

EXPIRES 6-16-2022

12-21-19
SERVICE 34134

Serial: 24953

NEW BEDFORD WATER WORKS

APPLICATION FOR SERVICE AND METER

NEW BEDFORD June 16th, 2021

I HEREBY ACKNOWLEDGE the receipt of a copy of the Regulations prescribed in the Ordinance of the City, for the use of Water, and I request that the water may be furnished through a

1" inch copper meter at Forked Circle (NS) S x Phillips Rd

at such rates as may from time to time be established by the City.

I hereby agree to pay promptly the bill for the Service pipe laid down for my premises, and to pay all dues for water, and I agree to conform to the said Regulations and to all provisions of the Water Ordinances, until written notice is given by me or my agent to cut off the supply.

P-30 D

Lot 479

* Builders Lot #2 *

TELEPHONE 774-320-0393

X

JLB LLC

420 Seaticut Neck Road
Fairhaven MA, 02791

Service laid - Single family - Size and kind of pipe

From JLB LLC. St.

Turned on Contractor. Meter Set

Reading Location

Building rates Paid

Cost of Service 1500 Cnk # 173 Paid

31-727

E x E line Farland Circle West 144.0'
S x N line Farland Circle 8.0'
W x E line house 8.0'
E x W Line Garage 48.0'
S x S Line house 31.0'
Main to property line 33.0'
Pipe inside property 26.0'

9-1-21: Service installed by Jives ; Inspected
by P. Reynolds.



NOBODY SELLS MORE
REAL ESTATE THAN RE/MAX®

RE/MAX
Vantage

Benny Olmeda
Sales Manager

129 Huttleston Ave (Rte 6)
Fairhaven, Ma 02719

Cell: (774) 320-0393

Fax: (508) 999-4474

bolmeda@remax.net

www.BennyOlmeda.com



Thank You



The referral of your friends & family
is the finest compliment
I could ever receive

DISPLAY PERMIT IN A CONSPICUOUS PLACE ON THE PREMISES



Commonwealth of Massachusetts

City of New Bedford

133 William Street New Bedford, MA 02740

WATER SERVICE PERMIT



Date: 7/12/2021

No. **W-21-19**

Permit Fee: \$500.00

Service Location: WS- FARLAND CRC

Owner Name: JLB LLC

Owner Phone #: (774) 320-0393

Type of Occupancy: Residential

Type of Work: Water - Domestic New 1"

Work Description: Water Service#34134
P.130D L.479

Farland Circle NS S x Phillips Rd

Single Family
Builders Lot #2
Sewer#24953
expires 06-16-2022

Contractor

Name: _____ Certificate #: _____ Type of Business : _____

Address: _____ City/Town/State: _____ Phone #: _____

Type of Service _____ Pipe Size _____ Trench Length: **0.00**

Fire Service _____

Domestic Service _____

Estimated consumption of water

Estimated average daily consumption 0.00 gallons

Estimated maximum day consumption 0.00 gallons

Are lawn sprinklers and/or lawn irrigation proposed on site? No

Estimated fire flows required for the project site: 0.00

Does the project require a fire suppression system? No

Cross Connection? No

Right of Way? No

Meter Impact? No

Street Opening Permit Required? No

Call Phone: (781) 942-9077 For Inspection

DISPLAY PERMIT IN A CONSPICUOUS PLACE ON THE PREMISES



Commonwealth of Massachusetts

City of New Bedford

133 William Street New Bedford, MA 02740

WATER SERVICE PERMIT



Required minimum static pressure for the proposed project site

0.00

GRANTED WITH THE USUAL CONDITIONS

Water

COMMISSIONER

Call Phone: (781) 942-9077 For Inspection

COPY

expires 6-16-2022

SERVICE 34134

NEW BEDFORD WATER WORKS

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P-130 D

Lot 479

* Business Lot #2 *

TELEPHONE 774-320-0393

JLB LLC

420 Scanticut Neck Road
Fairhaven MA, 02719

Service laid..... Size and kind of pipe.....

