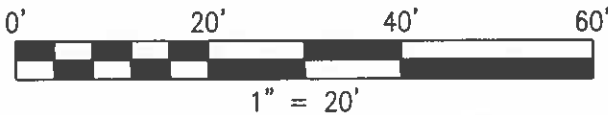
BENCHMARK
NAIL SET IN UTILITY POLE
ELEV.=92.15 (ASSUMED)

PEQUOT ~PUBLIC - 50' WIDTH~ STREET

NOTES:

1. FOUNDATION AS-BUILT SURVEY PERFORMED BY FARLAND CORP. IN JULY 2022.

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MECHANICAL, PHOTOCOPYING, RECORDING OR OTHERWISE, WITHOUT THE EXPRESS WRITTEN CONSENT OF FARLAND CORP.
ANY MODIFICATIONS MADE TO THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF FARLAND CORP. SHALL RENDER IT INVALID AND UNUSABLE.



FOUNDATION AS-BUILT

PEQUOT STREET

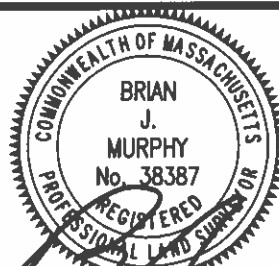
ASSESSORS MAP 136A LOT 884
NEW BEDFORD, MASSACHUSETTS

www.FarlandCorp.com

21 VENTURA DRIVE
DARTMOUTH, MA 02747
P.508.717.3479
• ENGINEERING
• SITEWORK
• LAND SURVEYING
• DEVELOPMENT

PREPARED FOR:

RON OLIVEIRA
5 ARCHERS WAY
ACUSHNET, MA 02743



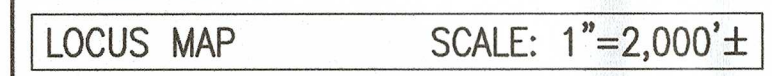
SCALE: 1"=20'

JULY 11, 2022

DRAWN BY: SB

JOB NO: 22-339





<u>DESCRIPTION</u>	<u>REQUIRED</u>
LOT AREA	8,000 S.F.
LOT FRONTAGE	75 FT
FRONT SETBACK	20 FT
SIDE SETBACK	10/12 FT
REAR SETBACK	30 FT
BUILDING COVERAGE (MAXIMUM)	30 %
GREEN SPACE (MINIMUM)	35 %

- PROPOSED BUILDING COVERAGE = 21.7%
- PROPOSED GREEN SPACE = 70.1%

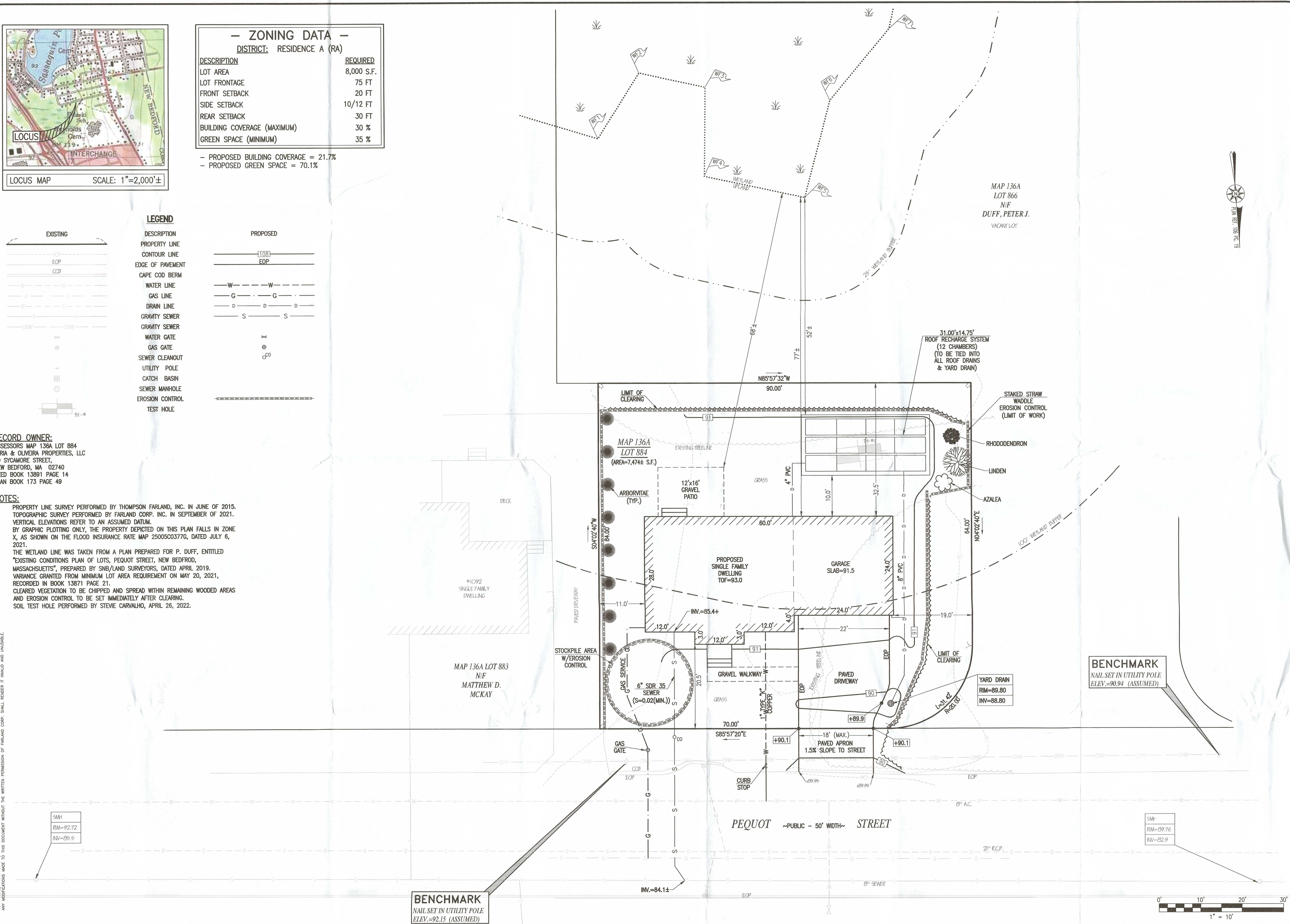
DESCRIPTION
PROPERTY LINE
CONTOUR LINE
EDGE OF PAVEMENT
CAPE COD BERM
WATER LINE
GAS LINE
DRAIN LINE
GRAVITY SEWER
GRAVITY SEWER
WATER GATE
GAS GATE
SEWER CLEANOUT
UTILITY POLE
CATCH BASIN
SEWER MANHOLE
EROSION CONTROL
TEST HOLE

