

W-21-24  
SERVICE 34136

NEW BEDFORD WATER WORKS

APPLICATION FOR SERVICE AND METER

NEW BEDFORD 7-8-2021

I HEREBY ACKNOWLEDGE the receipt of a copy of the Regulations prescribed in the Ordinance of the City, for the use of Water, and I request that the water may be furnished through a

1" inch Copper meter at Farland Circle (WS) S x Phillips Rd

at such rates as may from time to time be established by the City.

I hereby agree to pay promptly the bill for the Service pipe laid down for my premises, and to pay all dues for water, and I agree to conform to the said Regulations and to all provisions of the Water Ordinances, until written notice is given by me or my agent to cut off the supply.

P. 1307 - Beidell Lot #15

L. 4666

Single Family

TELEPHONE 841-8606

X. W. W. W.  
Lopez Development  
129 Huttleston Ave  
Fairhaven MA, 02719

Contractor:

Service laid

Size and kind of pipe

From

Turned on

Meter Set

Reading

Location

Building rates

Paid

Cost of Service

Paid

31-727

\$500 chk # 1550

S	X	S	LINE FARLAND CIRCLE	129'
E	X	W	LINE FARLAND CIRCLE	8.5'
S	X	N	LINE HOUSE	6'
N	X	S	LINE HOUSE	42'
E	X	E	LINE HOUSE	34'

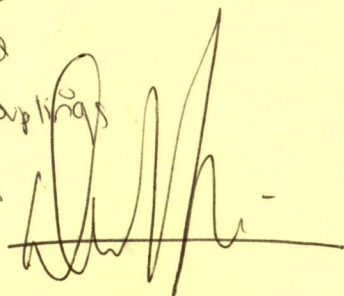
MAIN TO PROPERTY LINE  
PIPE INSIDE PROPERTY

14'  
27'

8-27-2021 percy r inspected

5-26-22

picked  
up caplinas

x 

3

Meter Set  
6/21/22 AM  
Appointment  
Darin King  
508-889-0550

**DISPLAY PERMIT IN A CONSPICUOUS PLACE ON THE PREMISES**



Commonwealth of Massachusetts

**City of New Bedford**

133 William Street New Bedford, MA 02740

**WATER SERVICE PERMIT**



Date: 7/26/2021

No. **W-21-24**

Permit Fee: \$500.00

Service Location: WS- FARLAND CRC

Owner Name: LOPEZ DEVELOPMENT, LLC

Owner Phone #: (508) 441-8606

Type of Occupancy: Residential

Type of Work: Water - Domestic New 1"