From..... St.

Turned on..... Meter Set.....

Reading..... Location.....

Building rates..... Paid.....

Cost of Service..... Paid.....

31-727

JLB LLC
420 SCOTICUT NECK ROAD
FAIRHAVEN, MA 02719

173

53-7064/2113
11

Date

CHECK ARMOR
FRAUD PROTECTION

Pay to the
Order of

City of New Bedford

\$

500.00

Five Hundred &

no

Dollars



Photo
Safe
Deposit®
Details on back

Bank 5

For

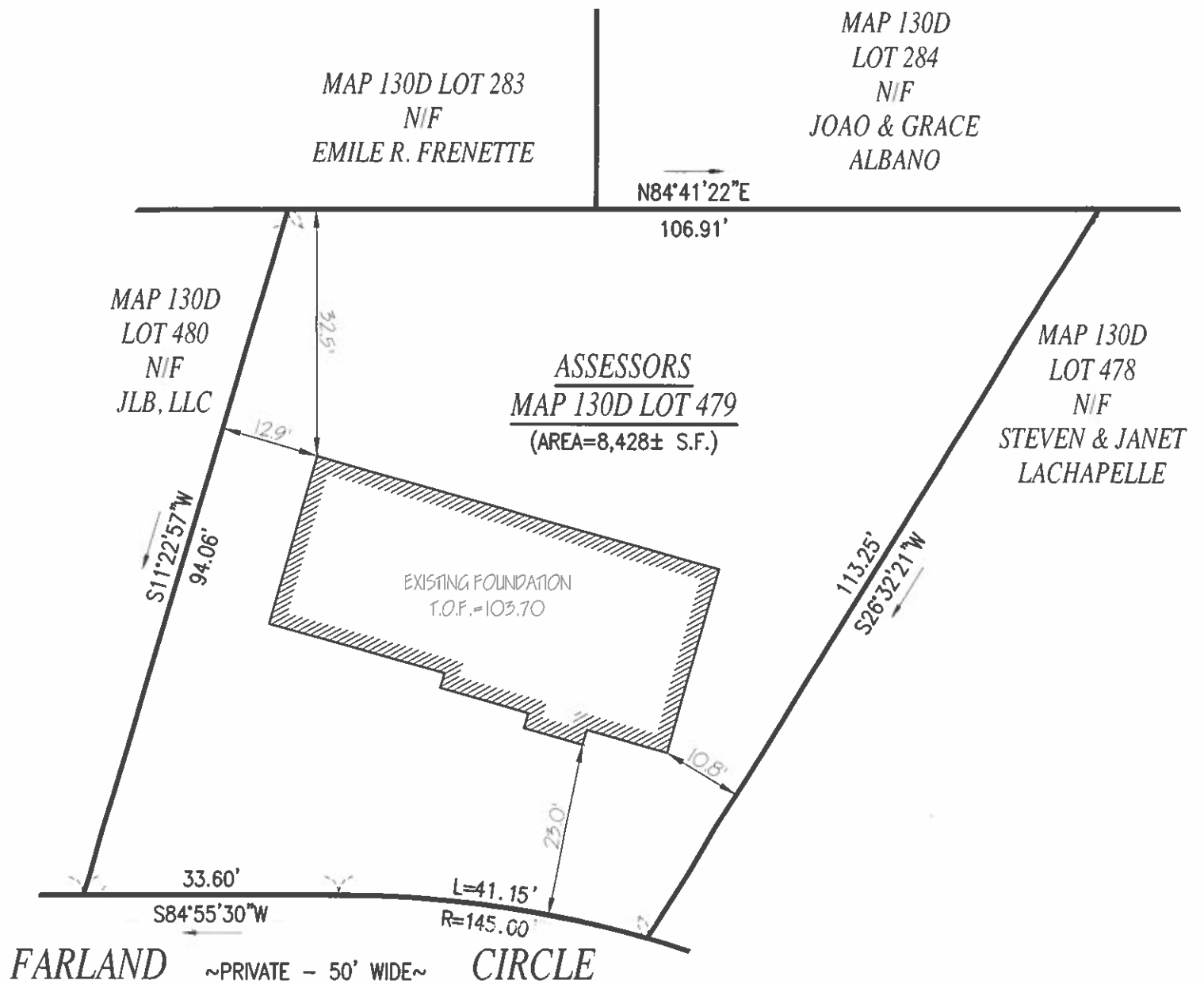
Fairland lot 2 water

Bill

MP

⑆ 211370642⑆90219971⑆

0173



— ZONING DATA —

DISTRICT: RA — RESIDENTIAL A

DESCRIPTION	REQUIRED
FRONT SETBACK	20 FT
SIDE SETBACK	10/12 FT
REAR SETBACK	30 FT

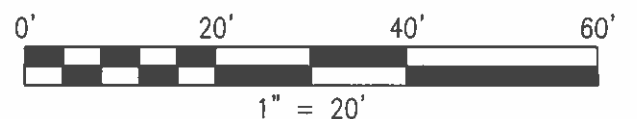