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GRAVITY SEWER
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TEST HOLE

RECORD OWNER:
ASSESSORS MAP 136A LOT 884
FARIA & OLIVEIRA PROPERTIES, LLC
70 SYCAMORE STREET,
NEW BEDFORD, MA 02740
DEED BOOK 13891 PAGE 14
PLAN BOOK 173 PAGE 49

1. PROPERTY LINE SURVEY PERFORMED BY THOMPSON FARLAND, INC. IN JUNE OF 2015.
2. TOPOGRAPHIC SURVEY PERFORMED BY FARLAND CORP. INC. IN SEPTEMBER OF 2021.
3. VERTICAL ELEVATIONS REFER TO AN ASSUMED DATUM.
4. BY GRAPHIC PLOTTING ONLY, THE PROPERTY DEPICTED ON THIS PLAN FALLS IN ZONE X, AS SHOWN ON THE FLOOD INSURANCE RATE MAP 25050503376, DATED JULY 6, 2021.
5. THE SHETLAND LINE WAS TAKEN FROM A PLAN PREPARED FOR P. DUFF, ENTITLED "EXISTING CONDITIONS PLAN OF LOTS, PEQUOT STREET, NEW BEDFORD, MASSACHUSETTS", PREPARED BY SIBS/LAND SURVEYORS, DATED APRIL 1919.
6. RECORDS DRAWN FROM MINIMUM LOT AREA REQUIREMENT ON MAY 20, 2021.
7. VARIANCE IN BOOK 321, PAGE 21.
8. CLEARED VEGETATION TO BE CHIPPED AND SPREAD WITH REMAINING WOODED AREAS AND EROSION CONTROL TO BE SET IMMEDIATELY AFTER CLEARING.
9. SOIL TEST HOLE PERFORMED BY STEVE CARVALHO, APRIL 26, 2022.

NO PART OF THIS DOCUMENT MAY BE REPRODUCED, STORED IN A RETRIEVED SYSTEM, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC, MECHANICAL, PHOTOCOPYING, RECORDING OR OTHERWISE, WITHOUT THE EXPRESS WRITTEN CONSENT OF FARLAND CORP. ANY MODIFICATIONS MADE TO THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF FARLAND CORP. SHALL RENDER IT INVALID AND UNUSABLE.



REVISIONS		
1	3/7/22	CON. COM. COMMENTS
2	5/4/22	DPI COMMENTS
3	5/17/22	DPI COMMENTS



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21 VENTURA DRIVE
DARTMOUTH, MA 02747
P.508.717.3479

