

SERVICE 34172

FIRE SUPPLY

NEW BEDFORD WATER WORKS

APPLICATION FOR SERVICE AND METER

NEW BEDFORD

I HEREBY ACKNOWLEDGE the receipt of a copy of the Regulations prescribed in the Ordinance of the City, for the use of Water, and I request that the water may be furnished through a

6 inch Ductile Iron meter at ss. 245 Sharon St E x Acushnet Ave  
AKA 984 Sharon St.

at such rates as may from time to time be established by the City.

I hereby agree to pay promptly the bill for the Service pipe laid down for my premises, and to pay all dues for water, and I agree to conform to the said Regulations and to all provisions of the Water Ordinances, until written notice is given by me or my agent to cut off the supply.

P. 137AL: 21-25  
33-37

TELEPHONE 774 930-5167

JOSE ARAUJO  
PO BOX 91 ROCHESTER, MA 02770

Service laid Fire Supply Size and kind of pipe

From Contractor: Pending: St.

Turned on Meter Set

Reading Location

Building rates \$465.00 V#131 Paid

Cost of Service Paid

31-727

6" - Ductile - Fire Supply 07/19/2022

Contractor RJ Canessa Inspector Percy Reynolds

E X E ACUSHNET AVE	183.1
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N X S SHARON ST	16
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E X W BUILD	49
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W X E BUILD	35
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N X N BUILD	22
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MAIN TO PROPERTY LINE	18
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PIPE INSIDE PROPERTY	8
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JOSE F ARAUJO  
ELSIE C ARAUJO  
PO BOX 91  
ROCHESTER, MA 02770

131

53-7085/2113  
215

6/15/22

Date

CHECK ARMOR  
FRAUD PROTECTION

Pay to the  
Order of

City of New Bedford \$465.00  
Four hundred sixty-five and 00/100

Dollars



Photo  
Safe  
Deposit  
Details on back



For

fire sprinkler permit Ellie Gracie

⑆211370859⑆

150606625⑈ 0131



- ZONING DATA -			
DISTRICT: MUB			
DESCRIPTION	REQUIRED	EXISTING	PROVIDED
LOT AREA	15,000 S.F.	52,000 S.F.	- S.F.
LOT FRONTAGE	150 FT	560 FT	- FT
FRONT SETBACK	20 FT	9.5 FT	*5.3 FT
SIDE SETBACK	10,12 FT	6.8 FT	*6.6 FT
REAR SETBACK	30 FT	N/A FT	N/A FT
BUILDING HEIGHT (MAXIMUM)	100 FT	<100 FT	<100 FT
BUILDING COVERAGE (MAXIMUM)	40 %	14.5 %	29.4 %
GREEN SPACE (MINIMUM)	35 %	92 %	37 %
- PARKING REQUIREMENT -			
PRINCIPAL USE: MULTI-FAMILY RESIDENTIAL			
REQUIREMENT	REQUIRED	PROVIDED	
TWO SPACES PER DWELLING UNIT	48 SPACES	**30 SPACES	

