

Domestic # 16697

SERVICE 34143

Water supply

## NEW BEDFORD WATER WORKS

APPLICATION FOR SERVICE AND METER

NEW BEDFORD

09.03.2021

to 09.03.2022

I HEREBY ACKNOWLEDGE the receipt of a copy of the Regulations prescribed in the Ordinance of the City, for the use of Water, and I request that the water may be furnished through a

4"

inch

CLDI

meter at

114-116 County St

P. 24 L. 119

at such rates as may from time to time be established by the City.

I hereby agree to pay promptly the bill for the Service pipe laid down for my premises, and to pay all dues for water, and I agree to conform to the said Regulations and to all provisions of the Water Ordinances, until written notice is given by me or my agent to cut off the supply.

Inayde LLC 114-116 County St, New Bedford, MA

\* Robert J. Canessa

TELEPHONE 516-884-3333

Service laid R.J. Canessa

Size and kind of pipe

4"

CLDI

From connecting to main on County St

St.

Turned on

Meter Set

Reading

Location

Building rates

Paid

Cost of Service

\$ 465.00

Paid

Paid

31-727

CK 11806

S	X	SL	WINSOR ST	12.6'
N	X	NL	MOSHER ST	161.0'
E	X	WL	COUNTY ST	19.5'
S	X	NL	BUILDING	21.6'
N	X	SL	BUILDING	31.0'

MAIN TO PROPERTY LINE E X WL COUNTY ST 18'

PIPE TO INSIDE PROPERTY 3'

view permit: message

Selected property has  
no Parcel ID or MBL  
cannot add Permit.



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SERVICE 34143

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# NEW BEDFORD WATER WORKS

## APPLICATION FOR SERVICE AND METER

NEW BEDFORD 09.03.2021 + 09.03.2022

I HEREBY ACKNOWLEDGE the receipt of a copy of the Regulations prescribed in the Ordinance of the City, for the use of Water, and I request that the water may be furnished through a

4" inch CLDI meter at 114 116 County St

P. 24 L. 119

at such rates as may from time to time be established by the City.

I hereby agree to pay promptly the bill for the Service pipe laid down for my premises, and to pay all dues for water, and I agree to conform to the said Regulations and to all provisions of the Water Ordinances, until written notice is given by me or my agent to cut off the supply.

Ingrade LLC 114-116 County St, New Bedford, MA

\* Robert J Canessa

TELEPHONE 516-884-3333

Service laid R.J. Canessa Size and kind of pipe 4" CLDI

From connecting to main on County St St.

Turned on Meter Set

Reading Location

Building rates Paid

Cost of Service \$ 465.00 Paid Paid

31-727

CK 11806

SECURITY FEATURES INCLUDE TRUE WATERMARK PAPER, HEAT SENSITIVE ICON AND FOIL HOLOGRAM.

**R J CANESSA EXCAVATING CO**  
PO BOX 51643 PH. 508-998-3404  
NEW BEDFORD, MA 02745

11806

53-7223/2113  
9613

DATE 9/3/2021

CHECK ARMOR  
PROTECTION

PAY TO THE ORDER OF City of New Bedford

Four Hundred Sixty Five and 00/100 \$ 465.00 DOLLARS

BayCoast BANK.

FOR 114 County Street NB

Robert J Canessa

MP

011806 211372239 840293360

Details on Back.

Security Features Included



CITY OF NEW BEDFORD  
Jonathan F. Mitchell, Mayor

Department of Public Infrastructure

Ronald H. Labelle  
Commissioner

Water  
Wastewater  
Highways  
Engineering  
Cemetery

To Whom It May Concern:

I INAYAT LLC - DILMEET SINGH, being  
(Name) (Mailing Address)

Owner of property located at

114-116 County Street New Bedford, MA

024-00-0119-00

Plot \_\_\_\_\_, Lot \_\_\_\_\_, hereby agree to allow R.J. Canessa Excavation  
(Name)

