

W-22-22
SERVICE 34171

EXP 6-17-2023
NEW BEDFORD WATER WORKS

APPLICATION FOR SERVICE AND METER

NEW BEDFORD 6-17-2022

Domestic
I HEREBY ACKNOWLEDGE the receipt of a copy of the Regulations prescribed in the Ordinance of the City, for the use of Water, and I request that the water may be furnished through a

2" inch COPPER meter at SS 245 Sharon St E x Acushnet Ave.
FKA 984 Sharon St. Ave.

at such rates as may from time to time be established by the City.

I hereby agree to pay promptly the bill for the Service pipe laid down for my premises, and to pay all dues for water, and I agree to conform to the said Regulations and to all provisions of the Water Ordinances, until written notice is given by me or my agent to cut off the supply.

P: 137A L: 21-25
33-37

TELEPHONE 774-930-5167

Service laid

Pending: Contractor:

Size and kind of pipe

Copper

From

St.

Turned on

Meter Set

Reading

Location

Building rates

Paid

Cost of Service

Paid

31-727

\$ 565

✓ 132

X Jose F. Araujo
PO. Box 910 Rochester, MA 02710

Picked up couplings

9-19-22

X



2" - Copper 07/19/2022

Contractor RJ Canessa Inspector Percy Reynolds

E X E ACUSHNET AVE 198.1

N X S SHARON ST 1.0

E X W BUILD 20.7

W X E BUILD 63

N X N BUILD 15

MAIN TO PROPERTY LINE 18

PIPE INSIDE PROPERTY 16

DISPLAY PERMIT IN A CONSPICUOUS PLACE ON THE PREMISES



Commonwealth of Massachusetts

City of New Bedford

133 William Street New Bedford, MA 02740

WATER SERVICE PERMIT



Date: 9/8/2022

No. **W-22-22**

Permit Fee: \$565.00

Service Location: 984 SHARON ST

Owner Name: ARAUJO JOSE "TRUSTEE"SHARON

Owner Phone #: (774) 930-5167

Type of Occupancy: Residential

Type of Work: Water - Domestic New 2"

Work Description: WATER DOMESTIC SERVICE
2" COPPER

P137a I21-25 , 33,37

FKA 984 SHARON ST

PERMIT EXPIRS 06/17/22

Contractor

Name: _____ Certificate #: _____ Type of Business : _____

Address: _____ City/Town/State: _____ Phone #: _____

Type of Service _____ Pipe Size _____ Trench Length: **0.00**

Fire Service _____

Domestic Service _____

Estimated consumption of water

Estimated average daily consumption 0.00 gallons

Cross Connection? **No**

Estimated maximum day consumption 0.00 gallons

Right of Way? **No**

Are lawn sprinklers and/or lawn irrigation proposed on site? **No**

Meter Impact? **No**

Estimated fire flows required for the project site: 0.00

Street Opening Permit Required? **No**

Does the project require a fire suppression system? **No**

Required minimum static pressure for the proposed project site _____

Call Phone: (781) 942-9077 For Inspection

DISPLAY PERMIT IN A CONSPICUOUS PLACE ON THE PREMISES



Commonwealth of Massachusetts

City of New Bedford

133 William Street New Bedford, MA 02740

WATER SERVICE PERMIT

0.00



GRANTED WITH THE USUAL CONDITIONS

Water

COMMISSIONER

Call Phone: (781) 942-9077 For Inspection

JOSE F ARAUJO
ELSIE C ARAUJO
PO BOX 91
ROCHESTER, MA 02770

132

53-7085/2113
215

6/15/22

Date

CHECK ARMOR
TRAID PROTECTION

Pay to the
Order of

City of New Bedford \$565.00
Five hundred sixty-five ^{xx}/₁₀₀

Dollars



Photo
Safe
Deposit
Details on back



For

domestic water per. Elsie Araujo

⑆ 211370859⑆

150606625⑈ 0132

- ZONING DATA -			
DISTRICT: MUB			
DESCRIPTION	REQUIRED	EXISTING	PROVIDED
LOT AREA	15,000 S.F.	32,000 S.F.	- S.F.
LOT FRONTAGE	150 FT	360 FT	- FT
FRONT SETBACK	20 FT	9.5 FT	*5.3 FT
SIDE SETBACK	10,12 FT	6.8 FT	*6.6 FT
REAR SETBACK	30 FT	N/A FT	N/A FT
BUILDING HEIGHT (MAXIMUM)	100 FT	100 FT	<100 FT
BUILDING COVERAGE (MAXIMUM)	40 %	14.3 %	29.4 %
GREEN SPACE (MINIMUM)	35 %	32 %	37 %
- PARKING REQUIREMENT -			
PRINCIPAL USE: MULTI-FAMILY RESIDENTIAL			
REQUIREMENT	REQUIRED	PROVIDED	
TWO SPACES PER DWELLING UNIT	48 SPACES	**30 SPACES	