NOTE:

AS-BUILT SURVEY PERFORMED IN MAY OF 2021.

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ANY MODIFICATIONS MADE TO THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF FARLAND CORP. SHALL RENDER IT INVALID AND UNUSABLE.



1" = 20'

FOUNDATION AS-BUILT PLAN
FARLAND CIRCLE - LOT 2
ASSESSORS MAP 130D LOT 479
NEW BEDFORD, MASSACHUSETTS



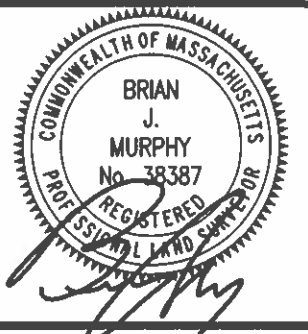
www.FarlandCorp.com

21 VENTURA DRIVE
DARTMOUTH, MA 02747
P.508.717.3479

- ENGINEERING
- SITEWORK
- LAND SURVEYING
- DEVELOPMENT

PREPARED FOR:

JLB, LLC
420 SCOTICUT NECK RD
FAIRHAVEN, MA 02719

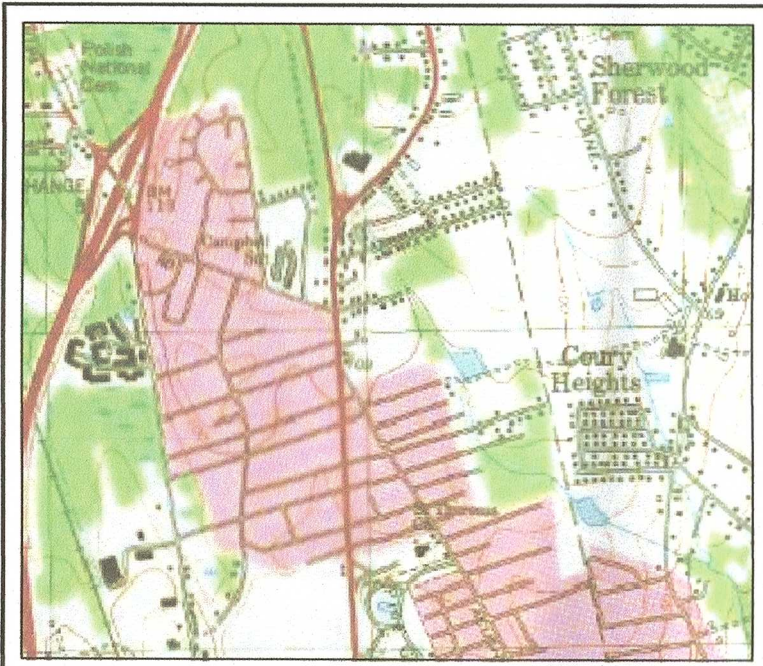


SCALE: 1"=20'