\*RELIEF GRANTED BY NEW BEDFORD ZONING BOARD OF APPEALS CASE #4365

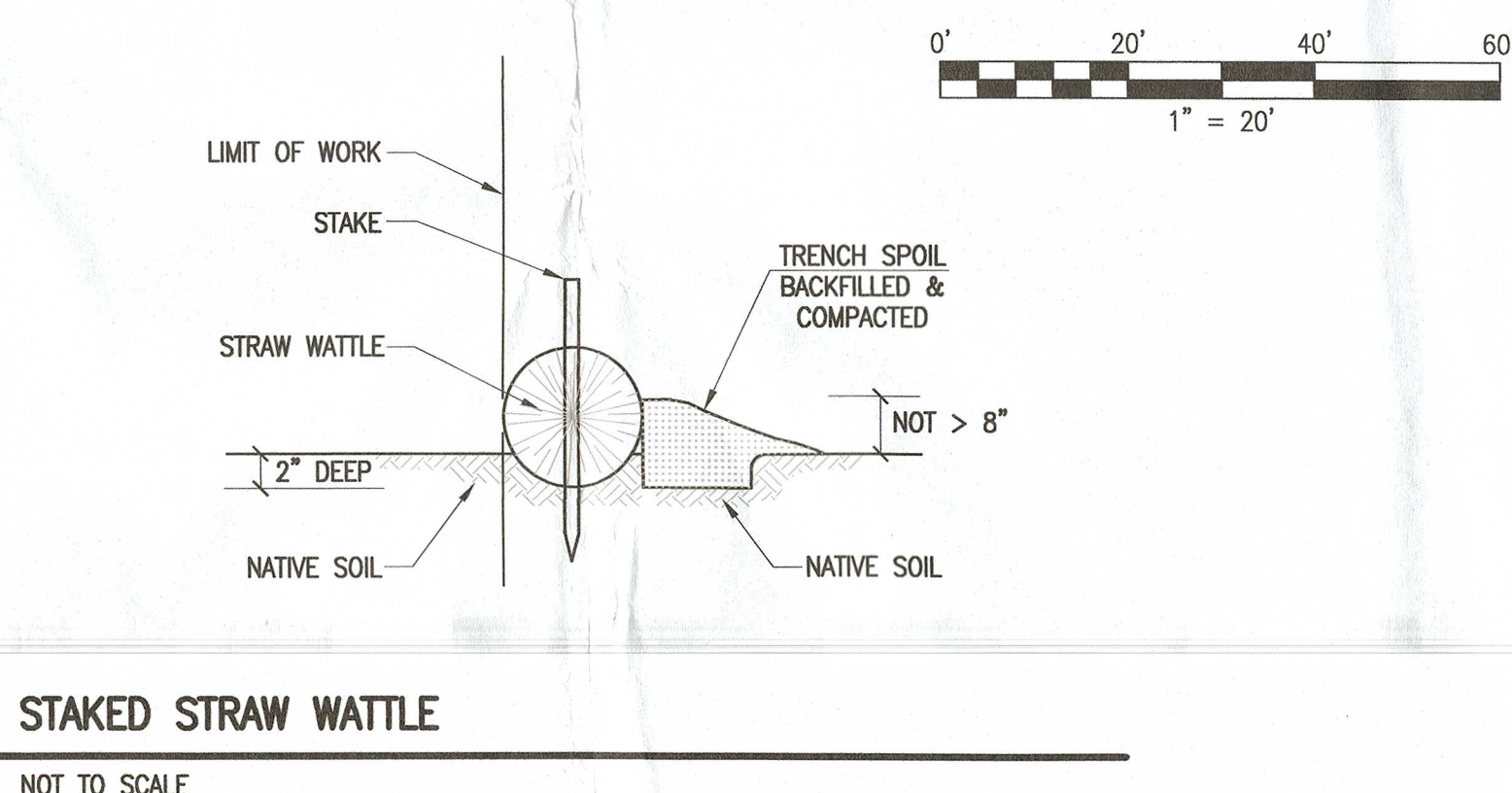