*RELIEF GRANTED BY NEW BEDFORD ZONING BOARD OF APPEALS CASE #4365

**SPECIAL PERMIT FROM NEW BEDFORD PLANNING BOARD REQUESTED FOR REDUCTION IN REQUIRED PARKING

LANDSCAPE TABLE				
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY
SHRUBS				
●	ILEX GLABRA "SHAMROCK"	INKBERRY	2 GAL.	14
●	JUNIPERUS SQUAMATA	BLUE STAR	2 GAL.	11
⊗	HYDRANGEA MACROPHYLLA "NIKKO BLUE"	NIKKO BLUE HYDRANGEA	2 GAL.	12
✱	MISCANTHUS SINENSIS	AUTUMN ANTHEM	2 GAL.	17

GENERAL CONSTRUCTION NOTES:

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIG SAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLAN.
2. VERTICAL ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM (NAVD) OF 1988.
3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL STANDARDS AND REGULATIONS.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL CONTROL POINTS AND BENCH MARKS NECESSARY FOR THE WORK.
5. ALL BENCHMARKS SHOWN ON THIS PLAN ARE TO BE CHECKED FOR CONSISTENCY BY THE CONTRACTOR. ANY DISCREPANCIES MUST BE RESOLVED BY THIS OFFICE PRIOR TO CONSTRUCTION.
6. WHERE PROPOSED PAVEMENT AND WALKS ARE TO MEET EXISTING, THE CONTRACTOR SHALL SAWCUT A NEAT LINE AND MATCH GRADE. SEAL ALL JOINTS WITH HOT BITUMINOUS ASPHALT JOINT SEALER.
7. ALL EXISTING TREES, SHRUBS AND GROUND COVER WHERE NATURAL GRADE IS TO BE RETAINED SHALL BE KEPT IN THEIR EXISTING STATE UNLESS REMOVAL IS REQUIRED FOR CONSTRUCTION PURPOSES.
8. ALL AREAS DISTURBED BY CONSTRUCTION AND NOT TO BE PAVED OR OTHERWISE TREATED AS NOTED ON PLAN SHALL BE TREATED WITH 4" OF LOAM, SEEDING AND MULCH OR OTHERWISE TREATED AS NOTED ON PLAN.
9. SITE IMPROVEMENTS SHALL CONFORM TO A.D.A. SPECIFICATIONS.
10. CONTRACTOR SHALL THOROUGHLY FAMILIARIZE THEMSELVES WITH ALL CONSTRUCTION DOCUMENTS, SPECIFICATIONS AND SITE CONDITIONS PRIOR TO BIDDING AND PRIOR TO CONSTRUCTION.
11. ANY DISCREPANCIES BETWEEN DRAWINGS, SPECIFICATIONS AND SITE CONDITIONS SHALL BE REPORTED IMMEDIATELY TO THE OWNER'S REPRESENTATIVE FOR CLARIFICATION AND RESOLUTION PRIOR TO BIDDING OR CONSTRUCTION.
12. THESE PLANS ARE PERMITTING PLANS AND SHALL NOT TO BE USED FOR CONSTRUCTION. A FINAL SET OF STAMPED PLANS FOR CONSTRUCTION WILL BE ISSUED AFTER RECEIVING FINAL APPROVAL FROM THE LOCAL AND/OR STATE DEPARTMENTS.