Po Box 51643 New Bedford MA 02745  
(Mailing Address) I act on my behalf including affixing my

signature in securing permit for:

\_\_\_\_\_ Sewer/Drain Service Permits

\_\_\_\_\_ Water Service Permits

\_\_\_\_\_ Driveway Installation Permits

\_\_\_\_\_ Sidewalk Installation Permits

I further agree to conform to, and abide by, All City rules and ask regulations applicable to the permit (s) being applied for:

Name Dilmeet Singh - DILMEET SINGH  
Signature

42 Yale drive Manhasset NY-11036  
Address

8/4/20 516 884 3332  
Date Telephone number





Commonwealth of Massachusetts

# CITY OF NEW BEDFORD

City Hall, Room 308, 133 William Street New Bedford, MA 02740 (508) 979-1540



## BUILDING PERMIT

9/2/2020

No. B-19-1333

MSBC Sect. 110.14 - Any permit issued shall be deemed abandoned and invalid unless the work authorized by it shall have been commenced within six (6) months after its issuance.

FEE PAID: **\$1,625.00**

This certifies that Thomas Whalen

Contractor Lic. # 003022

ParcelID 24-119

owner/contractor has permission to: Commerical Sprinkler - 300.00

on: 116-116A COUNTY ST

Providing that the person accepting this permit shall in every respect conform to the terms of application therefore on file in this office; to the provisions of the statute of the Commonwealth and to the by-laws of the City of New Bedford relating to the inspection, erection, enlarging, altering, raising, moving, repairing, or tearing down of a building.

Permit is issued subject to the following special requirements: (Restrictions)

### CITY DEPARTMENT/COMMISSION COMMENTS

The following department/commission has expressed concern about the issuance of this permit. You are advised to contact that agency and resolve this matter.

Department/Commission: \_\_\_\_\_

### BUILDING DEPARTMENT COMMENTS

YOUR AREA INSPECTOR IS: Matthew Silva

Tel. (508) 979-1540 Between 8:00am - 9:00am

**NOTICE: NOTIFY INSPECTOR 48 HOURS IN ADVANCE OF APPLYING SHEATHING OR LATHING**

### OCCUPANCY PERMIT REQUIRED BEFORE OCCUPANCY

No Building or Structure shall be used or occupied until the Certificate of Use and Occupancy shall have been issued by the Building Commissioner - MSBC, Sect. 120.1

**This Card Must Be Displayed in a Conspicuous Place on the Premises and Not Torn Down or Removed Until Completion of Work**

SUBJECT TO MASSACHUSETTS  
STATE BUILDING CODE

Building Commissioner

Plan Review Comments: :

: will require fp 06 permit from the fire department for all sprinkler and fire alarm work. Will need final test and inspection upon completion.



: AN ELECTRICIAN AND ELECTRICAL PERMIT WILL BE REQUIRED FOR ALL WIRING ASSOCIATED WITH THIS PROJECT.

: 1. The Department is requiring that you or your engineer to verify in writing that the proposed fire service will provide sufficient volume and pressure for the building.

2. Fire Service: Install tapping sleeve and gate for the size of the service.

3. Fire service to be 10 ft away from sewer service.

4. Install backflow at point of entry into building.

5. Owner to apply for a fire supply permit.

6. Owner to submit a site plan showing the location size and type of materials.

: Applicant must contact the Engineering office to request legal address numbers be issued to the present-day main entrances of the establishment. The #114 belongs to the building south of this establishment, and #116 was an address number that was assigned to the main entrance of a dwelling originally owned by Alexander Price, who owned the property as of May 18, 1881. It appears that this was one of those building that originally was a home and then was converted to a commercial/residential structure. There is no record on file in Engineering that shows legal address numbers were requested for the main entrances of the structure which presently exists on this property.

: ASR-D.P.I. Engrg.