MAY 19, 2021

DRAWN BY: JT

JOB NO: 20-615



LOCUS MAP SCALE: 1"=2,000'±

SUBSURFACE ROOF RECHARGE UNIT SIZING CALCULATIONS:

INFLOW AREA = 672 SF, 100.00% IMPERVIOUS, INFLOW DEPTH = 6.76" FOR 100-YEAR STORM EVENT
INFLOW = 0.10 CFS @ 12.09 HRS, VOLUME= 379 CF
OUTFLOW = 0.01 CFS @ 11.60 HRS, VOLUME= 379 CF, ATTN= 88%, LAG= 0.0 MIN
DISCARDED = 0.01 CFS @ 11.60 HRS, VOLUME= 379 CF

ROUTING BY STOR-IND METHOD, TIME SPAN= 0.00-30.00 HRS, DT= 0.05 HRS
PEAK ELEV= 99.35' @ 12.66 HRS SURF.AREA= 66 SF REQUIRED STORAGE= 115 CF

VOLUME INVERT AVAIL. STORAGE STORAGE DESCRIPTION
#1 96.45' 69 CF 6.33'W X 10.50'L X 3.54'H PRISMATOID X 1
#2 96.95' 63 CF 47.8'W X 30.0'H X 7.00'L PARABOLIC ARCH X 1 INSIDE #1
#3 99.00' 1 CF 0.33'D X 10.0'H VERTICAL CONE/CYLINDER-IMPERVIOUS

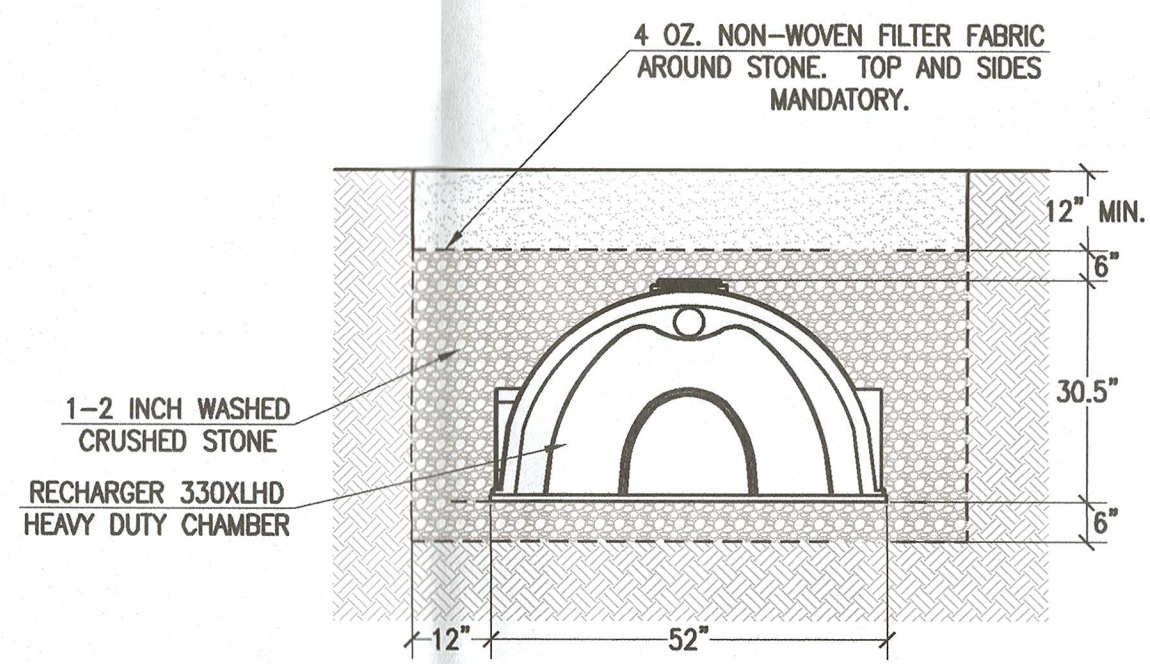
TOTAL AVAILABLE STORAGE = 133 CF >>> 115 CF

*PLEASE NOTE: THESE CALCULATIONS ARE PER UNIT. THERE ARE 2 UNITS ONSITE.