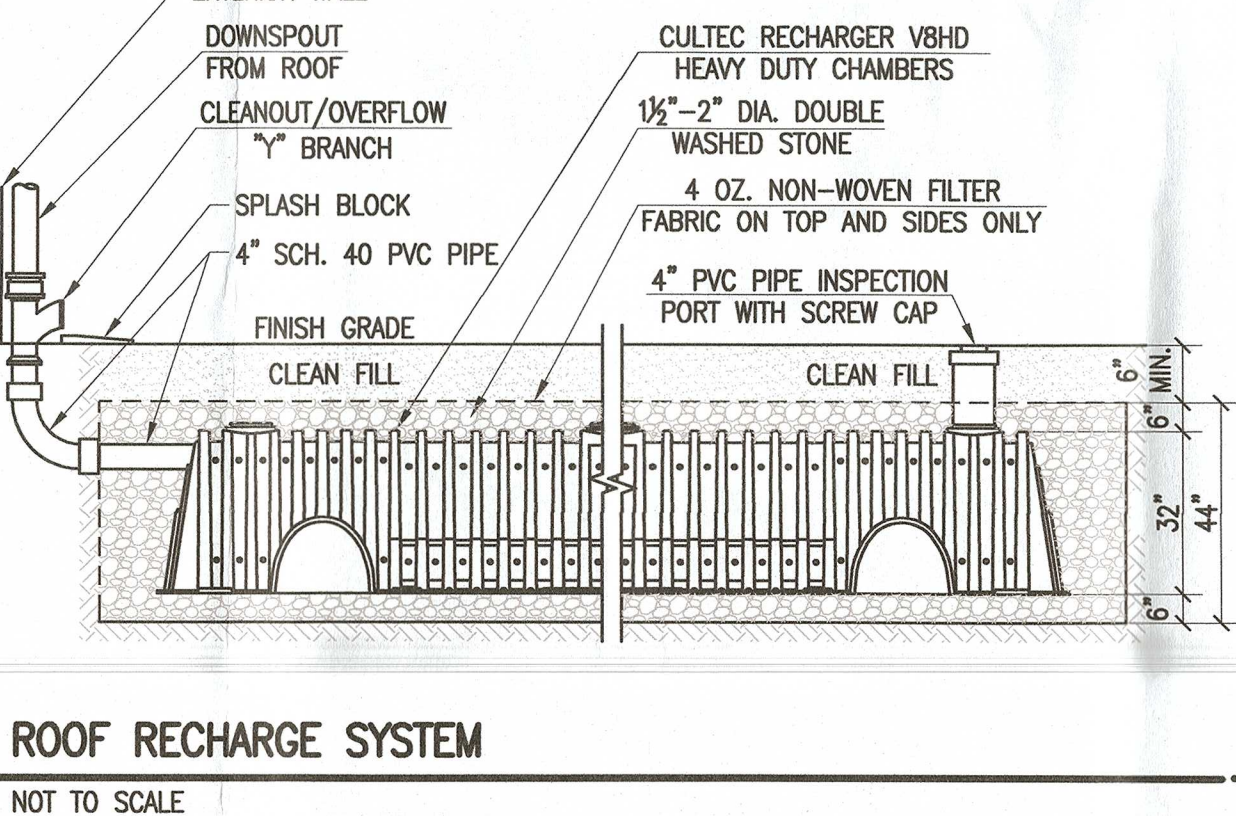
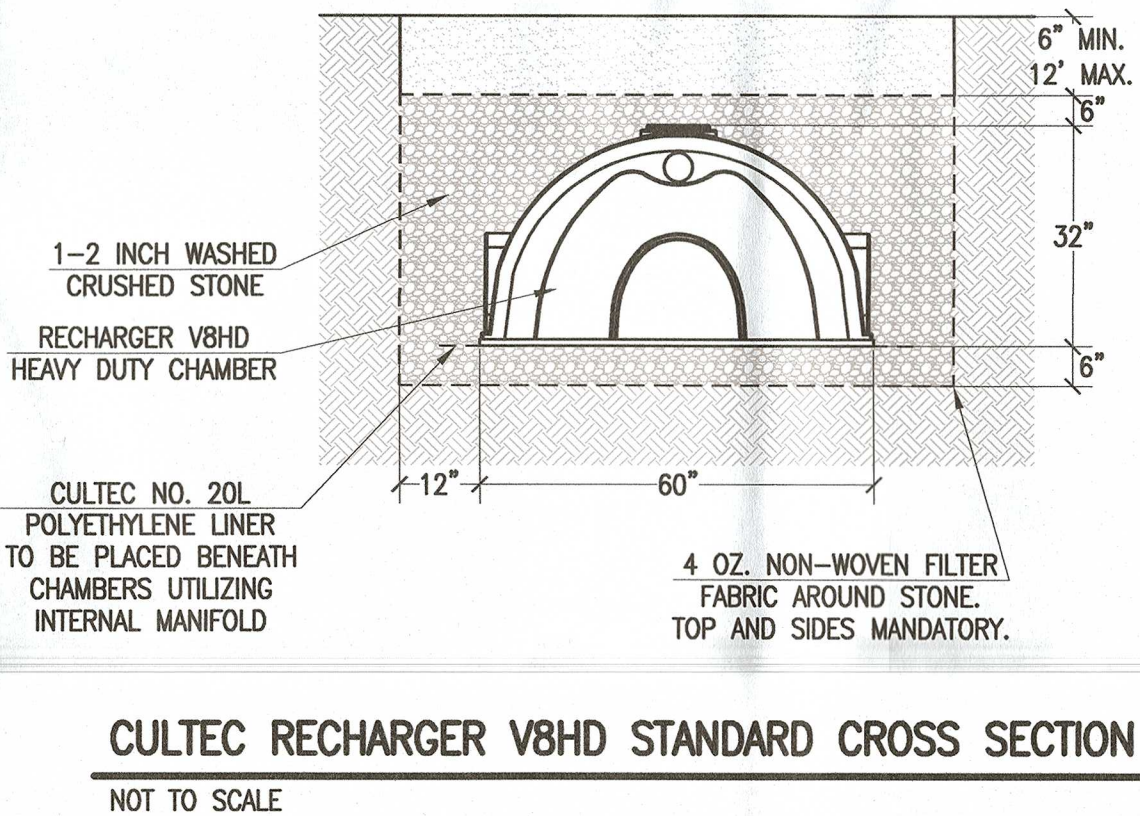
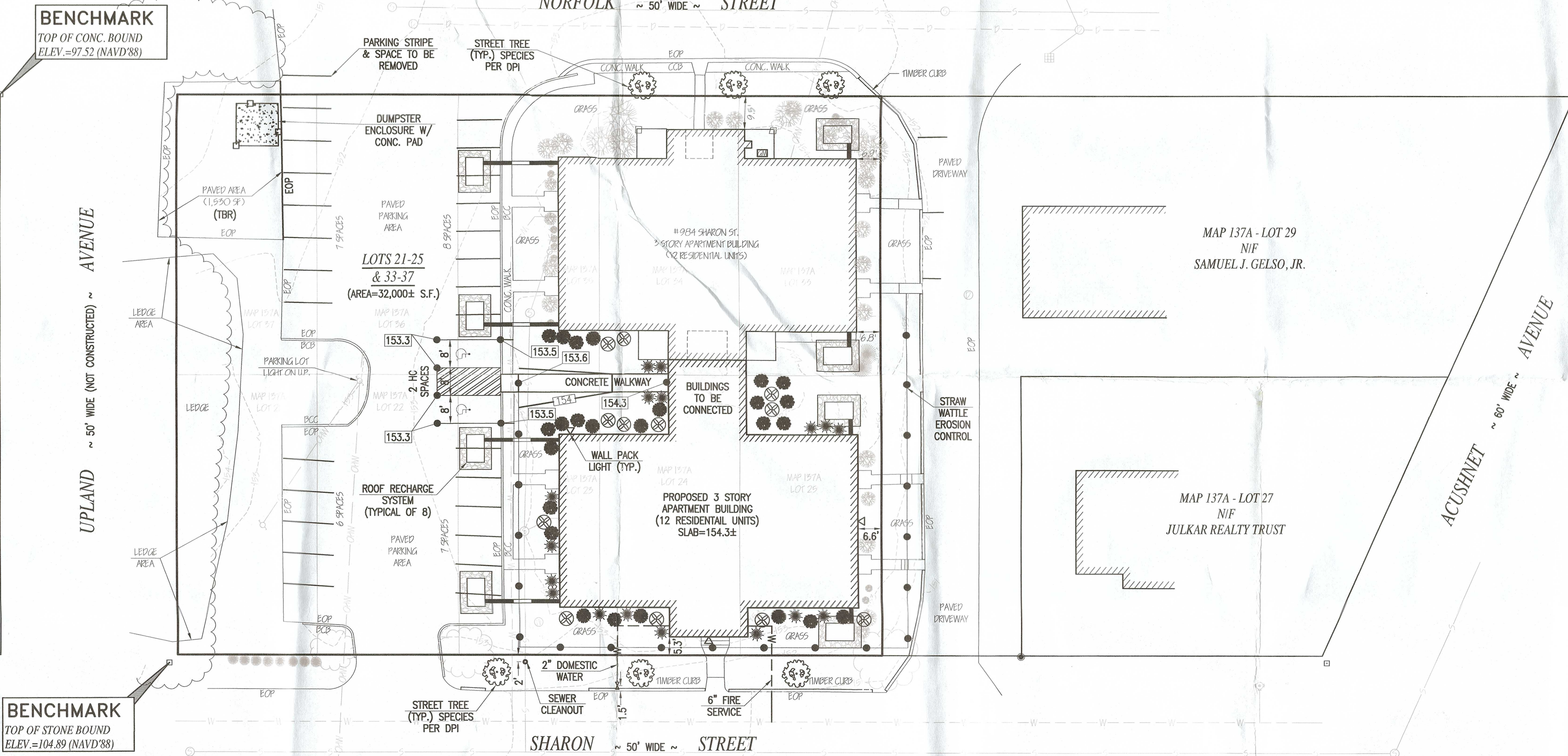
\*\*SPECIAL PERMIT FROM NEW BEDFORD PLANNING BOARD REQUESTED FOR REDUCTION IN REQUIRED PARKING

