

SERVICE 34173

Sewer 25058

N-22-20

NEW BEDFORD WATER WORKS

APPLICATION FOR SERVICE AND METER

NEW BEDFORD

I HEREBY ACKNOWLEDGE the receipt of a copy of the Regulations prescribed in the Ordinance of the City, for the use of Water, and I request that the water may be furnished through a

1 inch Copper meter at Farland Circle (SE.S) S. x Phillips Rd.  
P. 130D L. 473 (A.K.A Builder Lot 8)

at such rates as may from time to time be established by the City.

I hereby agree to pay promptly the bill for the Service pipe laid down for my premises, and to pay all dues for water, and I agree to conform to the said Regulations and to all provisions of the Water Ordinances, until written notice is given by me or my agent to cut off the supply.

Single family home

AREI, LLC 96 Moraine St. Brockton, MA 02301

Bruce J. Adams

TELEPHONE 774-259-9521

Service laid R.J. Canessa

Size and kind of pipe 1" Copper

From Existing 1" Copper service off of 8" DI. watermain on Farland Circle 8"

Turned on Meter Set

Reading Location

Building rates

Paid

Chk # 260

Cost of Service

\$500.00

Paid

31-727

**Arei LLC**  
96 Moraine St # 1  
Brockton, MA 02301-3111

CHECKSAFE

260

6/22 2022 60-7269/2313

Pay to the  
Order of City of New Bedford

five HUNDRED & 00/100

Santander

\$ 500.00

Dollars

Security features  
are included.  
Details on back.

For Fallands Circ water

*[Signature]*

MP

⑈000260⑈ ⑆231372691⑆ 7471058358⑈





Commonwealth of Massachusetts

# CITY OF NEW BEDFORD

City Hall, Room 308, 133 William Street New Bedford, MA 02740 (508) 979-1540



## FOUNDATION PERMIT

3/16/2022

No. B-20-2601

MSBC Sect. 111.8 - Any permit issued shall be deemed abandoned and invalid unless the work authorized by it shall have been commenced within six (6) months after its issuance.

FEE PAID \$100.00

This certifies that EMANUEL ANDRADE

owner/contractor has permission to:

WS-

FARLAND CRC

on:

130D

-473

Foundations Only 1-2 Family - 100.00

Providing that the person accepting this permit shall in every respect conform to the terms of application therefore on file in this office; to the provisions of the statute of the Commonwealth and to the by-laws of the City of New Bedford relating to the inspection, erection, enlarging, altering, raising, moving, repairing, or tearing down of a building.

Permit is issued subject to the following special requirements: (Restrictions)



Wiring Inspector

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Plumbing Inspector

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Building Inspector

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YOUR AREA INSPECTOR IS: Thomas Welch

Tel. (508) 979-1540 Between 8:00am - 9:00am

**NOTICE: NOTIFY INSPECTOR 48 HOURS IN ADVANCE OF APPLYING SHEATHING OR LATHING**

**OCCUPANCY PERMIT REQUIRED BEFORE OCCUPANCY**

No Building or Structure shall be used or occupied until the Certificate of Use and Occupancy shall have been issued by the Building Commissioner - MSBC, Sect. 120.1

**This Card Must Be Displayed in a Conspicuous Place on the Premises and Not Torn Down or Removed Until Completion of Work**

SUBJECT TO MASSACHUSETTS  
STATE BUILDING CODE

*Danny D. Romanowicz Jr.*



**Plan Review Comments: :**

: Applicant received Order of Conditions SE049-0881 on 12/21/2021

: HOUSE WILL HAVE 1 CAR GARAGE UNDER

: job discription says 2 car garage, plans show 1 car garage

: MASS checklist and HERS rec.

: mass checklist for compliance req., HERS rater and initial HERS report and index score req.

: NOTE: FOUNDATION,,, WILL NEED ELECTRICIAN AND ELECTRICAL PERMIT ATTACHED TO THIS NEW FOUNDATION,,, AS WELL AS A UFER GROUND TO BE INSTALLED TO THE REBAR OF THE FOUNDATION AND THE END LEFT AT THE ELECTRRICAL SERVICE AREA FOR GROUNDING AND BONDING PURPOSES LATER.

: Any changes, alterations, removal, or installation of any plumbing or gas fixture will require a permit

: ASR-DPI Engrg.