- ENGINEERING
- SITEWORK
- LAND SURVEYING
- DEVELOPMENT

DRAWN BY:	CKG
DESIGNED BY:	CKG
CHECKED BY:	CAF

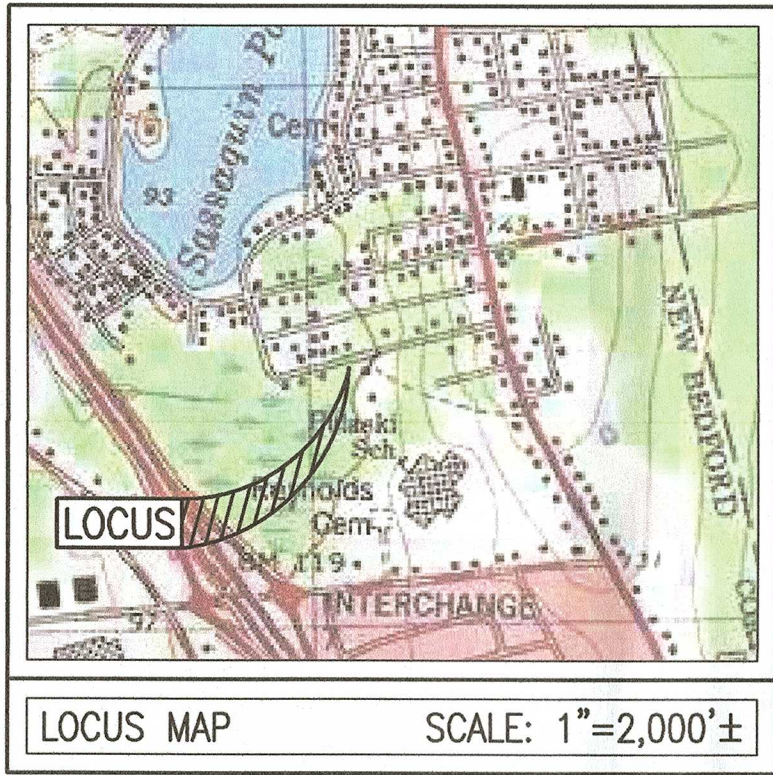
SITE PLAN

PEQUOT STREET
ASSESSORS MAP136A LOT 884
NEW BEDFORD, MASSACHUSETTS
RONALDO GOMES DE OLIVEIRA

FOR: 7 SYCAMORE STREET
NEW BEDFORD, MA 02740

JANUARY 26, 2022
SCALE: 1"=10'
JOB NO. 21-022
LATEST REVISION:
MAY 17, 2022

SITE PLAN
SHEET 1 OF 2

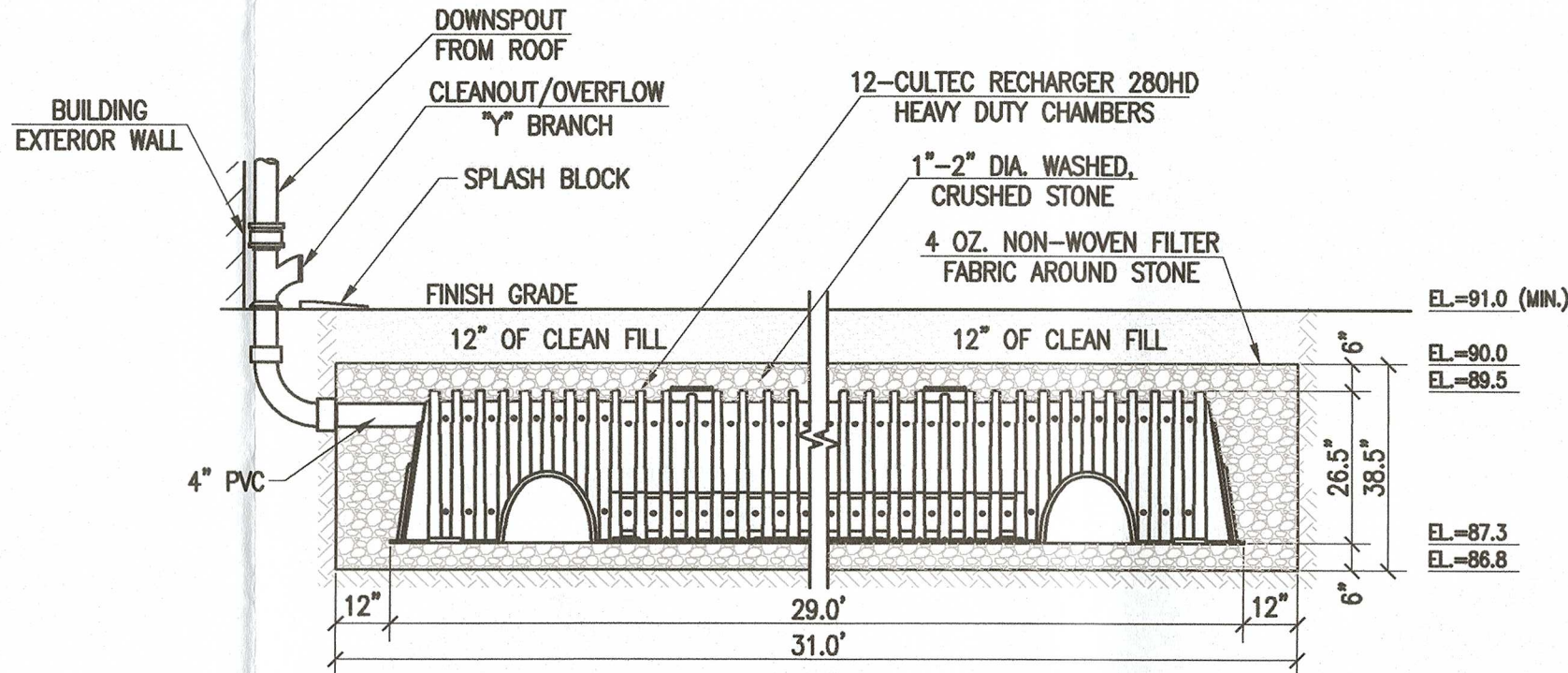


GENERAL CONSTRUCTION NOTES:

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS PROVIDED BY THE CITY OF NEW BEDFORD DPI AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIG SAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLAN.
2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL STANDARDS AND REGULATIONS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL CONTROL POINTS AND BENCH MARKS NECESSARY FOR THE WORK.
4. ALL BENCHMARKS SHOWN ON THIS PLAN ARE TO BE CHECKED FOR CONSISTENCY BY THE CONTRACTOR. ANY DISCREPANCIES MUST BE RESOLVED BY THIS OFFICE PRIOR TO CONSTRUCTION.
5. WHERE PROPOSED PAVEMENT AND WALKS ARE TO MEET EXISTING, THE CONTRACTOR SHALL SAW-CUT A NEAT LINE AND MATCH GRADE. SEAL ALL JOINTS WITH HOT BITUMINOUS ASPHALT JOINT SEALER.
6. ALL EXISTING TREES, SHRUBS AND GROUND COVER WHERE NATURAL GRADE IS TO BE RETAINED SHALL BE KEPT IN THEIR EXISTING STATE UNLESS REMOVAL IS REQUIRED FOR CONSTRUCTION PURPOSES.
7. ALL AREAS DISTURBED BY CONSTRUCTION AND NOT TO BE PAVED OR OTHERWISE TREATED AS NOTED ON PLAN SHALL BE TREATED WITH 4" OF LOAM, SEEDED AND HAY MULCHED FOR EROSION CONTROL.
8. DUE TO THE UNKNOWN LOCATION OF THE STRUCTURES DOWNSPOUTS IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO ENSURE THAT ALL DOWNSPOUTS ARE CONNECTED TO A ROOF RECHARGE SYSTEM AND THAT THE FLOWS TO EACH SYSTEM ARE PROPORTIONATELY DISTRIBUTED.
9. CONTRACTOR SHALL THOROUGHLY FAMILIARIZE THEMSELVES WITH ALL CONSTRUCTION DOCUMENTS, SPECIFICATIONS AND SITE CONDITIONS PRIOR TO BIDDING AND PRIOR TO CONSTRUCTION.
10. ANY DISCREPANCIES BETWEEN DRAWINGS, SPECIFICATIONS AND SITE CONDITIONS SHALL BE REPORTED IMMEDIATELY TO THE OWNER'S REPRESENTATIVE FOR CLARIFICATION AND RESOLUTION PRIOR TO BIDDING OR CONSTRUCTION.
11. THESE PLANS ARE PERMITTING PLANS AND SHALL NOT TO BE USED FOR CONSTRUCTION. A FINAL SET OF STAMPED PLANS FOR CONSTRUCTION WILL BE ISSUED AFTER RECEIVING FINAL APPROVAL FROM THE LOCAL AND/OR STATE DEPARTMENTS.
12. SEWER SERVICE TO BE 10 FEET AWAY FROM WATER SERVICE.
13. WATER SERVICE TO BE PERPENDICULAR (90 DEGREES) FROM MAIN TO INSIDE BUILDING.
14. WATER CURB STOP (SHUT-OFF) TO BE 1.5 FEET FROM FACE OF CURB/PAVEMENT.
15. WATER METER TO BE INSTALLED AT POINT OF ENTRY TO BUILDING.
16. OWNER TO APPLY FOR WATER AND SEWER PERMITS.

SOIL EROSION AND SEDIMENT CONTROL NOTES:

1. THE CONSERVATION COMMISSION SHALL BE NOTIFIED, AT LEAST 72 HOURS PRIOR TO ANY LAND DISTURBANCE.
2. A COPY OF THE SOIL EROSION AND SEDIMENT CONTROL PLAN MUST BE MAINTAINED ON THE PROJECT SITE DURING CONSTRUCTION.
3. SOIL EROSION AND SEDIMENT CONTROL PRACTICES IN THE PLAN SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS.
4. ALL APPLICABLE SOIL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE IN PLACE PRIOR TO ANY DEMOLITION GRADING OPERATIONS AND/OR INSTALLATION OF PROPOSED STRUCTURES OR UTILITIES.
5. ALL APPLICABLE SOIL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE LEFT IN PLACE UNTIL CONSTRUCTION IS COMPLETED AND/OR THE AREA IS STABILIZED.
6. ALL SOIL EROSION AND SEDIMENT CONTROL STRUCTURES SHALL BE INSPECTED AND MAINTAINED ON A REGULAR BASIS AND AFTER EVERY STORM EVENT.
7. THE MAINTENANCE OF SOIL EROSION AND SEDIMENT CONTROL MEASURES AND FACILITIES DURING AND IMMEDIATELY AFTER CONSTRUCTION RESTS WITH THE GENERAL CONTRACTOR. UPON ACCEPTANCE OF THE PROJECT, THE OWNER SHALL BECOME RESPONSIBLE FOR MAINTENANCE OF ANY REMAINING MEASURES AND FACILITIES.
8. OFF SITE SEDIMENT DISTURBANCE MAY REQUIRE ADDITIONAL CONTROL MEASURES TO BE DETERMINED BY THE ENGINEER.
9. THE CONSERVATION COMMISSION AND/OR ENGINEER MAY REQUIRE ADDITIONAL SOIL EROSION MEASURES TO BE INSTALLED, AS DIRECTED BY THE DISTRICT INSPECTOR.
10. THE CONTRACTOR SHALL UTILIZE ALL METHODS NECESSARY TO PREVENT BLOWING AND MOVEMENT OF DUST FROM THE EXPOSED SOIL SURFACES.
11. PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.
12. ALL CRITICAL AREAS SUBJECT TO EROSION SHALL RECEIVE A TEMPORARY SEEDING AND BE MULCHED IN ACCORDANCE WITH THE SPECIFICATIONS IMMEDIATELY FOLLOWING ROUGH GRADING.
13. MAXIMUM SIDE SLOPES OF ALL EXPOSED SURFACES SHALL NOT BE CONSTRUCTED STEEPER THAN 3:1 UNLESS OTHERWISE APPROVED BY THE DISTRICT.
14. ALL DOWNSPOUTING OPERATIONS MUST DISCHARGE DIRECTLY INTO A SEDIMENT FILTRATION DEVICE. THE SEDIMENT FILTER MUST BE CAPABLE OF FILTERING THE SEDIMENT AND BE PLACED SO AS NOT TO CAUSE EROSION OF THE DOWNSPOUT AREA.
15. ANY EXCAVATED MATERIAL NOT TO BE REUSED ON SITE SHALL BE REMOVED OFF SITE.