SUBSURFACE ROOF RECHARGE UNIT SIZING CALCULATIONS (PER BUILDING):			
INFLOW AREA	=	4,850 SF, 100.00% IMPERVIOUS,	INFLOW DEPTH = 2.77" FOR 2-YEAR STORM EVENT
INFLOW	=	0.32 CFS @ 12.08 HRS,	VOLUME= 1,119 CF
OUTFLOW	=	0.00 CFS @ 9.20 HRS,	VOLUME= 913 CF, ATTN= 97%, LAG= 0.0 MIN
DISCARDED	=	0.00 CFS @ 9.20 HRS,	VOLUME= 913 CF
ROUTING BY STOR-IND METHOD, TIME SPAN= 0.00-30.00 HRS, DT= 0.05 HRS			
PEAK ELEV= 152.01' @ 15.55 HRS SURF AREA= 432 SF		REQUIRED STORAGE= 612 CF	
		STORAGE DESCRIPTION	
VOLUME	INVERT	AVAIL. STORAGE	
#1	149.83'	430 CF	12.00'W X 9.00'L X 3.66'H PRISMATOID X 4 1,581 CF OVERALL - 506 CF EMBEDDED = 1,075 CF X 40.0% VOIDS
#2	150.33'	506 CF	120.0'W X 32.0'H X 7.12'L PARABOLIC ARCH X 4 INSIDE #1
TOTAL AVAILABLE STORAGE = 936 CF >>> 612 CF			