Work Description: water service 34136  
P.130D L 466

**Farland Circle Ws S x Phillips Rd**

**Builders lot # 15**  
**sewer#24961**  
**Storm: 24962**

**Contractor**

Name: \_\_\_\_\_ Certificate #: \_\_\_\_\_ Type of Business : \_\_\_\_\_

Address: \_\_\_\_\_ City/Town/State: \_\_\_\_\_ Phone #: \_\_\_\_\_

Type of Service Pipe Size Trench Length: **0.00**

Fire Service \_\_\_\_\_

Domestic Service \_\_\_\_\_

**Estimated consumption of water**

Estimated average daily consumption 0.00 gallons

Cross Connection? **No**

Estimated maximum day consumption 0.00 gallons

Right of Way? **No**

Are lawn sprinklers and/or lawn irrigation proposed on site? **No**

Meter Impact? **No**

Estimated fire flows required for the project site: 0.00

Street Opening Permit Required? **No**

Does the project require a fire suppression system? **No**

Required minimum static pressure for the proposed project site 0.00

**Call Phone: (781) 942-9077 For Inspection**



— ZONING DATA —

DISTRICT: SINGLE RESIDENCE D

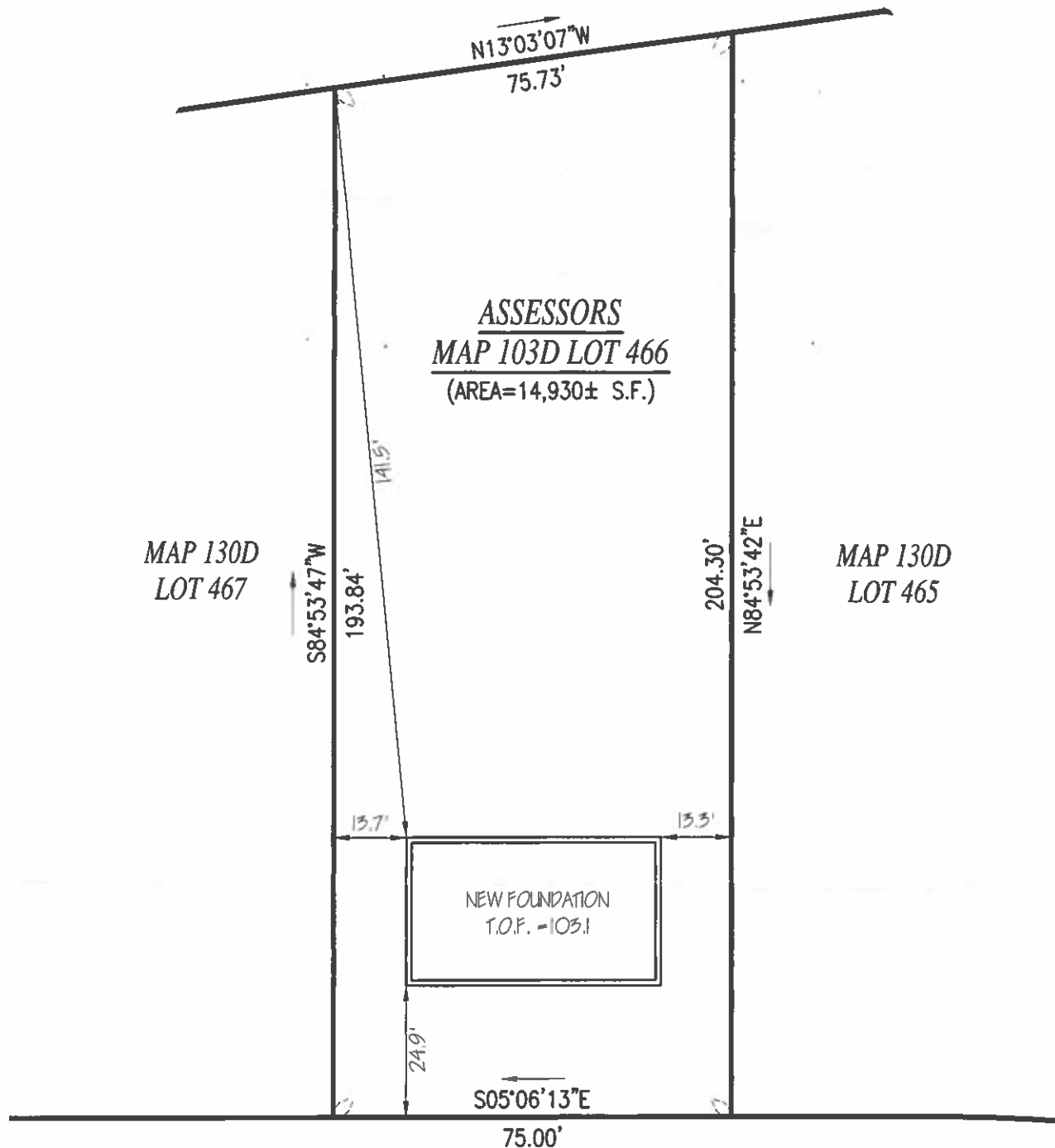
DESCRIPTION	REQUIRED
FRONT SETBACK	20 FT
SIDE SETBACK	10/12 FT
REAR SETBACK	30 FT

MAP 130D  
LOT 447

ASSESSORS  
MAP 103D LOT 466  
(AREA=14,930± S.F.)

