

W-22-3

SERVICE 34157

# NEW BEDFORD WATER WORKS APPLICATION FOR SERVICE AND METER NEW BEDFORD 3-22-2022

Expires: 3-22-23

I HEREBY ACKNOWLEDGE the receipt of a copy of the Regulations prescribed in the Ordinance of the City, for the use of Water, and I request that the water may be furnished through a

1 inch Copper meter at Fairland Circle (W.S.) S x Phillips Rd.  
P. 130D L 404 aka builders lot 17

at such rates as may from time to time be established by the City.

I hereby agree to pay promptly the bill for the Service pipe laid down for my premises, and to pay all dues for water, and I agree to conform to the said Regulations and to all provisions of the Water Ordinances, until written notice is given by me or my agent to cut off the supply.

\* Single family home

Eddie Lopez 77 State Rd. Dartmouth, MA

TELEPHONE 508-441-8606

Service laid down UC

Size and kind of pipe

1" Copper

From connecting to B.D. water main in Fairland Circle

St.

Turned on

Meter Set

Reading

Location

Building rates

Paid

Cost of Service

\$500.00

Paid

check 566

31-727

/.

S	X	S	LINE PHILLIPS RD	283'
S	X		1st HYDRANT	70'
E	X	W	LINE FARLAND CIRCLE	10'
N	X	S	LINE HOUSE	32'
S	X	N	LINE HOUSE	17'
E	X	E	LINE HOUSE	41'

PIPE INSIDE PROPERTY 33'

**DISPLAY PERMIT IN A CONSPICUOUS PLACE ON THE PREMISES**



Commonwealth of Massachusetts

# City of New Bedford

133 William Street New Bedford, MA 02740

## WATER SERVICE PERMIT



Date: 4/7/2022

No. **W-22-3**

Permit Fee: \$500.00

Service Location: WS- FARLAND CRC

Owner Name: BIG THREE LLC

Owner Phone #: (508) 441-8606

Type of Occupancy: Residential

Type of Work: Water - Domestic New 1"

Work Description: Water Service #34157  
P.130D L464

**Farland Circle WS S x Phillips Rd AKA Builders Lot #17**

**single family home--  
connecting to 8inch DI water main in Farland Circle**

**expires 3-22-23**

### Contractor

Name: \_\_\_\_\_ Certificate #: \_\_\_\_\_ Type of Business : \_\_\_\_\_

Address: \_\_\_\_\_ City/Town/State: \_\_\_\_\_ Phone #: \_\_\_\_\_

Type of Service Pipe Size Trench Length: **0.00**

Fire Service \_\_\_\_\_

Domestic Service \_\_\_\_\_

### Estimated consumption of water

Estimated average daily consumption 0.00 gallons

Estimated maximum day consumption 0.00 gallons

Are lawn sprinklers and/or lawn irrigation proposed on site? **No**

Estimated fire flows required for the project site: 0.00

Does the project require a fire suppression system? **No**

Required minimum static pressure for the proposed project site \_\_\_\_\_

Cross Connection? **No**

Right of Way? **No**

Meter Impact? **No**

Street Opening Permit Required? **No**

**Call Phone: (781) 942-9077 For Inspection**

**DISPLAY PERMIT IN A CONSPICUOUS PLACE ON THE PREMISES**



Commonwealth of Massachusetts

# City of New Bedford

133 William Street New Bedford, MA 02740

## WATER SERVICE PERMIT

0.00



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**GRANTED WITH THE USUAL CONDITIONS**

Water

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COMMISSIONER

**Call Phone: (781) 942-9077 For Inspection**



SERVICE 34157

NEW BEDFORD WATER WORKS

APPLICATION FOR SERVICE AND METER

NEW BEDFORD

3-22-2022

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\* Single family home

Eddie Lopen 77 State Rd Dartmouth, MA

TELEPHONE 508-441-8406

Service laid lines, LLC

Size and kind of pipe

1" Copper

From connecting to E.D.I. water main in Farland Circle St.