ROOF RECHARGE SYSTEM

NOT TO SCALE

SUBSURFACE ROOF RECHARGE UNIT SIZING CALCULATIONS:

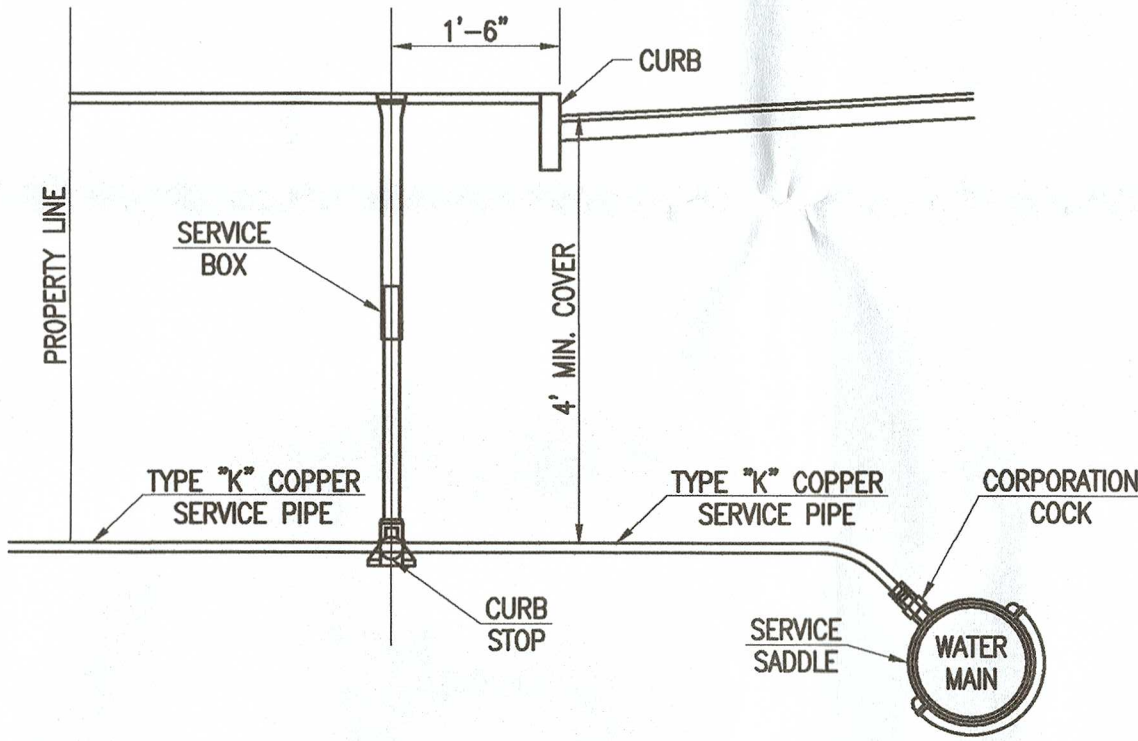
INFLOW AREA	=	2,200 SF	100.00% IMPERVIOUS,	INFLOW DEPTH = 6.76" FOR 100-YEAR STORM EVENT
INFLOW	=	0.35 CFS @ 12.08 HRS,	VOLUME= 1,220 CF	
OUTFLOW	=	0.01 CFS @ 9.31 HRS,	VOLUME= 959 CF, ATTN= 97%, LAG= 0.0 MIN	
DISCARDED	=	0.01 CFS @ 9.31 HRS,	VOLUME= 959 CF	

ROUTING BY DYN-STOR-IND METHOD, TIME SPAN= 0.00-30.00 HRS, DT= 0.01 HRS / 3
PEAK ELEV= 88.96 @ 15.72 HRS SURF.AREA= 457 SF REQUIRED STORAGE= 678 CF

VOLUME	INVERT	AVAIL.STORAGE	STORAGE DESCRIPTION
#1	86.80'	376 CF	14.75'W X 31.00'L X 3.21'H PRISMATOID X 1
#2	87.30'	528 CF	1.467 CF OVERALL - 528 CF EMBEDDED = 939 CF X 40.0% VOIDS