MAP 130D  
LOT 467

MAP 130D  
LOT 465



FARLAND ~50' WIDE~ CIRCLE

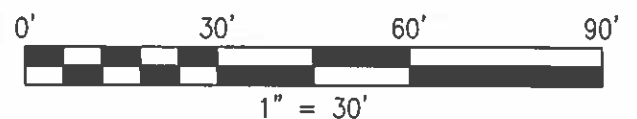
NOTE:

AS-BUILT SURVEY PERFORMED BY FARLAND CORP IN JUNE 2021

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FOUNDATION AS-BUILT  
LOT 15 FARLAND CIRCLE  
ASSESSORS MAPD130D LOT 465  
NEW BEDFORD, MASSACHUSETTS

[www.FarlandCorp.com](http://www.FarlandCorp.com)

21 VENTURA DRIVE  
DARTMOUTH, MA 02747  
P.508.717.3479

- ENGINEERING
- SITEWORK
- LAND SURVEYING
- DEVELOPMENT

PREPARED FOR:

TD DESIGN AND DEVELOPMENT CORP.  
403 ROCKDALE AVENUE  
NEW BEDFORD, MA 02740



SCALE: 1"=30'

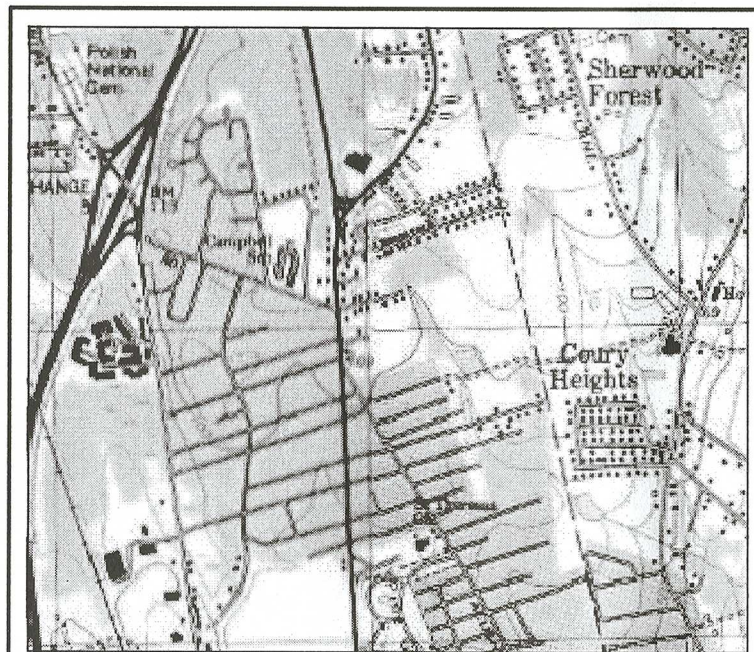
JUNE 24, 2021

DRAWN BY: AJT

JOB NO: 19-744







LOCUS MAP SCALE: 1"=2,000'±