RE: TB-19-1333

114-116 County St. (Purported Address)

[Front Building—Fernando's Club & Apts. above]

Plot 24 Lot 119

Reviewed 1/14/2020

This location was formerly going by the address numbers of 114-116 County St., which were not assigned by Engineering to the 2 main entrances presently on said building. The owner of the building (Dilmeet Singh, who is also manager for the corporation—INAYAT, LLC) has complied with the D.P.I. requirement of contacting D.P.I. to correct the address issues for this building, as well as the apartment building to the rear (i.e. The front building, Fernando's Club—116 and apts. above—116A; the rear apartment building—114A). Alex P. from D.P.I. visited the site on 1/7/2020 and verified the correct numbers were placed on the respective doors. Inspectional Services updated permit address in View Permit on 1/13/2020.

Any other comments pending comments (by Wayne Perry of IPP/FOG permitting and/or Cliff Souza of Water) must be addressed before the CO is signed off by Inspectional Services.

: 780 CMR 110.5 Inspection Requests - It shall be the duty of the holder of the building permit or their duly authorized agent to notify the building official when work is ready for inspection. It shall be the duty of the permit holder to provide access to and means for inspections of such work that are required by 780 CMR. The building official may require the permit holder or his or her representative to attend these inspections.

: Certificate of Occupancy is Required upon completion of this project



: Fire Protection Engineer - Alycia J. Wood - No. 47368  
(508) 728-8374  
ajwood13@comcast.net

This project is to be constructed under Construction Control  
All inspection reports are to be submitted to the Building Department  
Final Construction Control Affidavit is required upon completion of this project