- ZONING DATA -

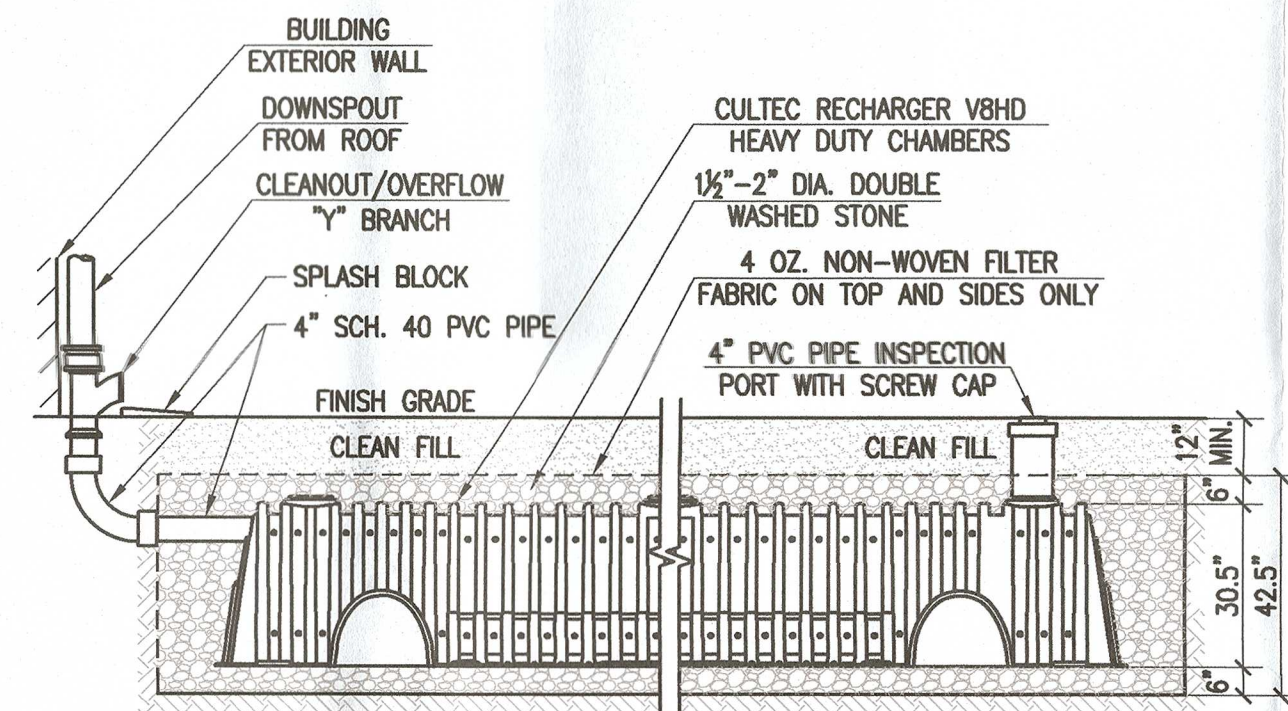
DISTRICT: RA - RESIDENTIAL A

DESCRIPTION	REQUIRED	PROVIDED
LOT AREA	8,000 S.F.	8,428± S.F.
LOT FRONTAGE	75 FT	75 FT
FRONT SETBACK	20 FT	23.0± FT
SIDE SETBACK	10/12 FT	10.7/13.0 FT
REAR SETBACK	30 FT	32.4± FT
BUILDING HEIGHT (MAXIMUM)	45 FT	30± FT
BUILDING COVERAGE (MAXIMUM)	30 %	15.8± %
LOT COVERAGE (MAXIMUM)	65 %	23.0± %