Turned on \_\_\_\_\_ Meter Set \_\_\_\_\_

Reading \_\_\_\_\_ Location \_\_\_\_\_

Building rates \_\_\_\_\_ Paid \_\_\_\_\_

Cost of Service \$500.00 Paid check 566

31-727

	<b>Big Three LLC</b> 29 Waldo St New Bedford, MA 02745	53-7064/2113	566
	3/21 2022		
	Pay to the order of <u>City of New Bedford</u> \$ <u>500.00</u>		
	<u>Five hundred</u> 00/100 Dollars		
	<b>Bank Five</b> Fall River, MA 02722	for <u>lot 17 water</u>	
⑆211370642⑆901320523⑆		0566	





MAP 130D LOT 389

N/F

SOUTHERN MASS  
CREDIT UNION

**- ZONING DATA -**

**DISTRICT:** RA - RESIDENTIAL A

DESCRIPTION	REQUIRED
FRONT SETBACK	20 FT
SIDE SETBACK	10/12 FT
REAR SETBACK	30 FT

ASSESSORS  
MAP 130D LOT 464  
(AREA=14,573± S.F.)

EXISTING DRAINAGE  
EASEMENT

MAP 130D  
LOT 465  
N/F  
ALVES  
FAMILY  
TRUST

MAP 130D  
LOT 463  
N/F  
LOPEZ  
DEVELOPMENT,  
LLC

EXISTING FOUNDATION  
TOP=104.12'

FARLAND ~PRIVATE - 50' WIDE~ CIRCLE

**NOTE:**

THIS FOUNDATION AS-BUILT SURVEY WAS PERFORMED BY FARLAND CORP. IN MARCH OF 2022.

COPYRIGHT © 2022 FARLAND CORP. ALL RIGHTS RESERVED.

NO PART OF THIS DOCUMENT MAY BE REPRODUCED, STORED IN A RETRIEVAL SYSTEM, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC, MECHANICAL, PHOTOCOPYING, RECORDING OR OTHERWISE, WITHOUT THE EXPRESS WRITTEN CONSENT OF FARLAND CORP.

ANY MODIFICATIONS MADE TO THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF FARLAND CORP. SHALL RENDER IT INVALID AND UNUSABLE.



**FOUNDATION AS-BUILT PLAN**

**FARLAND CIRCLE**

**ASSESSORS MAP 130D LOT 464  
NEW BEDFORD, MASSACHUSETTS**



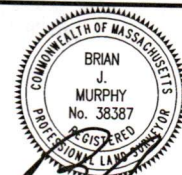
[www.FarlandCorp.com](http://www.FarlandCorp.com)

21 VENTURA DRIVE  
DARTMOUTH, MA 02747

P.508.717.3479  
• ENGINEERING  
• SITEWORK  
• LAND SURVEYING  
• DEVELOPMENT

**PREPARED FOR:**

LOPEZ DEVELOPMENT  
129 HUTTLESTON  
AVENUE  
FAIRHAVEN, MA  
02719



SCALE: 1"=20'

MARCH 18, 2022

DRAWN BY: AJT

JOB NO: 19-744.17

ASR-DPI Engrg.

RE: TB-21-3185

Farland Circle (W.S.) S. x Phillips Rd. (a/k/a Builder's Lot 17)

Plot 130D Lot 464

Reviewed 12/20/2021

PLEASE NOTE:

It is the responsibility of the applicant and the contractors to be familiar with DPI procedures/ regulations and ascertain that all proposed work which falls under DPI jurisdiction, whether shown on the submitted site plan or not, is identified and executed in accordance with City of New Bedford DPI Construction Standards/Specifications. The Certificate of Occupancy (CO) will not be signed for any work performed that is non-compliant and/or if any of the following conditions are not met.

The following conditions are to be met by the applicant (being the owner and/or their representative) as part of this permit approval:

1. The site plan submitted in View Permit, titled: "Site Plan, Farland Circle, Assessors Map 130D Lot 464, New Bedford, Massachusetts", having a date of 6/25/2020 (last revised 12/1/2021), as prepared by Farland Corp. and stamped/signed by Christian A. Farland, P.E. (Civil), has been conditionally approved, pending that the following minor revisions are made to the "final" site plan before applying for DPI permits:

- a. Change/re-label the water gate depicted (should be a curb stop that was installed);
- b. Label the size/type of piping going to the infiltration system on the plan view (should not just be on the cross section/detail); and
- c. Update the owner for abutting lot 463 (should be Big Three LLC).

The applicant is responsible for ensuring that Inspectional Services is provided with the "final" site plan to be placed on file in the View Permit system.

2. Must provide one stamped/signed copy of the "final" site plan approved by DPI for each of the four permits being sought (i.e., water, sewer, storm water, and sidewalk/driveway permits) for the new structure. In addition, a copy of the foundation permit and of the stamped/signed foundation as-built plan must also be submitted.