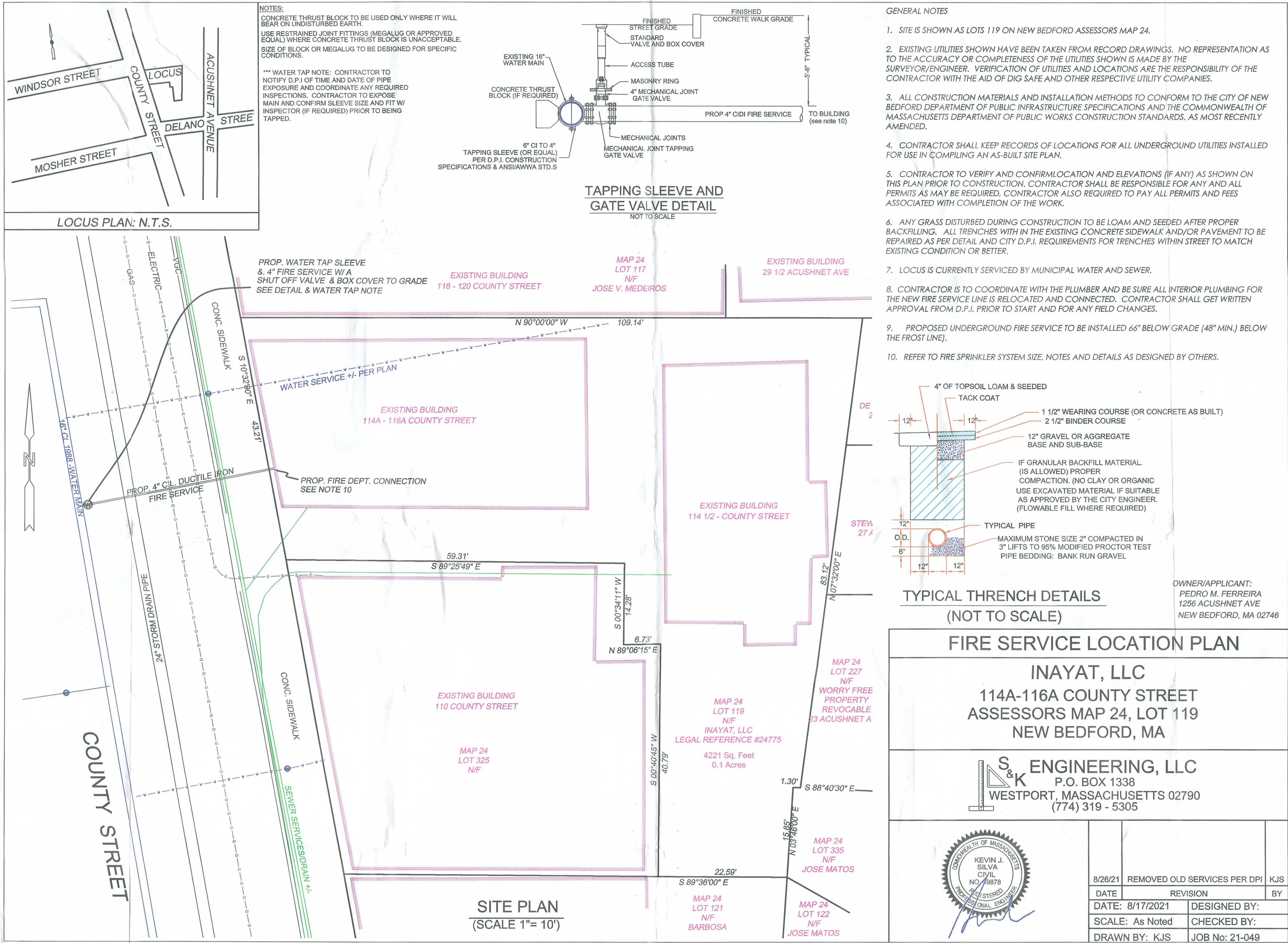
: Scope of Work

Install new wet and dry sprinkler systems as shown on stamped permit drawings per NFPA 13 standards

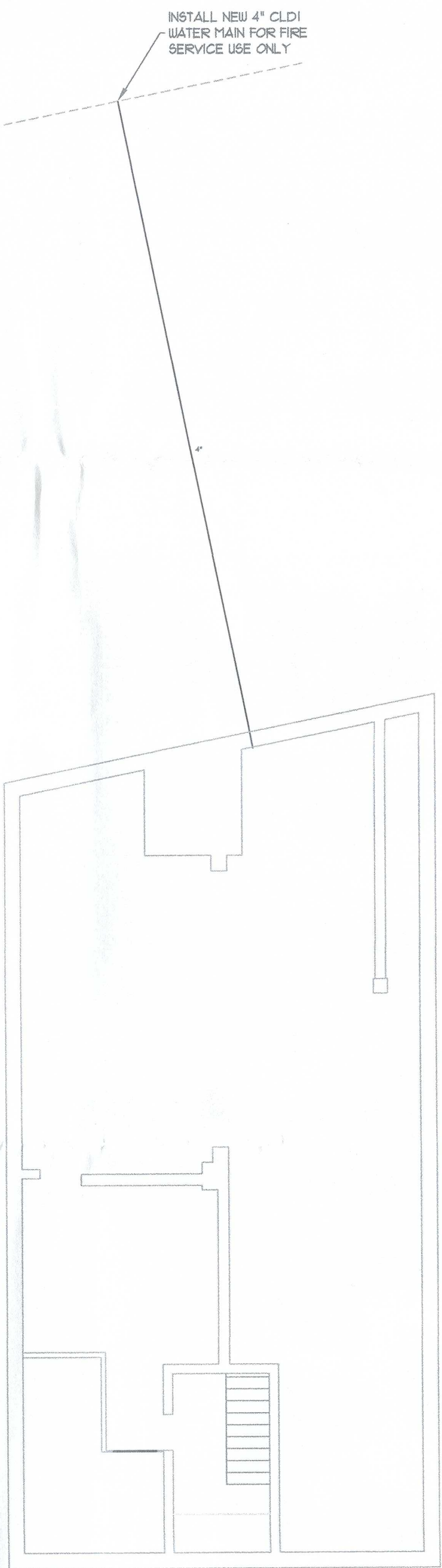
All work to be performed as per plans submitted