RE: TB-20-2601

Farland Circle (SE.S.) S. x Phillips Rd. (a/k/a Builder's Lot 8)

Plot 130D Lot 473

Reviewed 9/8/2021

**PLEASE NOTE:**

It is the responsibility of the applicant and the contractors to be familiar with DPI procedures/ regulations and ascertain that all proposed work which falls under DPI jurisdiction, whether shown on the submitted site plan or not, is identified and executed in accordance with City of New Bedford DPI Construction Standards/Specifications. The Certificate of Occupancy (CO) will not be signed for any work performed that is non-compliant and/or if any of the following conditions are not met.

The following conditions are to be met by the applicant (being the owner and/or their representative) as part of this permit approval:

1.) The site plan submitted in View Permit, titled: "Site Plan, Farland Circle, Assessors Map 130D Lot 473, New Bedford, Massachusetts", having a date of 8/2/2021, as prepared by Farland Corp. and stamped/signed by Christian A. Farland, P.E. (Civil), is conditionally approved, with the following comments:

- a. The placement of the proposed subsurface roof recharge unit at the rear right corner of the new dwelling was noted to be within the 100' wetland buffer zone, and abutting the drainage basin. However, the engineer has stamped this plan certifying that the system will function as proposed.
- b. The drainage within the roadway in front of the subject parcel, and to the drainage basin situated on said parcel, is not shown on the above site plan (possibly the layer was turned off in CADD drawing). It is recommended that the site plan submitted for obtaining DPI permits show said drainage.
- c. The location of the proposed sewer cleanout is shown right at the edge of the proposed driveway apron, and it is recommended this be field adjusted so as to avoid future problems with cracking of the driveway in this area.
- d. The parcel must be developed in accordance with the conditions set forth in the approved Subdivision Plans.
- e. Compliance with the City of New Bedford Stormwater Rules & Regulations/Ordinances is required for all project sites, regardless of size. All sites must implement sediment and erosion control measures and will be subject to the required construction site and sediment control inspections.

2.) Must provide 1 stamped/signed copy of the "final" site plan approved by DPI for the permits being sought (i.e., water, sewer/drain,

DISPLAY PERMIT IN A CONSPICUOUS PLACE ON THE PREMISES



Commonwealth of Massachusetts

# City of New Bedford

133 William Street New Bedford, MA 02740

## WATER SERVICE PERMIT



Date: 9/8/2022

No. **W-22-20**

Permit Fee: \$500.00

Service Location: WS- FARLAND CRC

Owner Name: AREI LLC

Owner Phone #: (774) 259-9521

Type of Occupancy: Residential

Type of Work: Water - Domestic New 1"

Work Description: WATER SERVICE #  
P.130D L. 473

**AKA BUILDER LOT 8 FARLAND CIRCLE SES S X PHILLIPS RD**

**1" WATER COPPER SERVICE**

### Contractor

Name: Robert J. Canessa Certificate #: \_\_\_\_\_ Type of Business : DPI - Other

Address: P. O. Box 51643 City/Town/State: New Bedford MA Phone #: (508) 998-

Type of Service Pipe Size Trench Length: 0.00

Fire Service \_\_\_\_\_

Domestic Service \_\_\_\_\_

### Estimated consumption of water

Estimated average daily consumption 0.00 gallons

Cross Connection? **No**

Estimated maximum day consumption 0.00 gallons

Right of Way? **No**

Are lawn sprinklers and/or lawn irrigation proposed on site? **No**

Meter Impact? **No**

Estimated fire flows required for the project site: 0.00

Street Opening Permit Required? **No**

Does the project require a fire suppression system? **No**

Required minimum static pressure for the proposed project site 0.00

**GRANTED WITH THE USUAL CONDITIONS**

**Call Phone: (781) 942-9077 For Inspection**



**DISPLAY PERMIT IN A CONSPICUOUS PLACE ON THE PREMISES**



Commonwealth of Massachusetts

# City of New Bedford

133 William Street New Bedford, MA 02740

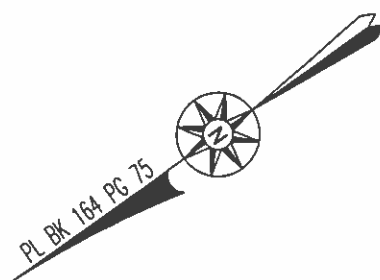
## WATER SERVICE PERMIT



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COMMISSIONER

**Call Phone: (781) 942-9077 For Inspection**



MAP 130D  
LOT 135

S19°24'11"E  
125.73'

ARNOFF STREET  
S84°55'30"W  
183.40'

— ZONING DATA —	
DISTRICT: RA — RESIDENTIAL A	
DESCRIPTION	REQUIRED
FRONT SETBACK	20 FT
SIDE SETBACK	10/12 FT
REAR SETBACK	30 FT

ASSESSORS  
MAP 130D LOT 473  
(AREA=34,512± S.F.)