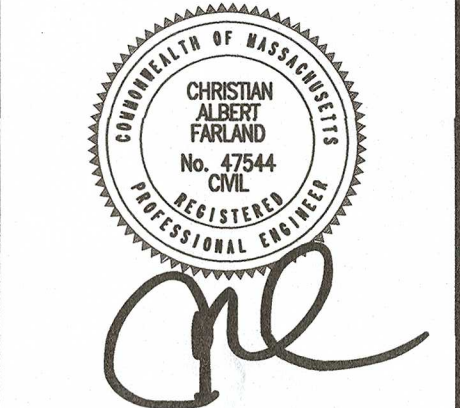
LANDSCAPE TABLE				
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY
SHRUBS				
●	ILEX GLABRA 'SHAMROCK'	INKBERRY	2 GAL.	14
●	JUNIPERUS SQUAMATA	BLUE STAR	2 GAL.	11
⊗	HYDRANGEA MACROPHYLLA 'NIKKO BLUE'	NIKKO BLUE HYDRANGEA	2 GAL.	12
✱	MISCANTHUS SINENSIS	AUTUMN ANTHEM	2 GAL.	17

#### GENERAL CONSTRUCTION NOTES:

- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIG SAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLAN.
- VERTICAL ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM (NAVD) OF 1988.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL STANDARDS AND REGULATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL CONTROL POINTS AND BENCH MARKS NECESSARY FOR THE WORK.
- ALL BENCHMARKS SHOWN ON THIS PLAN ARE TO BE CHECKED FOR CONSISTENCY BY THE CONTRACTOR. ANY DISCREPANCIES MUST BE RESOLVED BY THIS OFFICE PRIOR TO CONSTRUCTION.
- WHERE PROPOSED PAVEMENT AND WALKS ARE TO MEET EXISTING, THE CONTRACTOR SHALL SAWCUT A NEAT LINE AND MATCH GRADE. SEAL ALL JOINTS WITH HOT BITUMINOUS ASPHALT JOINT SEALER.
- ALL EXISTING TREES, SHRUBS AND GROUND COVER WHERE NATURAL GRADE IS TO BE RETAINED SHALL BE KEPT IN THEIR EXISTING STATE UNLESS REMOVAL IS REQUIRED FOR CONSTRUCTION PURPOSES.
- ALL AREAS DISTURBED BY CONSTRUCTION AND NOT TO BE PAVED OR OTHERWISE TREATED AS NOTED ON PLAN SHALL BE TREATED WITH 4" OF LOAM, SEEDED AND HAY MULCHED FOR EROSION CONTROL.
- SITE IMPROVEMENTS SHALL CONFORM TO A.D.A. SPECIFICATIONS.
- CONTRACTOR SHALL THOROUGHLY FAMILIARIZE THEMSELVES WITH ALL CONSTRUCTION DOCUMENTS, SPECIFICATIONS AND SITE CONDITIONS PRIOR TO BIDDING AND PRIOR TO CONSTRUCTION.
- ANY DISCREPANCIES BETWEEN DRAWINGS, SPECIFICATIONS AND SITE CONDITIONS SHALL BE REPORTED IMMEDIATELY TO THE OWNER'S REPRESENTATIVE FOR CLARIFICATION AND RESOLUTION PRIOR TO BIDDING OR CONSTRUCTION.
- THESE PLANS ARE PERMITTING PLANS AND SHALL NOT BE USED FOR CONSTRUCTION. A FINAL SET OF STAMPED PLANS FOR CONSTRUCTION WILL BE ISSUED AFTER RECEIVING FINAL APPROVAL FROM THE LOCAL AND/OR STATE DEPARTMENTS.



REVISIONS		
1	7/3/19	PB, DPI COMMENTS
2	4/20/20	DPI COMMENTS
3	5/15/20	DPI COMMENTS
3	5/29/20	DPI COMMENTS



www.FarlandCorp.com  
401 COUNTY STREET  
NEW BEDFORD, MA 02740  
P.508.717.3479  
OFFICES IN:  
•TAUNTON  
•MARLBOROUGH  
•WARWICK, RI

DRAWN BY: KW  
DESIGNED BY: NPD  
CHECKED BY: BJM/CAF

SITE PLAN  
984 SHARON STREET  
ASSESSORS MAP 137A LOTS 21-25 & 33-37  
NEW BEDFORD, MASSACHUSETTS  
PREPARED FOR:  
SHARON STREET REALTY TRUST  
PO BOX 91  
ROCHESTER, MA 02770

APRIL 3, 2019  
SCALE: 1"=20'  
JOB NO. 18-160  
LATEST REVISION:  
MAY 29, 2020  
LAYOUT & UTILITIES  
SHEET 3 OF 3