#### SUBSURFACE ROOF RECHARGE UNIT SIZING CALCULATIONS:

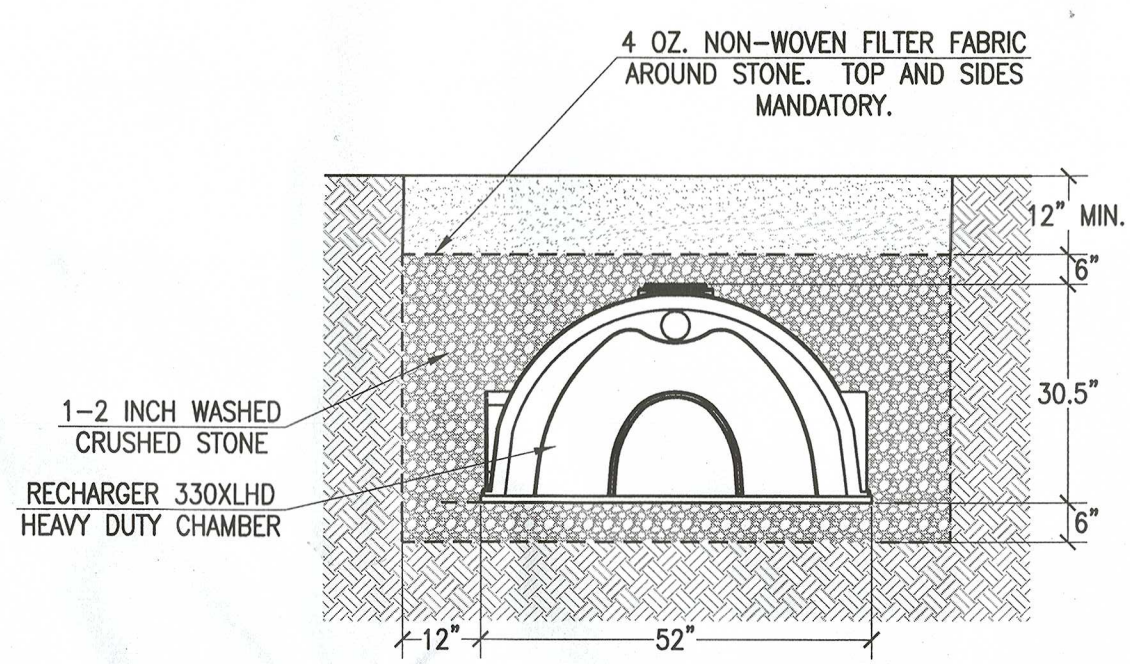
INFLOW AREA = 672 SF, 100.00% IMPERVIOUS, INFLOW DEPTH = 6.78" FOR 100-YEAR STORM EVENT  
INFLOW = 0.10 CFS @ 12.09 HRS, VOLUME= 379 CF  
OUTFLOW = 0.01 CFS @ 11.60 HRS, VOLUME= 379 CF, ATTEN= 88%, LAG= 0.0 MIN  
DISCARDED = 0.01 CFS @ 11.60 HRS, VOLUME= 379 CF

ROUTING BY STOR-IND METHOD, TIME SPAN= 0.00-30.00 HRS, DT= 0.05 HRS  
PEAK ELEV= 99.60' @ 12.66 HRS SURF AREA= 66 SF REQUIRED STORAGE= 115 CF

VOLUME	INVERT	AVAIL STORAGE	STORAGE DESCRIPTION
#1	96.70'	69 CF	6.33'W X 10.50'L X 3.54'H PRISMATOID X 1 236 CF OVERALL - 63 CF EMBEDDED = 172 CF X 40.0% VOIDS
#2	97.20'	63 CF	47.8'W X 30.0'H X 7.00'L PARABOLIC ARCH X 1 INSIDE #1
#3	99.25'	1 CF	0.33'D X 10.0'H VERTICAL CONE/CYLINDER-IMPERVIOUS