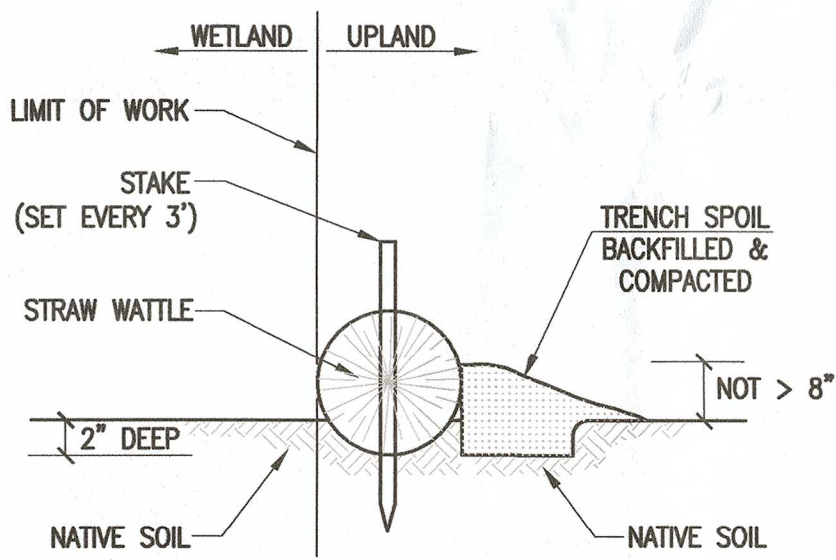
47.0'W X 26.5'H X 8.00'L PARABOLIC ARCH WITH 1' OVERLAP

TOTAL AVAILABLE STORAGE = 904 CF >>> 678 CF



WATER SERVICE DETAIL

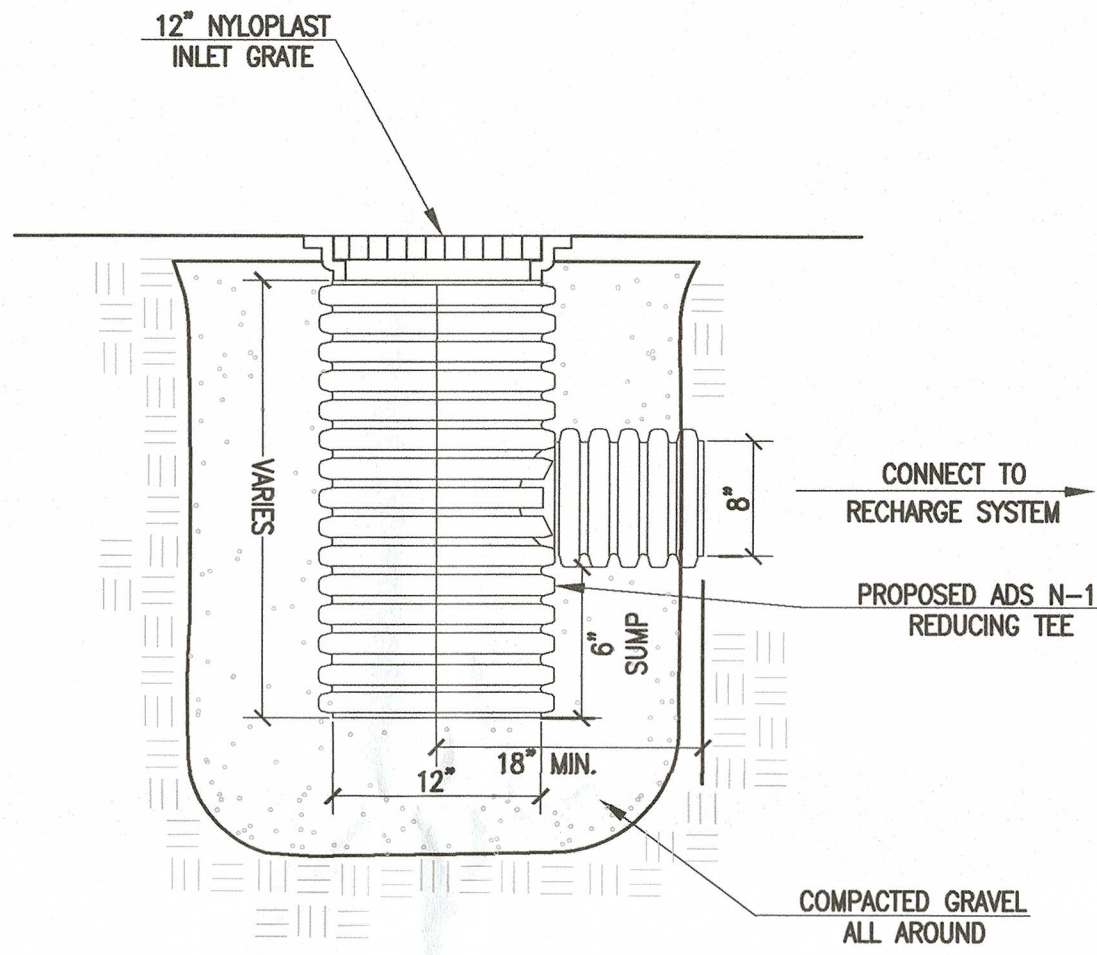