Please Note: Any representative pulling permits on behalf of the owner must provide DPI with a permission slip. If the property was acquired within the past 6 months, then a copy of the recorded deed showing property ownership must also be provided.



3. The site plan submitted indicates that there may be a sump pump tie-in at this location. The recharge system calculations must incorporate sump pump discharge, and the conditions stipulated by the City Engineer regarding sump pump installations will apply, as follows:

- a. The sump pump tie in will require a letter stamped and signed by a registered professional engineer in the Commonwealth of Massachusetts along with the supporting calculations and plans stamped and signed by the same engineer documenting the design and standards. These documents are needed before DPI signs off on the CO.
- b. A concrete lip should be constructed around the sump pump and pit (6-in high) so that if there is a spill in the basement, it cannot flow into the pit and be pumped to the infiltrator unit thereby contaminated the groundwater and site. This needs to be inspected and signed off by our inspector prior to signing of the CO.
- c. A release of liability form will need to be signed by the homeowner documenting that if he/she is identified as dumping pollutants into the pit and causes contamination of the site they are the responsible party for all cleanup and the City is not responsible. This is not needed by the CO but will be needed 30 days following execution of any property ownership documents.

4. Must contact DPI-Engineering to measure for an address number once the front door is framed. The CO will not be signed unless the legal address issued by the City is permanently affixed to, above, or next to, the main door entrance to which it was assigned such that it is highly visible from the street. Please plan accordingly, as this process will take 5-7 business days to complete.

5. The parcel must be developed in accordance with the conditions set forth in the approved Subdivision Plans.

6. Compliance with the City of New Bedford Stormwater Rules & Regulations/Ordinances is required for all project sites, regardless of size. All sites must implement sediment and erosion control measures and will be subject to the required construction site and sediment control inspections.

Please be advised that any modifications to the site plan that was reviewed/approved by DPI for the above project and placed on file as the "final" site plan for permitting must be resubmitted for review/approval.



TT - FY22  
CITY OF NEW BEDFORD  
MASSACHUSETTS



TREASURER'S OFFICE

\$ 2815.29

Date 3/21/22

RECEIVED OF 130-D-464 vs Farland  
Two thousand eight hundred dollars, for

fuel - 290.00

Big Three LLC  
CK # 562

MAR 21 2022

R. R. F.  
City Treasurer

CITY OF NEW BEDFORD

By



Commonwealth of Massachusetts

# CITY OF NEW BEDFORD

City Hall, Room 308, 133 William Street New Bedford, MA 02740 (508) 979-1540



## FOUNDATION PERMIT

2/21/2022

No. **B-21-3185**

MSBC Sect. 111.8 - Any permit issued shall be deemed abandoned and invalid unless the work authorized by it shall have been commenced within six (6) months after its issuance.

FEE PAID \$100.00

This certifies that Eddie Lopez

owner/contractor has permission to:

WS-

FARLAND CRC

on:

130D

-464

Foundations Only 1-2 Family - 100.00

Providing that the person accepting this permit shall in every respect conform to the terms of application therefore on file in this office; to the provisions of the statute of the Commonwealth and to the by-laws of the City of New Bedford relating to the inspection, erection, enlarging, altering, raising, moving, repairing, or tearing down of a building.

Permit is issued subject to the following special requirements: (Restrictions)



Wiring Inspector



Plumbing Inspector



Building Inspector

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

YOUR AREA INSPECTOR IS: Thomas Welch

Tel. (508) 979-1540 Between 8:00am - 9:00am

**NOTICE: NOTIFY INSPECTOR 48 HOURS IN  
ADVANCE OF APPLYING SHEATHING OR LATHING**

**OCCUPANCY PERMIT REQUIRED BEFORE OCCUPANCY**

No Building or Structure shall be used or occupied until the Certificate of Use and Occupancy shall have been issued by the Building Commissioner - MSBC, Sect. 120.1

**This Card Must Be Displayed in a Conspicuous Place on the Premises and Not Torn Down or Removed Until Completion of Work**

SUBJECT TO MASSACHUSETTS  
STATE BUILDING CODE

*Danny J. Moniz* Jr.