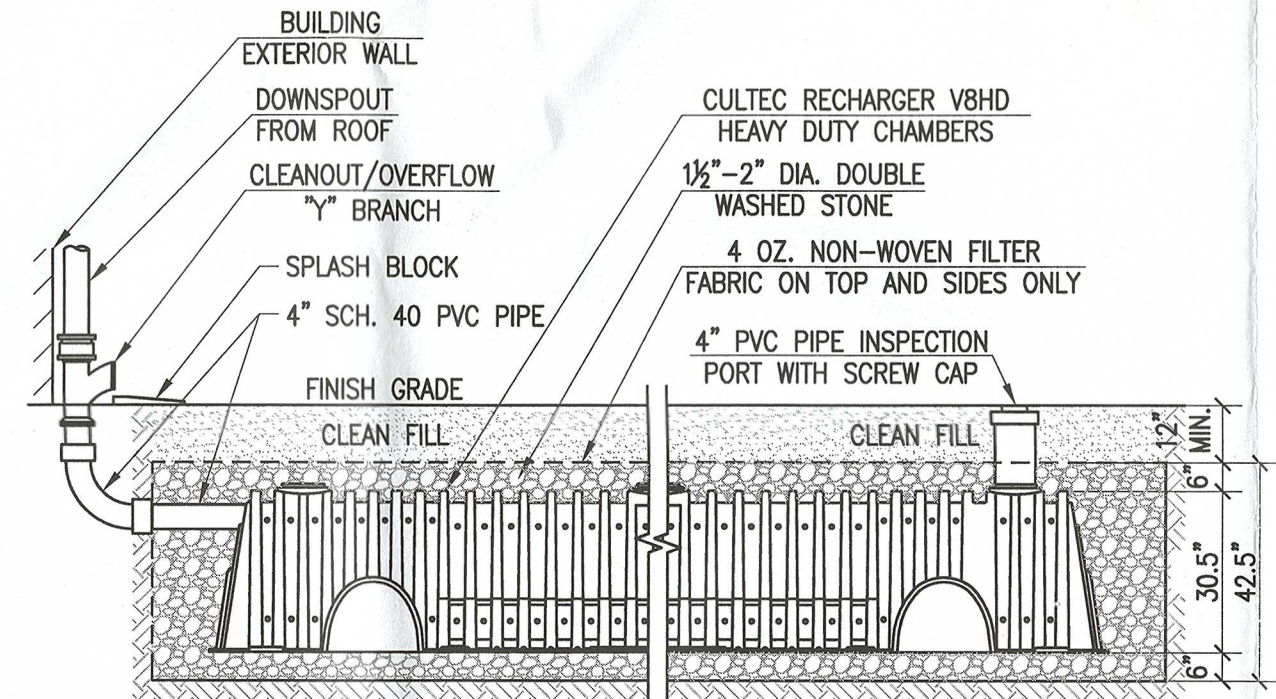
TOTAL AVAILABLE STORAGE = 133 CF >>> 115 CF

\*PLEASE NOTE: THESE CALCULATIONS ARE PER UNIT. THERE ARE 2 UNITS ONSITE.