S69°57'14"E  
115.12'

MAP 130D  
LOT 474

20.00'  
N34°22'12"E

EXISTING  
DRAINAGE  
EASEMENT

S70°03'21"E  
85.54'

**BENCHMARK**  
MAG NAIL SET  
ELEV.= 98.23

FOUNDATION  
T.O.F.=101.36

L=80.15'  
R=145.00'

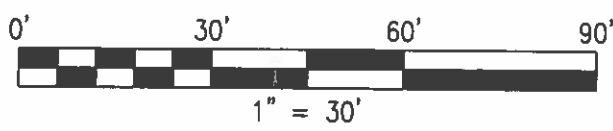
161.27'  
N40°34'00"W

EXISTING 25' WIDE  
UTILITY EASEMENT

MAP 130D  
LOT 472

FARLAND ~50' WIDE~ CIRCLE

**NOTE:**  
AS-BUILT SURVEY PERFORMED BY FARLAND CORP IN MAY OF 2022.  
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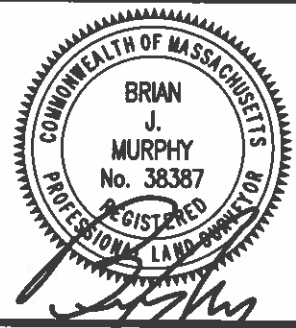


FOUNDATION AS-BUILT  
— FARLAND CIRCLE —  
ASSESSORS MAP 130D LOT 473  
NEW BEDFORD, MASSACHUSETTS



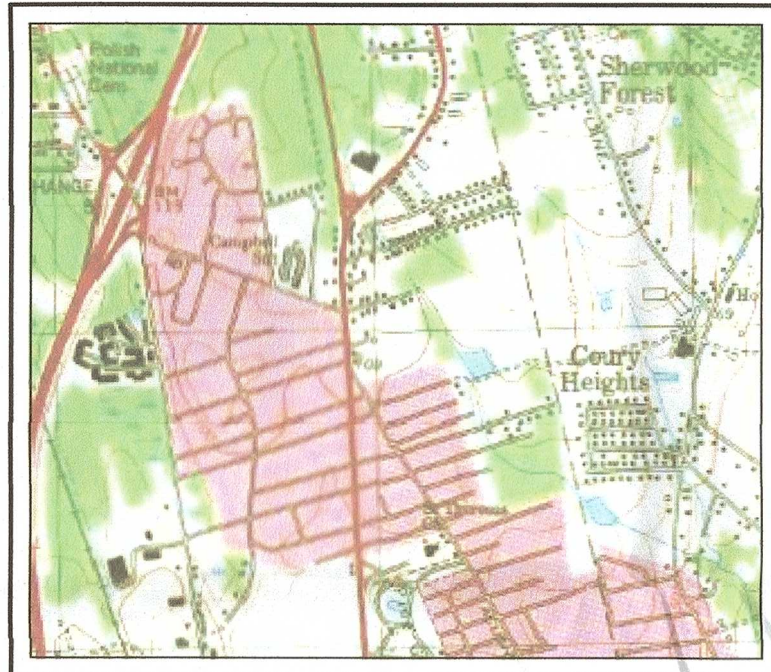
www.FarlandCorp.com  
21 VENTURA DRIVE  
DARTMOUTH, MA 02747  
P.508.717.3479  
• ENGINEERING  
• SITEWORK  
• LAND SURVEYING  
• DEVELOPMENT