Electrical, Plumbing, and Fire Alarm Permits are required





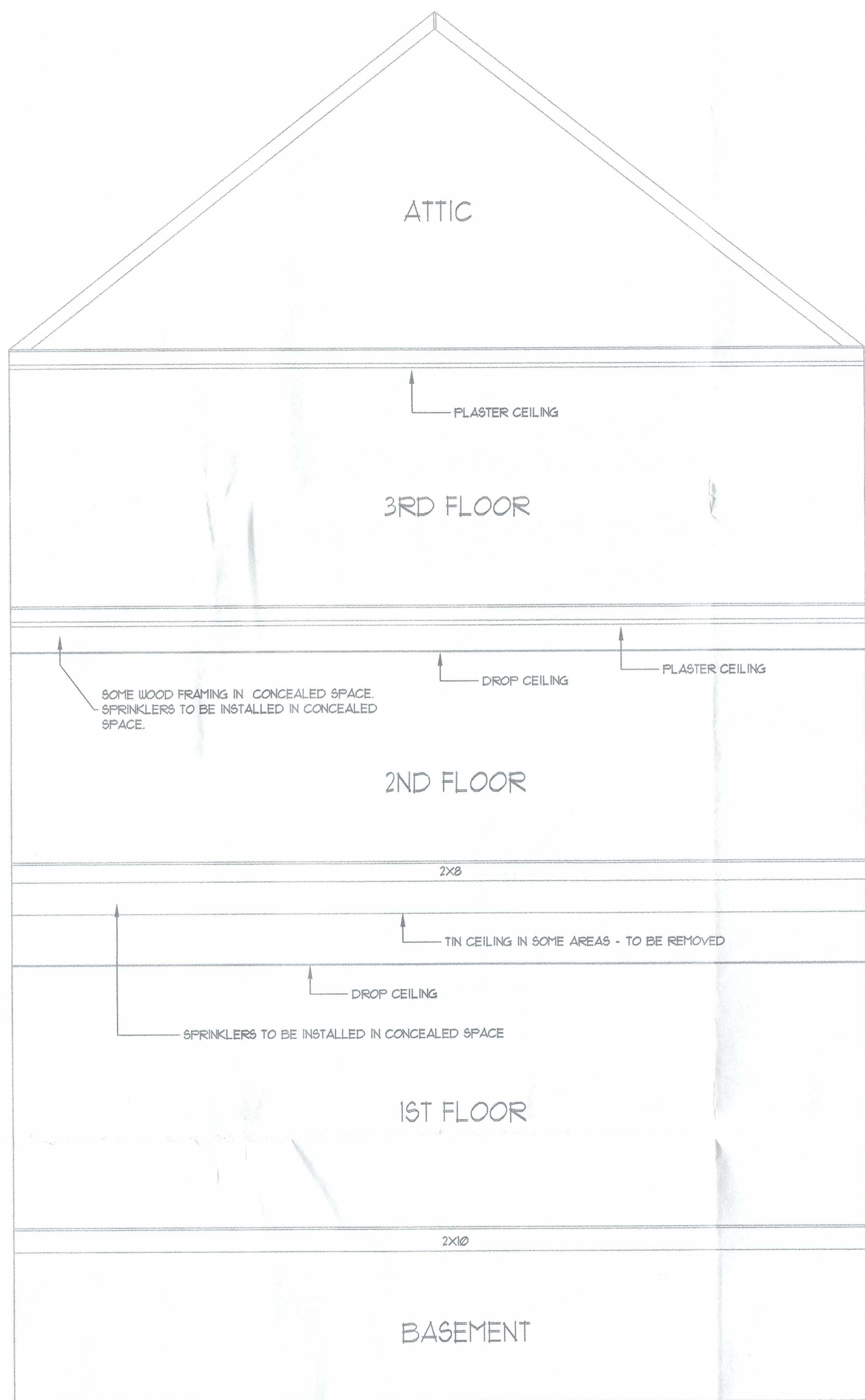




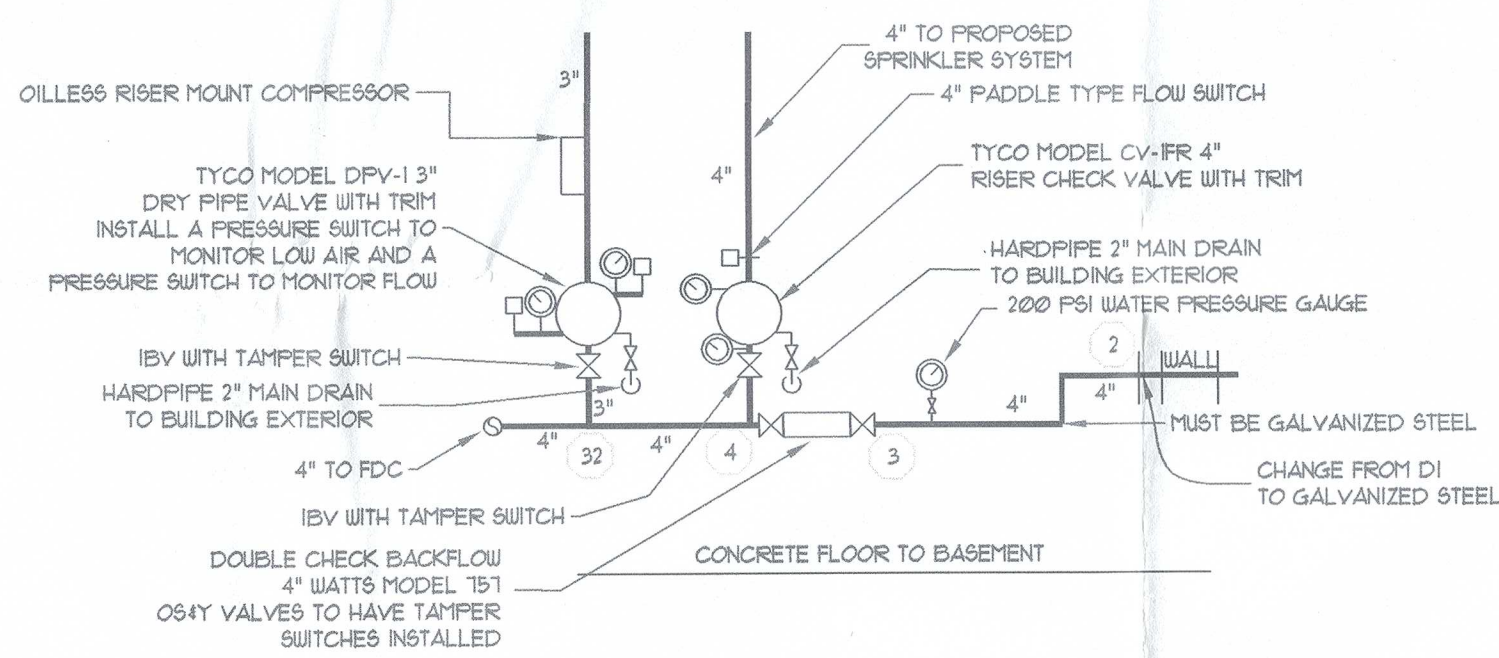
SITE PLAN  
NOT TO SCALE

HYDRANT FLOW TEST DATA

STATIC: 88 PSI  
RESIDUAL: 86 PSI  
FLOW: 1256 GPM  
DATE OF TEST: APRIL 17, 2019 AT 9:15 AM  
THE PRESSURE WAS RECORDED AT THE HYDRANT LOCATED ON DELAND ST. NEAR THE INTERSECTION WITH COUNTY ST. THE FLOW WAS RECORDED AT THE HYDRANT LOCATED ON WINDSOR ST. NEAR THE INTERSECTION WITH COUNTY ST.