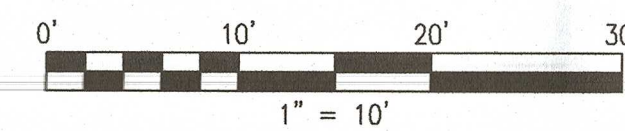
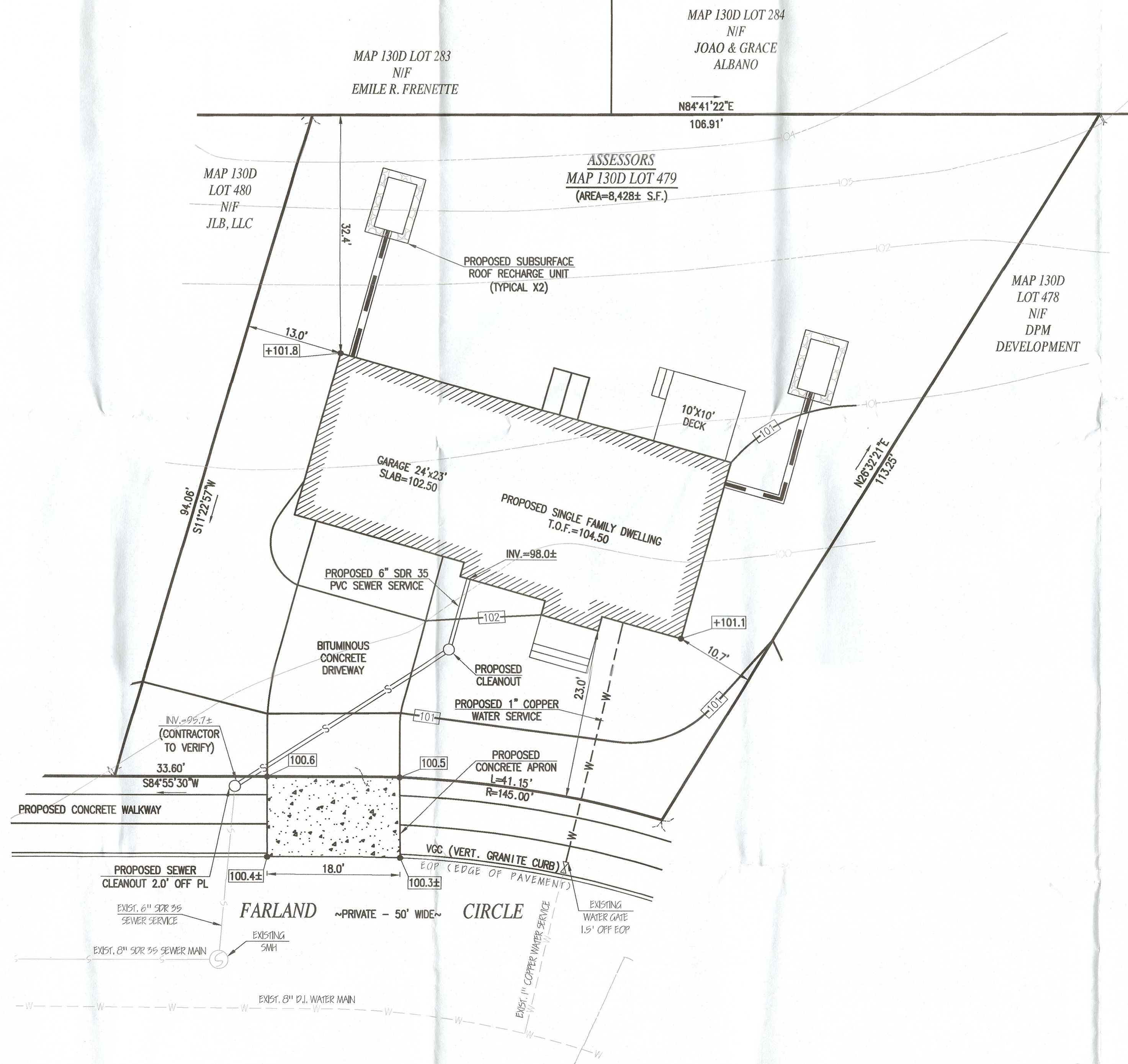
CULTEC RECHARGER 330XLHD STANDARD CROSS SECTION