PREPARED FOR:  
EMANUEL ANDRADE  
8 MICHELLE LANE  
NEW BEDFORD, MA  
02745

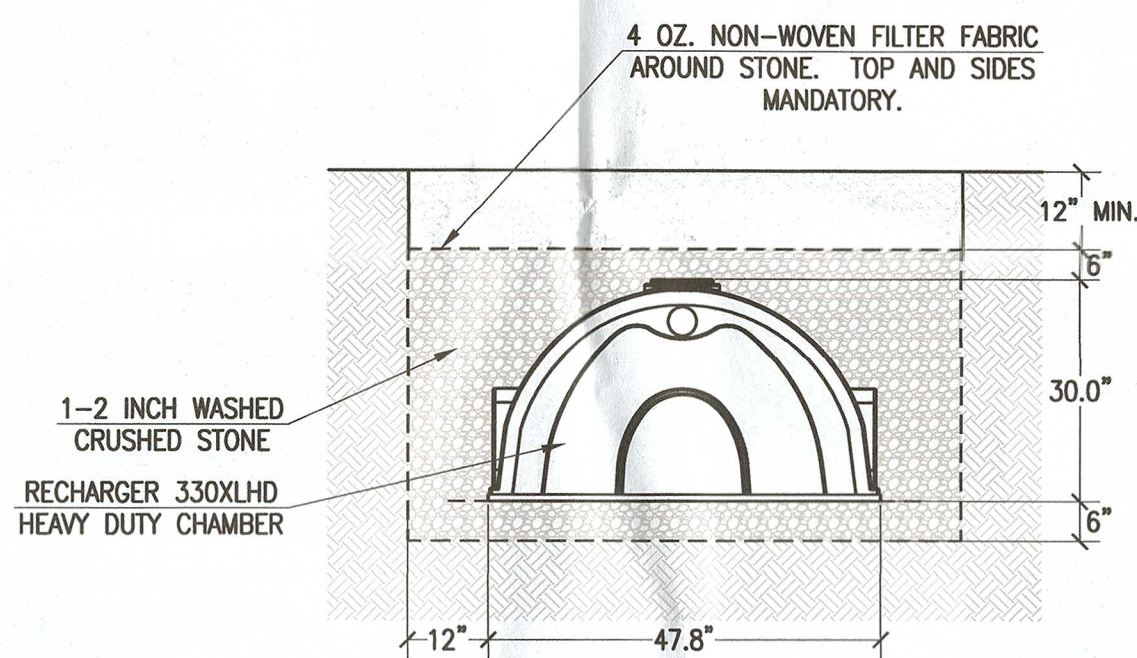
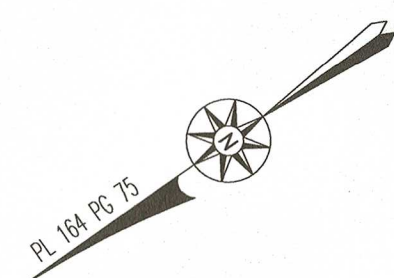