BUILDING CROSS SECTION  
SCALE: 1/4" = 1'-0"



SECTION AT WATER ENTRANCE  
NOT TO SCALE

- 22 ○ TYCO SERIES TY-FRB QUICK RESPONSE PENDENT SPRINKLER  
5.6 K-FACTOR, 1/2" N.P.T., WHITE COATED, 155°F RATED, 9IN TY323
- 23 ● TYCO SERIES RFII QUICK RESPONSE CONCEALED PENDENT SPRINKLER  
5.6 K-FACTOR, 1/2" N.P.T., WHITE COATED, 155°F RATED, 9IN TY3531
- 2 ● TYCO SERIES RFII QUICK RESPONSE CONCEALED PENDENT SPRINKLER  
5.6 K-FACTOR, 1/2" N.P.T., WHITE COATED, 200°F RATED, 9IN TY3531
- 40 ○ TYCO MODEL CC3 COMBUSTIBLE CONCEALED SPACE SPRINKLER  
5.6 K-FACTOR, 1/2" N.P.T., BRASS, 200°F RATED, 9IN TY3199
- 1 ○ TYCO SERIES TY-FRB QUICK RESPONSE UPRIGHT SPRINKLER  
5.6 K-FACTOR, 1/2" N.P.T., WHITE COATED, 155°F RATED, 9IN TY313
- 11 ▸ TYCO SERIES TY-FRB QUICK RESPONSE SIDEWALL SPRINKLER  
5.6 K-FACTOR, 1/2" N.P.T., WHITE COATED, 155°F RATED, 9IN TY3331
- 19 ● TYCO SERIES LFII RESIDENTIAL CONCEALED PENDENT SPRINKLER  
4.9 K-FACTOR, 1/2" N.P.T., WHITE FINISH, 160°F RATED, 9IN TY3536
- 1 ● TYCO SERIES LFII RESIDENTIAL CONCEALED PENDENT SPRINKLER  
4.9 K-FACTOR, 1/2" N.P.T., WHITE FINISH, 200°F RATED, 9IN TY3536
- 25 ◀ TYCO SERIES LFII RESIDENTIAL HORIZONTAL SIDEWALL SPRINKLER  
4.4 K-FACTOR, 1/2" N.P.T., WHITE FINISH, 155°F RATED, 9IN TY2334
- 4 ● TYCO BB3 SPECIFIC APPLICATION ATTIC SPRINKLER  
5.6 K-FACTOR, 1/2" N.P.T., BRONZE FINISH, 212°F RATED, 9IN TY3182
- 16 ○ TYCO HIF SPECIFIC APPLICATION ATTIC SPRINKLER  
5.6 K-FACTOR, 1/2" N.P.T., BRONZE FINISH, 200°F RATED, 9IN TY3181
- 4 ○ TYCO SDI SPECIFIC APPLICATION ATTIC SPRINKLER  
5.6 K-FACTOR, 1/2" N.P.T., BRONZE FINISH, 212°F RATED, 9IN TY3183
- 2 ○ TYCO AP SPECIFIC APPLICATION ATTIC SPRINKLER  
5.6 K-FACTOR, 1/2" N.P.T., BRONZE FINISH, 200°F RATED, 9IN TY3190

GENERAL SPECIFICATIONS:

- (1) This project involves the installation of a sprinkler system compliant with NFPA-13 in a mixed use building. The building consists of a restaurant occupancy on the first floor and a residential boarding house on the second and third floors. Fire alarm system design is not included as part of the scope of these plans.
- (2) The installation shall meet all requirements of NFPA-13 (2013 edition), the Massachusetts Building Code (9th edition), and any locally adopted ordinances and laws of the New Bedford Fire and Building Departments. All equipment shall be UL Listed for fire suppression systems. Sprinklers shall be as listed on these plans or equal in K-factor and flow/pressure requirements.
- (3) The restaurant seating area and basement is considered an Ordinary Hazard Group I occupancy, the kitchen area of the restaurant is considered an Ordinary Hazard Group II classification and the 2nd and 3rd floor dwelling units are considered a residential occupancy classification. In addition, the combustible concealed spaces between the 1st and 2nd floor and the 2nd and 3rd floor along with the attic space are considered Light Hazard occupancies. Coverage rules of NFPA-13 shall be met in accordance with these requirements. All sprinklers installed throughout the basement and first floor shall be quick response and all sprinklers installed throughout the 2nd and 3rd floors shall be residential sprinklers. The sprinklers in the combustible concealed spaces shall be Tyco Combustible Concealed Space sprinklers as specified and the attic shall be Tyco Attic sprinklers as specified.
- (4) Pipes: The underground piping shall be cement lined ductile iron, Class 350 and shall transition to schedule 40 black steel pipe just above the floor to the basement. All piping larger than 2" on the wet sprinkler system shall be schedule 40 black steel with rolled grooved fittings. All smaller piping on the wet sprinkler system shall be schedule 40 black steel with cast threaded fittings. All dry sprinkler system piping shall be galvanized steel.
- (5) Hangers: Steel pipe shall be supported with cadmium plated adjustable sprinkler band hangers spaced at a maximum centerline distance of 12'-0".
- (6) All dry sprinkler system piping shall be pitched back towards the main riser to drain. Cross mains shall be pitched 1/4" per 10 feet and branch lines shall be pitched 1/8" per 10 feet. The dry sprinkler system shall be provided with a UL listed compressor compliant for sprinkler system usage.
- (7) This design has contemplated keeping all water filled sprinkler system piping well within the heated/insulated envelope of the building. The owner shall be responsible for ensuring that sufficient heat be provided in the building including the stairwells to ensure that the temperature remains at or above 40°F.
- (8) Once the combustible concealed spaces are exposed between the 1st and 2nd floors and 2nd and 3rd floors, the layout of the concealed space sprinklers will need to be evaluated for complete coverage as access into this space was limited at the time of this design. In addition, the tin ceiling between the 1st and 2nd floors will need to be removed completely for proper sprinkler coverage.
- (9) The sprinkler system risers shall be as detailed and shall include flow switches, supervision of the control valves, and main drain with test connection by-pass.
- (10) All sprinkler piping shall be hydrostatically tested at 200 psi for a minimum period of 2 hours. The Sprinkler Contractor shall complete a standard Contractor's Material and Test Certificate for each building.
- (11) The sprinkler system alarm shall be connected into the fire alarm panel. The fire alarm panel must be monitored by a UL Listed Central Station. The connections to the panel shall be provided by others and shall not be the responsibility of the Sprinkler Contractor. At a minimum, this panel shall monitor system flow, low air and position of the control valves.

Fire Protection  
Services

PROFESSIONAL FIRE PROTECTION ENGINEERS  
• FIRE PROTECTION ENGINEERING •  
• HAZARDOUS SPECIALISTS •  
• CODE CONSULTANTS •  
P.O. BOX 485  
MADISON, NEW HAMPSHIRE 03849  
TEL: (603) 361-5491  
FIREWOOD@FIREWOOD.COM

REVISIONS:

NO.	DATE	DESCRIPTION

LEGEND

- Pendent Sprinkler  
○ Pendent Sprinkler - 1" Drop  
○ Upright Sprinkler  
△ Sidewall Sprinkler  
○ Pipe Rise  
○ Pipe Drop  
+ Pipe Centerline Abv. FF.  
\* Pipe Centerline Below T.O.S.  
— Proposed Pipe



SCALE: 1/4" = 1'-0"

DATE: AUGUST 2, 2019

CAD JOB NO: COUNTYSNBDWG

DRAWN BY: A. J. WOOD

D-4 DWG TEMPLATE

OWNER:

MICHAEL SINGH

LOCATION:

116 COUNTY ST.  
NEW BEDFORD, MA

DRAWING TITLE:

SPRINKLER SYSTEM  
PLANS, DETAILS & NOTES

DRAWING NO.:

FP-3