NOT TO SCALE



ROOF RECHARGE SYSTEM

NOT TO SCALE



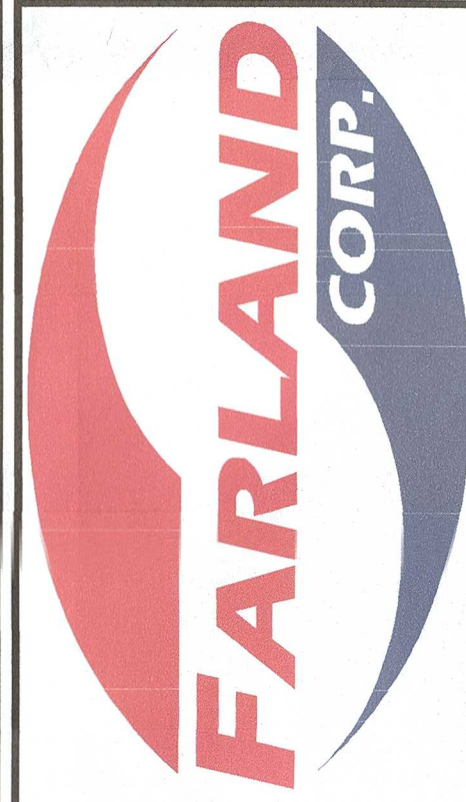
RECORD OWNER:
ASSESSORS MAP 1300 LOT 479
JLB, LLC
420 SCOUTOUT NECK ROAD
FAIRHAVEN, MA 02719
DEED BOOK 12989 PAGE 26

NOTES:

- TOPOGRAPHIC AND PROPERTY LINE SURVEY PERFORMED BY FARLAND CORP. IN NOVEMBER OF 2017.
- PORTION OF DRIVEWAY BETWEEN EDGE OF ROADWAY AND PROPERTY LINE SHALL BE CONCRETE.
- ROOF RECHARGE SYSTEMS HAVE BEEN OVER DESIGNED TO WITHSTAND THE 100-YEAR STORM EVENT AND THE TIE-IN OF A SUMP PUMP SYSTEM, IF NECESSARY.
- IF SUMP PUMP IS INSTALLED, A CONCRETE LIP MUST BE INSTALLED AROUND THE SUMP PUMP.

REVISIONS

1	12/10/20	DPI COMMENTS



www.FarlandCorp.com

401 COUNTY STREET
NEW BEDFORD, MA 02740
P.508.717.3479

OFFICES IN:

- TAUNTON
- MARLBOROUGH
- WARWICK, RI

DRAWN BY: JT

DESIGNED BY: CAF/JT

CHECKED BY: CAF

SITE PLAN

— FARLAND CIRCLE —
ASSESSORS MAP 1300 LOT 479
NEW BEDFORD, MASSACHUSETTS

PREPARED FOR:
LOPEZ DEVELOPMENT
129 HUTTLESON AVE
FAIRHAVEN, MA 02719

JUNE 25, 2020

SCALE: 1"=10'

JOB NO. 19-744.02

LATEST REVISION:

DECEMBER 10, 2020

SHEET 1 OF 1