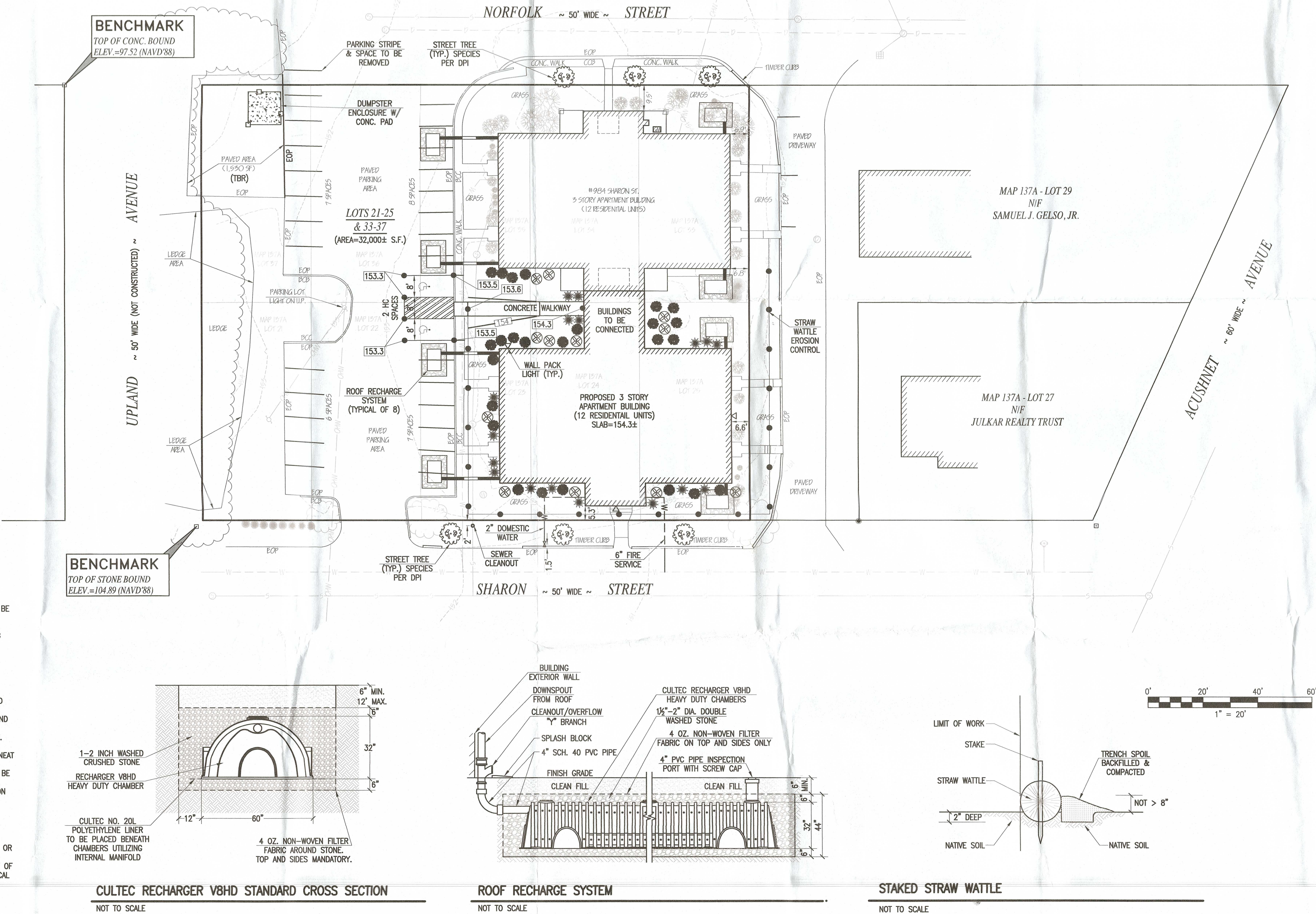
SUBSURFACE ROOF RECHARGE UNIT SIZING CALCULATIONS (PER BUILDING):

INFLOW AREA	=	4,850 SF, 100.00% IMPERVIOUS,	INFLOW DEPTH = 2.77" FOR 2-YEAR STORM EVENT
INFLOW	=	0.32 CFS @ 12.09 HRS,	VOLUME= 1,119 CF
OUTFLOW	=	0.00 CFS @ 9.20 HRS,	VOLUME= 913 CF, ATTEN= 97%, LAG= 0.0 MIN
DISCARDED	=	0.00 CFS @ 9.20 HRS,	VOLUME= 913 CF

ROUTING BY STOR-IND METHOD, TIME SPAN= 0.00-30.00 HRS, DT= 0.05 HRS
PEAK ELEV= 152.01' @ 15.55 HRS SURF AREA= 432 SF REQUIRED STORAGE= 612 CF

VOLUME	INVERT	AVAIL. STORAGE	STORAGE DESCRIPTION
#1	149.83'	430 CF	12.00'W X 9.00'L X 3.66'H PRISMATOID X 4 1,581 CF OVERALL - 506 CF EMBEDDED = 1,075 CF X 40.0% VOIDS
#2	150.33'	506 CF	120.0'W X 32.0'H X 7.12'L PARABOLIC ARCH X 4 INSIDE #1

TOTAL AVAILABLE STORAGE = 936 CF >>> 612 CF



REVISIONS

1	7/3/19	PB, DPI COMMENTS
2	4/20/20	DPI COMMENTS
3	5/15/20	DPI COMMENTS
3	5/29/20	DPI COMMENTS

CREATED BY: CHRISTIAN ALBERTI
DATE: 4/24/20
PROJECT: 137A-21-25 & 33-37
SHEET: 3 OF 3

www.FarlandCorp.com
401 COUNTY STREET
NEW BEDFORD, MA 02740
P.508.717.3479
OFFICES IN:
•TAUNTON
•MARLBOROUGH
•WARWICK, RI

DRAWN BY: KW
DESIGNED BY: NPD
CHECKED BY: BJM/CAF

SITE PLAN

984 SHARON STREET
ASSESSORS MAP 137A LOTS 21-25 & 33-37
NEW BEDFORD, MASSACHUSETTS

PREPARED: SHARON STREET REALTY TRUST
FOR: PO BOX 91
ROCHESTER, MA 02770

APRIL 3, 2019

SCALE: 1"=20'

JOB NO. 18-160

LATEST REVISION:
MAY 29, 2020

LAYOUT & UTILITIES

SHEET 3 OF 3