**Plan Review Comments:** :

- : 1. Sewer service to be 10 ft away from water service.
- 2. Water service to be perpendicular (90 degrees) from main to inside building.
- 3. Water curb stop (shut -off) to be 1.5ft from face of curb/pavement.
- 4. Install water meter at point of entry to building
- 5. Owner to apply for water and sewer permits.

: ASR-DPI Engrg.

RE: TB-21-3185  
Farland Circle (W.S.) S. x Phillips Rd. (a/k/a Builder's Lot 17)  
Plot 130D Lot 464  
Reviewed 11/15/2021

The site plan submitted in View Permit (dated 6/25/2020, last revised 10/6/2021) was reviewed by DPI and was denied due to a portion of the proposed structure's footprint being depicted within the utility easement area. Permanent structures cannot be built within an easement area. Please see email sent to Inspectional Services back at the end of October of 2020 in regards to this site, a copy of which has been uploaded to View Permit by DPI.

: ASR-DPI Engrg.

RE: TB-21-3185  
Farland Circle (W.S.) S. x Phillips Rd. (a/k/a Builder's Lot 17)  
Plot 130D Lot 464  
Reviewed 12/20/2021

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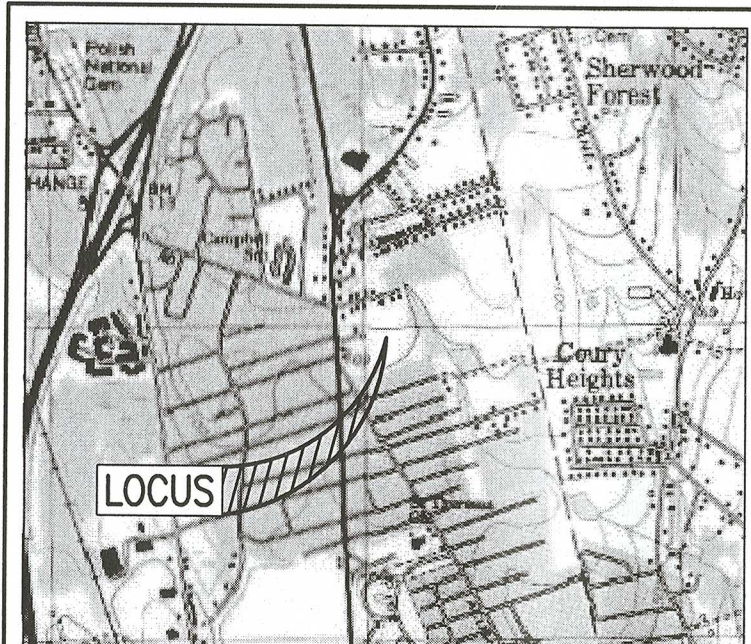
Please be advised that any modifications to the site plan that was reviewed/approved by DPI for the above project and placed on file as the "final" site plan for permitting must be resubmitted for review/approval.