NOT TO SCALE



STAKED STRAW WATTLE

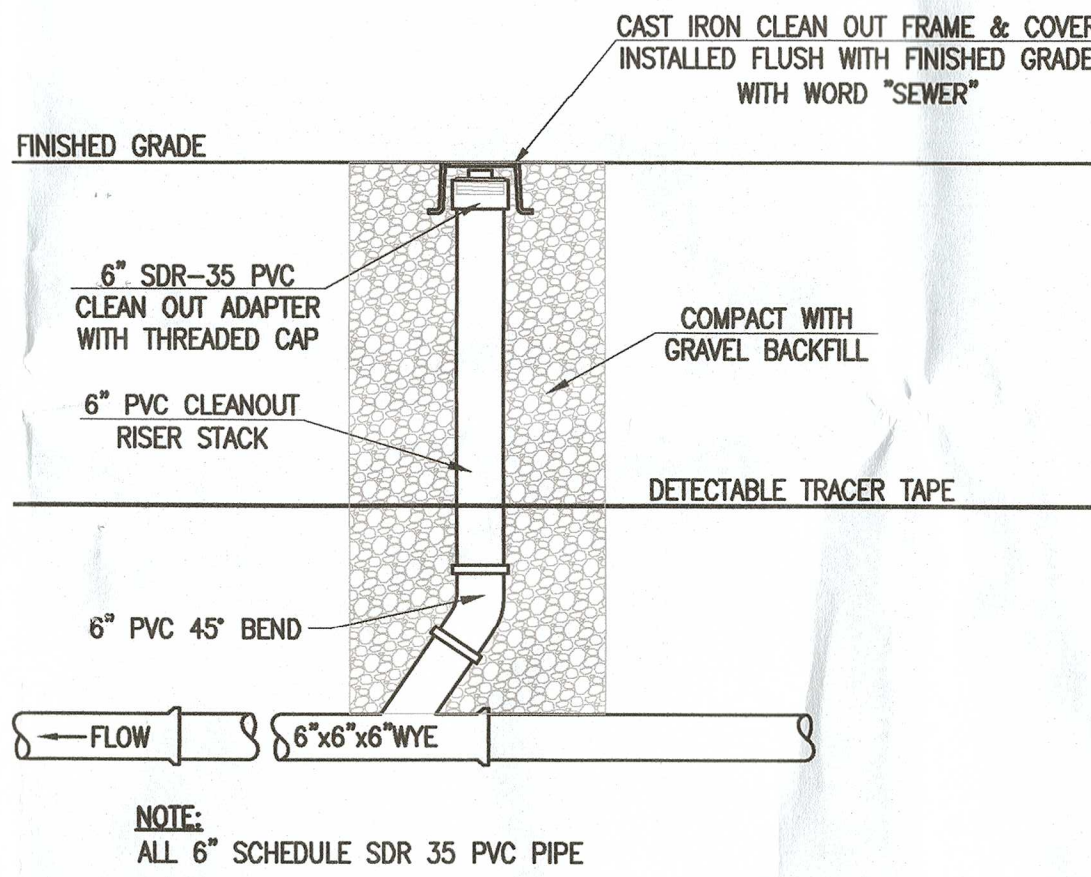
NOT TO SCALE

TH. #1	ELEV.=90.2±	4/26/22
0'-62"	ELL. MATERIAL	85.0
62'-120"	C HORIZON	80.2
LOWLY SAND	2.5Y 5/1	
REDUX	0' 48"	
ELEV.=86.2±		