SCALE: 1"=30'  
JUNE 1, 2022  
DRAWN BY: AJT  
JOB NO: 20-535

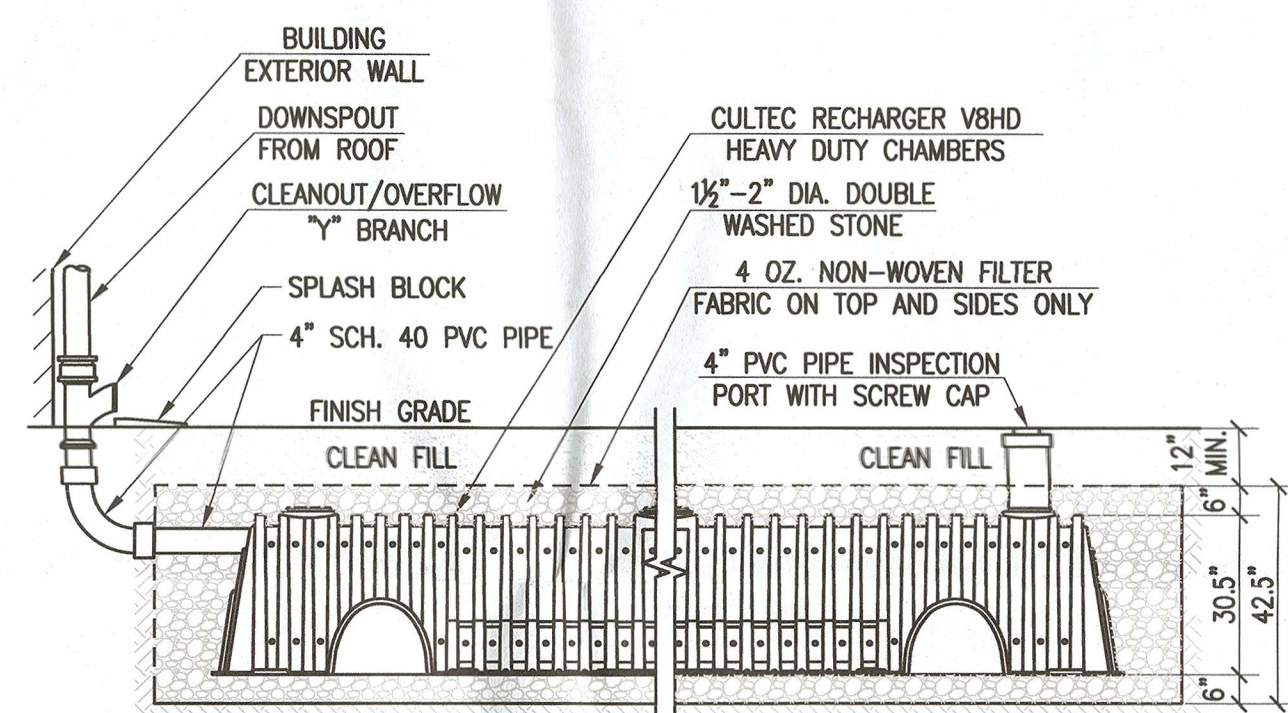




LOCUS MAP SCALE: 1"=2,000'±



CULTREC RECHARGER 330XLHD STANDARD CROSS SECTION  
NOT TO SCALE



ROOF RECHARGE SYSTEM  
NOT TO SCALE

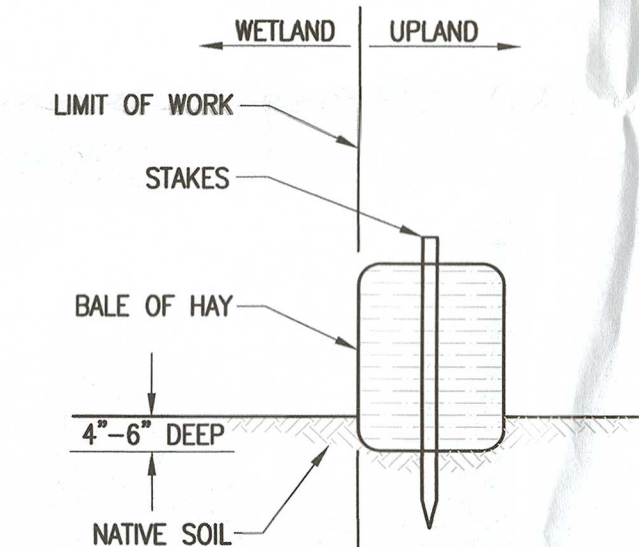
RECORD OWNER:  
ASSESSORS MAP 130D LOT 473  
AREI, LLC  
ISAIAH ANDRADE  
96 MORRIS STREET  
BROCKTON, MA 02301  
DEED BOOK 13935 PAGE 209

- NOTES:
- TOPOGRAPHIC AND PROPERTY LINE SURVEY PERFORMED BY FARLAND CORP. IN NOVEMBER OF 2017.
  - PORTION OF DRIVEWAY BETWEEN EDGE OF ROADWAY AND PROPERTY LINE SHALL BE CONCRETE.
  - BORDERING VEGETATED WETLAND FLAGS AND INTERMITTENT STREAM FLAGS WERE SET BY JOHN ZIMMER, P.W.S. IN NOVEMBER OF 2015 AS SHOWN ON PLAN ENTITLED "DEFINITIVE SUBDIVISION PLANS - STONEY BROOK FARM" DATED MAY 11, 2017 BY CAVANARO CONSULTING.
  - A SIGN STATING PROTECTED CONSERVATION AREA EXISTS BEYOND THE STONEWALL AND IS TO REMAIN UNDISTURBED PER ORDER OF THE NEW BEDFORD CONSERVATION COMMISSION SHALL BE PLACED ON THE STONEWALL, FENCING, OR ABORVITAE.
  - STONEWALL, FENCING OR ROW OF ARBORVITAE SHALL BE PLACED AT THE 25-FOOT NO DISTURB ZONE. IF RELOCATED STONEWALLS ARE USED THEY SHOULD BE A MINIMUM 3-4' TALL.
  - ROOF RECHARGE SYSTEMS HAVE BEEN OVER DESIGNED TO WITHSTAND THE 100-YEAR STORM EVENT AND THE TIE-IN OF A SUMP PUMP SYSTEM, IF NECESSARY.
  - IF SUMP PUMP IS INSTALLED, A CONCRETE LIP MUST BE INSTALLED AROUND THE SUMP PUMP.