: Construct a 48' x 30' foundation as per plans submitted

Farland Estates - Lot 17

Plot 130 D Lot 464





LOCUS MAP SCALE: 1"=2,000'±

#### SUBSURFACE ROOF RECHARGE UNIT SIZING CALCULATIONS:

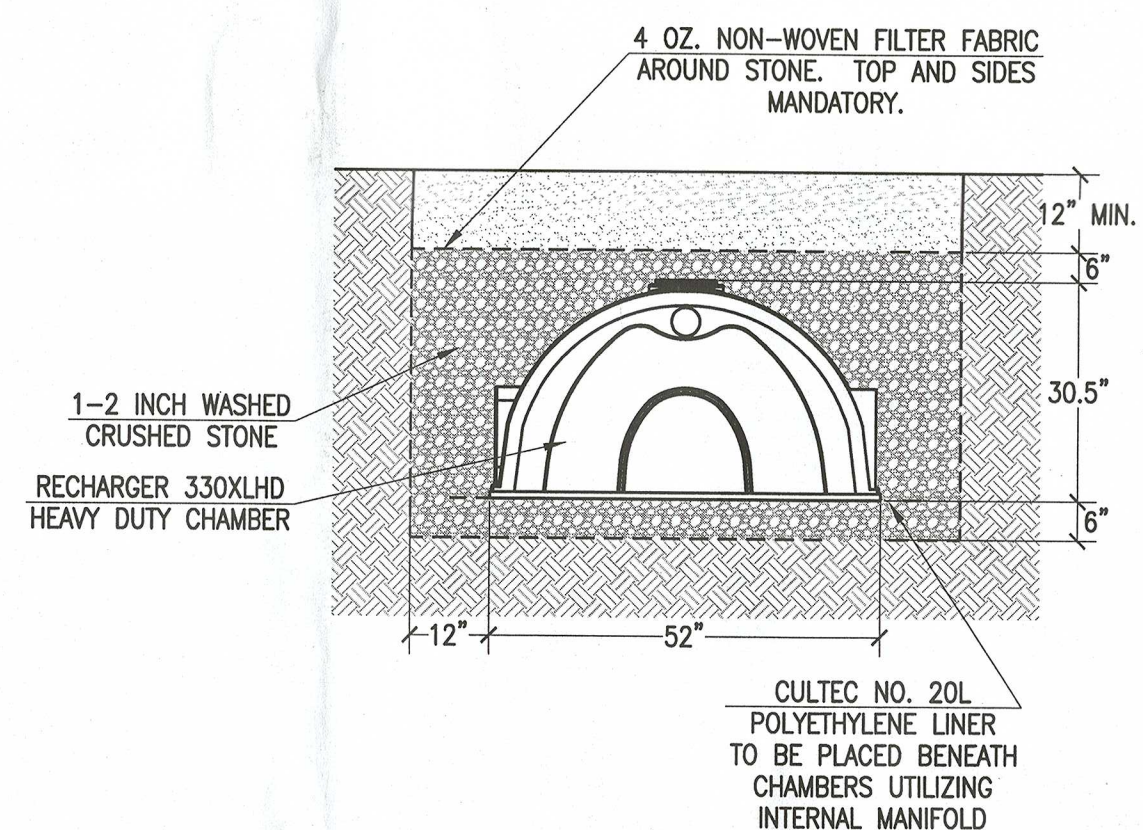
INFLOW AREA = 672 SF, 100.00% IMPERVIOUS, INFLOW DEPTH = 6.76" FOR 100-YEAR STORM EVENT  
INFLOW = 0.10 CFS @ 12.09 HRS, VOLUME= 379 CF  
OUTFLOW = 0.01 CFS @ 11.60 HRS, VOLUME= 379 CF, ATTN= 88%, LAG= 0.0 MIN  
DISCARDED = 0.01 CFS @ 11.60 HRS, VOLUME= 379 CF

ROUTING BY STOR-IND METHOD, TIME SPAN= 0.03-30.00 HRS, DT= 0.05 HRS  
PEAK ELEV= 99.60' @ 12.66 HRS SURF AREA= 66 SF REQUIRED STORAGE= 115 CF

VOLUME INVERT AVAIL STORAGE STORAGE DESCRIPTION  
#1 96.70' 69 CF 6.33'W X 10.50'L X 3.54'H PRISMATOID X 1  
236 CF OVERALL - 63 CF EMBEDDED = 172 CF X 40.0% VOIDS  
#2 97.20' 63 CF 47.8'W X 30.0'H X 7.00'L PARABOLIC ARCH X 1 INSIDE #1  
#3 99.25' 1 CF 0.33'D X 10.0'H VERTICAL CONE/CYLINDER-IMPVIOUS