CULTEC RECHARGER 330XLHD STANDARD CROSS SECTION

NOT TO SCALE



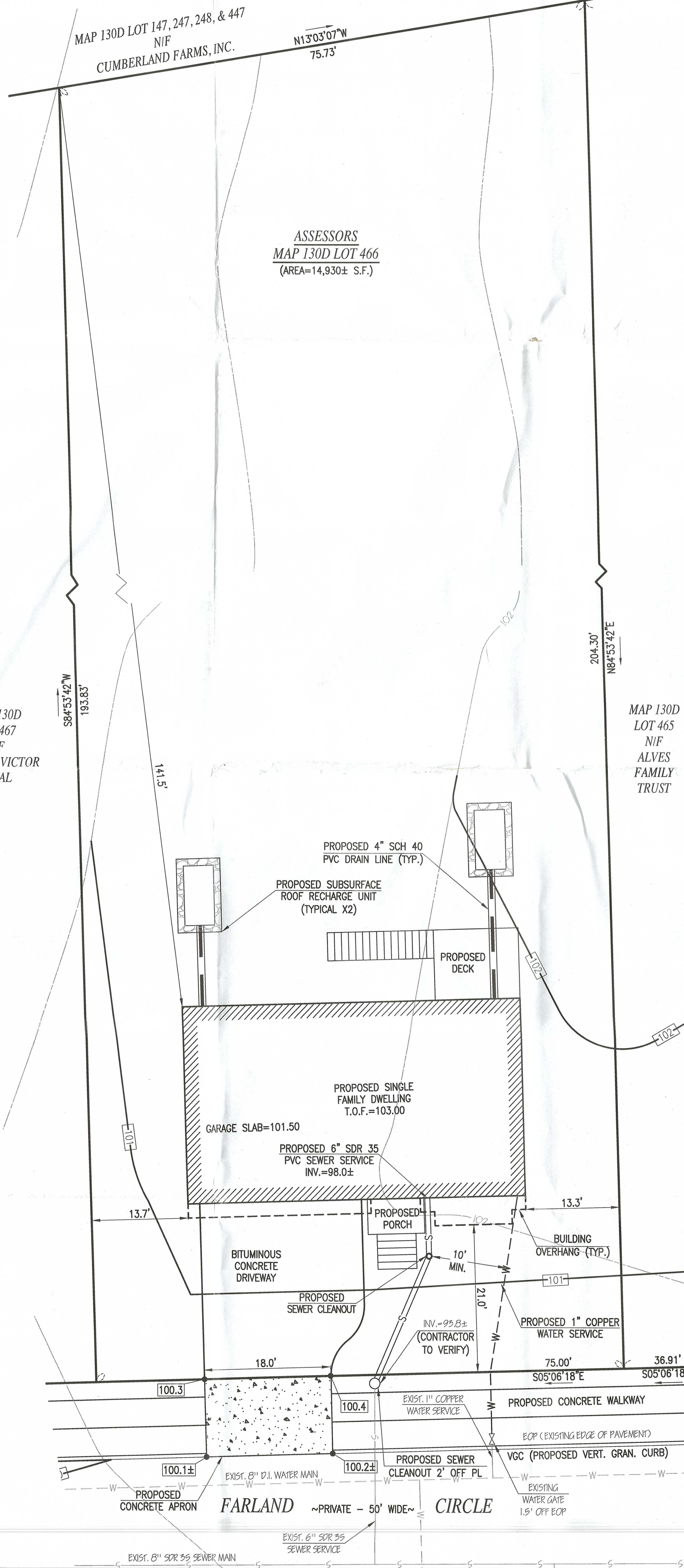
ROOF RECHARGE SYSTEM

NOT TO SCALE

**RECORD OWNER:**  
ASSESSORS MAP 130D LOT 466  
LOPEZ DEVELOPMENT  
129 HUTTLESTON AVE  
FAIRHAVEN, MA 02719  
DEED BOOK 12989 PAGE 18

#### NOTES:

- TOPOGRAPHIC AND PROPERTY LINE SURVEY PERFORMED BY FARLAND CORP. IN NOVEMBER OF 2017.
- PORTION OF DRIVEWAY BETWEEN EDGE OF ROADWAY AND PROPERTY LINE SHALL BE CONCRETE.
- ROOF RECHARGE SYSTEMS HAVE BEEN OVER DESIGNED TO WITHSTAND THE 100-YEAR STORM EVENT AND THE TIE-IN OF A SUMP PUMP SYSTEM, IF NECESSARY.
- IF SUMP PUMP IS INSTALLED, A CONCRETE LIP MUST BE INSTALLED AROUND THE SUMP PUMP.



#### - ZONING DATA -

DISTRICT: RA - RESIDENTIAL A

DESCRIPTION	REQUIRED	PROVIDED
LOT AREA	8,000 S.F.	14,930± S.F.
LOT FRONTAGE	75 FT	75 FT
FRONT SETBACK	20 FT	21.0± FT
SIDE SETBACK	10/12 FT	13.7/13.3± FT
REAR SETBACK	30 FT	141.5± FT
BUILDING HEIGHT (MAXIMUM)	45 FT	30± FT
BUILDING COVERAGE (MAXIMUM)	30 %	9.0± %
LOT COVERAGE (MAXIMUM)	65 %	12.7± %

#### REVISIONS

NO.	DATE	DESCRIPTION
1	3/18/21	CLIENT REQUEST



www.FarlandCorp.com

401 COUNTY STREET  
NEW BEDFORD, MA 02740  
P.508.717.3479  
OFFICES IN:  
•TAUNTON  
•MARLBOROUGH  
•WARWICK, RI

DRAWN BY: JT  
DESIGNED BY: CAF/JT  
CHECKED BY: CAF

#### SITE PLAN

— FARLAND CIRCLE —  
ASSESSORS MAP 130D LOT 466  
NEW BEDFORD, MASSACHUSETTS

PREPARED FOR:  
LOPEZ DEVELOPMENT  
129 HUTTLESTON AVE  
FAIRHAVEN, MA 02719

JANUARY 4, 2021  
SCALE: 1"=10'  
JOB NO. 19-744.15  
LATEST REVISION:  
MARCH 18, 2021

SHEET 1 OF 1