SUBSURFACE ROOF RECHARGE UNIT SIZING CALCULATIONS:  
INFLOW AREA = 720 SF, 100.00% IMPERVIOUS, INFLOW DEPTH = 6.76" FOR 100-YEAR STORM EVENT  
INFLOW = 0.11 CFS @ 12.09 HRS, VOLUME= 406 CF  
OUTFLOW = 0.01 CFS @ 11.60 HRS, VOLUME= 406 CF, ATTN= 88%, LAG= 0.0 MIN  
DISCARDED = 0.01 CFS @ 11.60 HRS, VOLUME= 406 CF  
ROUTING BY STOR-IND METHOD, TIME SPAN= 0.00-30.00 HRS, DT= 0.05 HRS  
PEAK ELEV= 96.83' @ 12.71 HRS SURF AREA= 66 SF REQUIRED STORAGE= 127 CF  
VOLUME INVERT AVAL STORAGE STORAGE DESCRIPTION  
#1 93.50' 69 CF 6.33'W X 10.50'L X 3.54'H PRISMATOID X 1  
236 CF OVERALL - 63 CF EMBEDDED = 172 CF X 40.0% VOIDS  
#2 94.00' 63 CF 47.8'W X 30.0'H X 7.00'L PARABOLIC ARCH X 1 INSIDE #1  
#3 96.00' 1 CF 0.33'D X 10.0'H VERTICAL CONE/CYLINDER-IMPVIOUS  
TOTAL AVAILABLE STORAGE = 133 CF >>> 127 CF  
\*PLEASE NOTE: THESE CALCULATIONS ARE PER UNIT. THERE ARE 2 UNITS ONSITE.

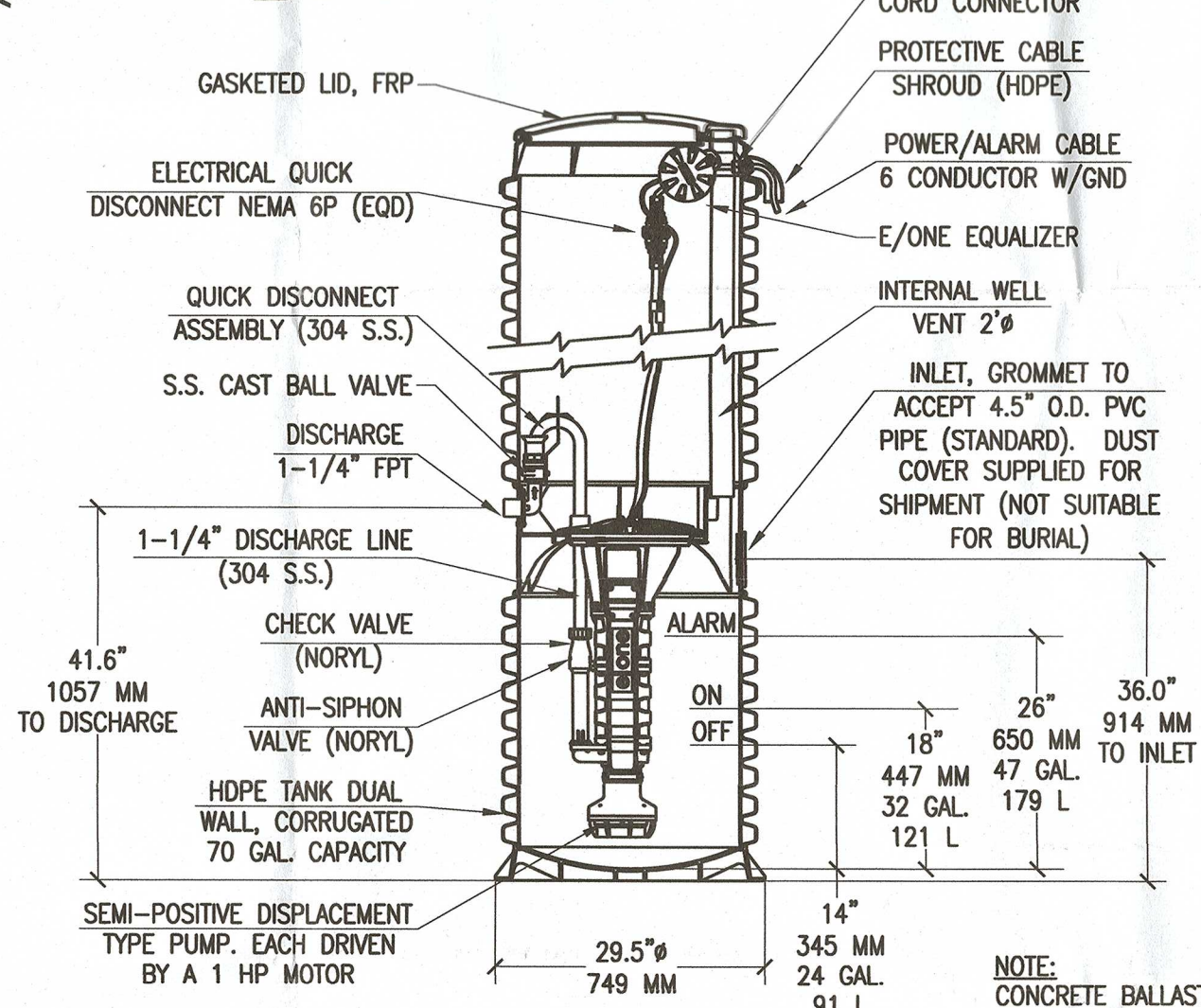
ASSESSORS  
MAP 130D LOT 473  
(AREA=34,512± S.F.)