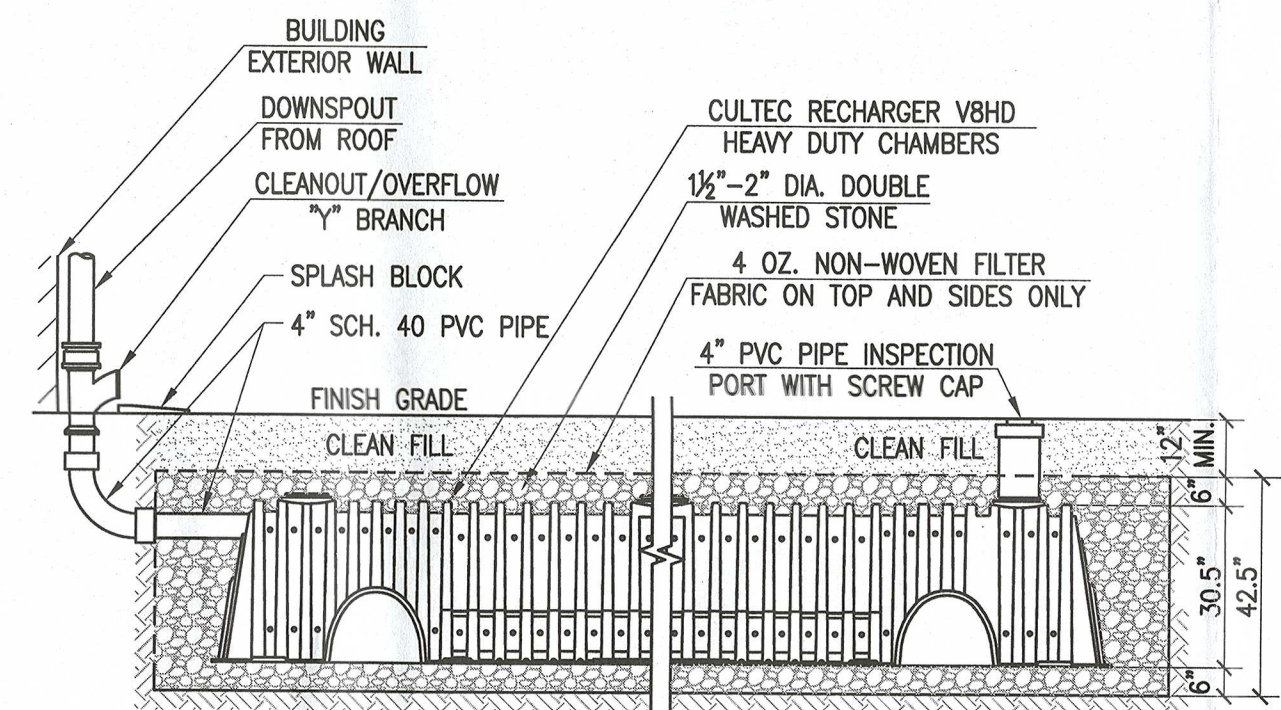
TOTAL AVAILABLE STORAGE = 133 CF >>> 115 CF

\*PLEASE NOTE: THESE CALCULATIONS ARE PER UNIT. THERE ARE 2 UNITS ONSITE.