YARD DRAIN INLET

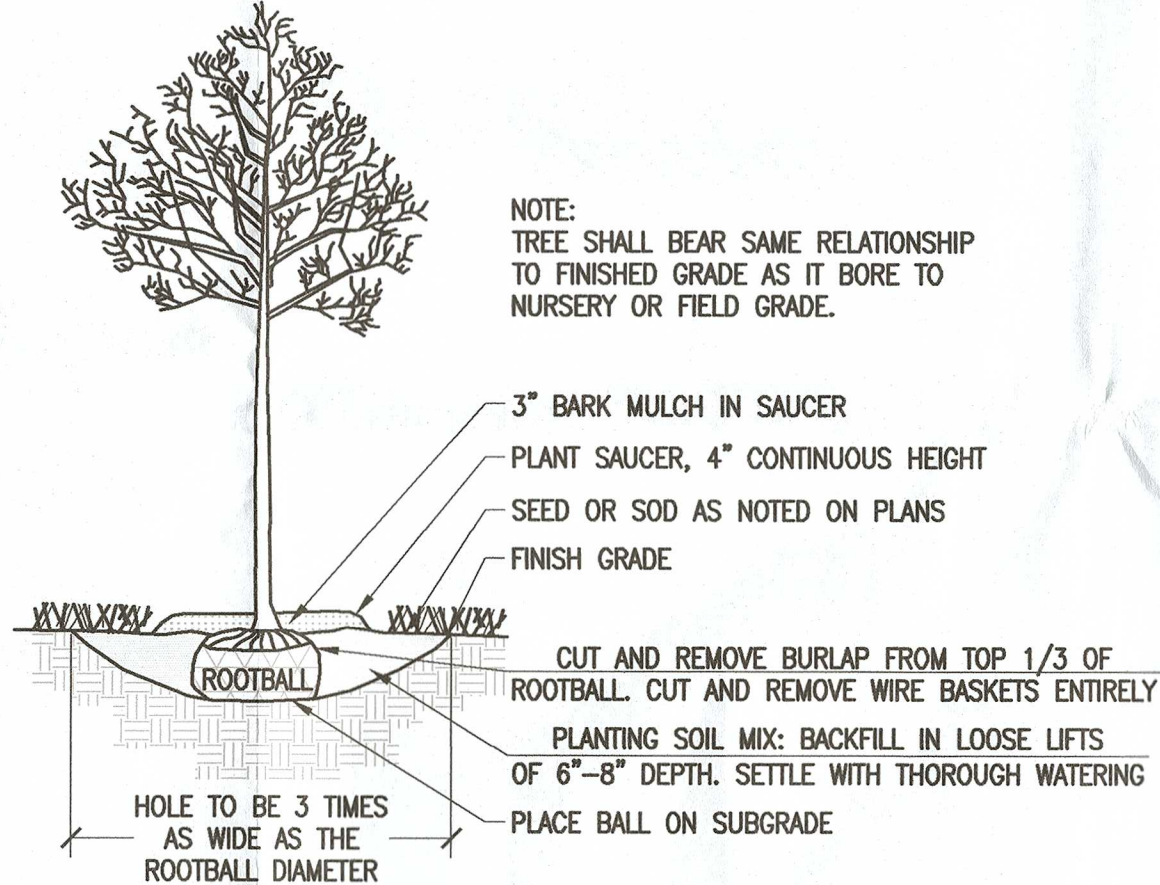
NOT TO SCALE



SEWER SERVICE CLEANOUT

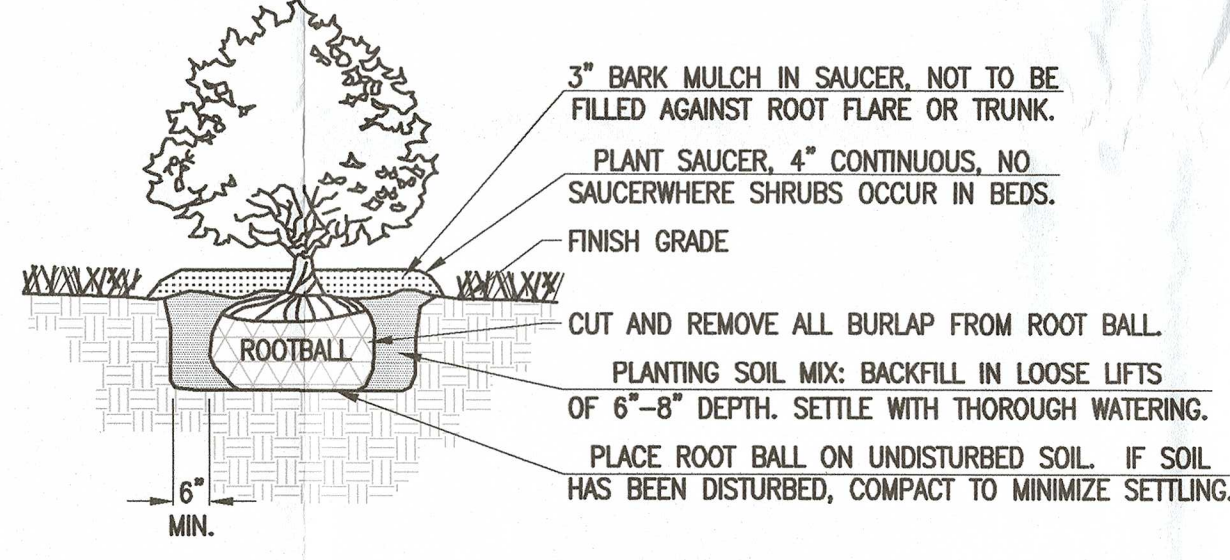
NOT TO SCALE

LANDSCAPE TABLE				
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY
TREES				
	TILIA	LINDEN	10' HT	1
SHRUBS				
	THUJA OCCIDENTALIS	EMERALD GREEN ARBORVITAE	5'-6'	8
	AZALEA CURRAD CHRISTINA	AZELEA	2 GAL.	1
	RHODODENDRON PJM	PJM	2 GAL.	1



TREE PLANTING

NOT TO SCALE



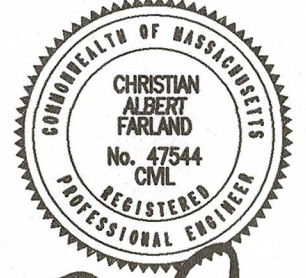
- NOTES:
1. SHRUB SHALL BEAR SAME RELATIONSHIP TO FINISHED GRADE AS IT BORE TO NURSERY OR FIELD GRADE.
 2. WHERE SHRUBS OCCUR IN GROUPINGS IN PLANT BEDS, PROVIDE 2' DEEP CONTINUOUS LOAM BED.

SHRUB PLANTING

NOT TO SCALE

REVISIONS

1	3/7/22	CON. COM. COMMENTS
2	5/4/22	DPI COMMENTS
3	5/17/22	DPI COMMENTS



DRAWN BY: CKG
DESIGNED BY: CKG
CHECKED BY: CAF

SITE PLAN

PEQUOT STREET
ASSESSORS MAP136A LOT 884
NEW BEDFORD, MASSACHUSETTS

PREPARED FOR:
RONALDO GOMES DE OLIVEIRA
7 SYCAMORE STREET
NEW BEDFORD, MA 02740

JANUARY 26, 2022
SCALE: 1"=10'
JOB NO. 21-022
LATEST REVISION:
MAY 17, 2022
CONSTRUCTION NOTES & DETAILS
SHEET 2 OF 2