- ZONING DATA -		
DISTRICT: RA - RESIDENTIAL A		
DESCRIPTION	REQUIRED	PROVIDED
LOT AREA	8,000 S.F.	34,512± S.F.
LOT FRONTAGE	75 FT	80.15 FT
FRONT SETBACK	20 FT	23.9± FT
SIDE SETBACK	10/12 FT	18.7±/26.3± FT
REAR SETBACK	30 FT	111.8± FT
BUILDING HEIGHT (MAXIMUM)	45 FT	30± FT
BUILDING COVERAGE (MAXIMUM)	30 %	4.1± %
LOT COVERAGE (MAXIMUM)	65 %	6.2± %

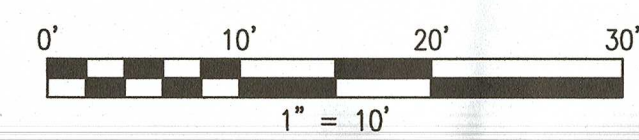


STAKED HAY BALES  
NOT TO SCALE

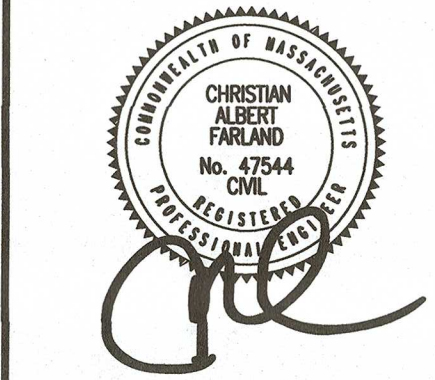
OPTIONS: ☐ DH071 (HARD WIRED LEVEL CONTROLS)  
☐ DR071 (WIRELESS LEVEL CONTROLS)



E-ONE GRINDER PUMP  
NOT TO SCALE



REVISIONS



www.FarlandCorp.com  
401 COUNTY STREET  
NEW BEDFORD, MA 02740  
P.508.717.3479  
OFFICES IN:  
•TAUNTON  
•MARLBOROUGH  
•WARWICK, RI

DRAWN BY: JT/AJT  
DESIGNED BY: JT  
CHECKED BY: CAF

SITE PLAN  
— FARLAND CIRCLE —  
ASSESSORS MAP 130D LOT 473  
NEW BEDFORD, MASSACHUSETTS

PREPARED FOR:  
EMANUEL ANDRADE  
8 MICHELLE LANE  
NEW BEDFORD, MA 02745

AUGUST 2, 2021  
SCALE: 1"=10'  
JOB NO. 20-535  
LATEST REVISION:

SHEET 1 OF 1