CULTEC RECHARGER 330XLHD STANDARD CROSS SECTION

NOT TO SCALE



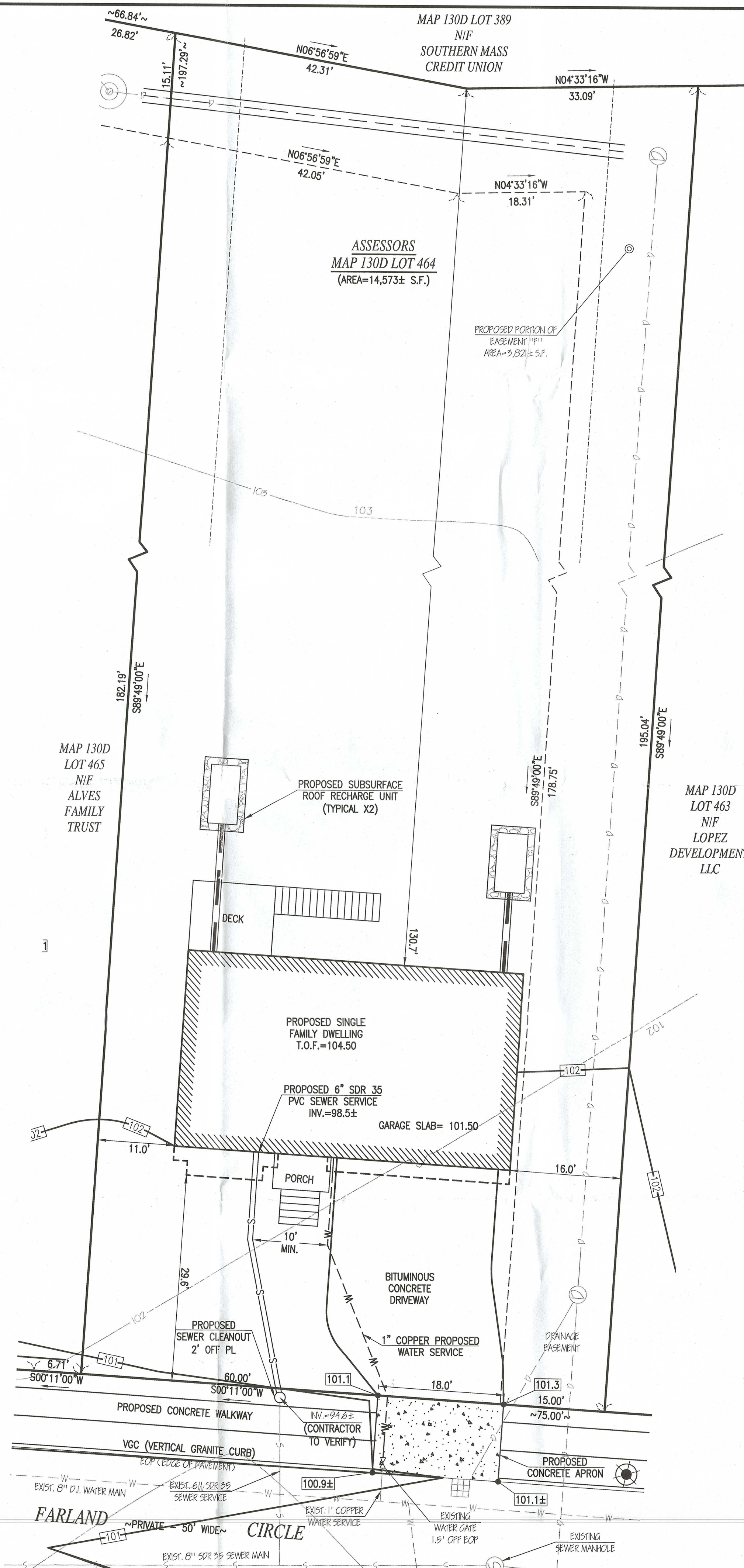
ROOF RECHARGE SYSTEM

NOT TO SCALE

RECORD OWNER:  
ASSESSORS MAP 130D LOT 464  
BIG THREE, LLC  
2 BOULDER COURT  
FAIRHAVEN, MA  
DEED BOOK 12989 PAGE 21

#### NOTES:

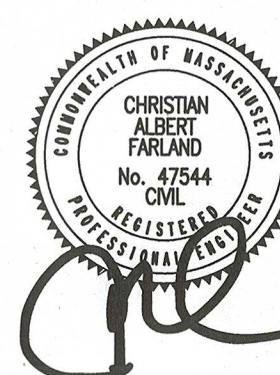
- TOPOGRAPHIC AND PROPERTY LINE SURVEY PERFORMED BY FARLAND CORP. IN NOVEMBER OF 2017.
- PORTION OF DRIVEWAY BETWEEN EDGE OF ROADWAY AND PROPERTY LINE SHALL BE CONCRETE.
- ROOF RECHARGE SYSTEMS HAVE BEEN OVER DESIGNED TO WITHSTAND THE 100-YEAR STORM EVENT AND THE TIE-IN OF A SUMP PUMP SYSTEM, IF NECESSARY.
- IF SUMP PUMP IS INSTALLED, A CONCRETE LIP MUST BE INSTALLED AROUND THE SUMP PUMP.



- ZONING DATA -		
DISTRICT: RA - RESIDENTIAL A		
DESCRIPTION	REQUIRED	PROVIDED
LOT AREA	8,000 S.F.	14,573± S.F.
LOT FRONTAGE	75 FT	75 FT
FRONT SETBACK	20 FT	29.6 FT
SIDE SETBACK	10/12 FT	11 / 16 FT
REAR SETBACK	30 FT	130.7
BUILDING HEIGHT (MAXIMUM)	45 FT	30± FT
BUILDING COVERAGE (MAXIMUM)	30 %	9.2± %
LOT COVERAGE (MAXIMUM)	65 %	14.5± %

#### REVISIONS

1	10/6/21	CLIENT REQUEST
2	12/1/21	DPI COMMENTS



www.FarlandCorp.com

401 COUNTY STREET  
NEW BEDFORD, MA 02740  
P.508.717.3479  
OFFICES IN:  
●TAUNTON  
●MARLBOROUGH  
●WARWICK, RI

DRAWN BY: JT  
DESIGNED BY: CAF/JT  
CHECKED BY: CAF

#### SITE PLAN

FARLAND CIRCLE  
ASSESSORS MAP 130D LOT 464  
NEW BEDFORD, MASSACHUSETTS

PREPARED FOR:  
LOPEZ DEVELOPMENT  
129 HUTTLESTON AVE  
FAIRHAVEN, MA 02719

JUNE 25, 2020  
SCALE: 1"=10'  
JOB NO. 19-744.17  
LATEST REVISION:  
DECEMBER 1, 2021

SHEET 1 OF 1