

W-21-8  
SERVICE 34133

SEWER 24951

NEW BEDFORD WATER WORKS

APPLICATION FOR SERVICE AND METER

NEW BEDFORD

I HEREBY ACKNOWLEDGE the receipt of a copy of the Regulations prescribed in the Ordinance of the City, for the use of Water, and I request that the water may be furnished through a

1" inch COPPER meter at Farland Circle (Es) 5x  
P. 130 D L: 480 Phillips Rd (Lot #1)

at such rates as may from time to time be established by the City.

I hereby agree to pay promptly the bill for the Service pipe laid down for my premises, and to pay all dues for water, and I agree to conform to the said Regulations and to all provisions of the Water Ordinances, until written notice is given by me or my agent to cut off the supply.

Single Family

Jives contractor TELEPHONE

Service laid

Size and kind of pipe

From

Turned on

Reading

Building rates

Cost of Service

31-727

1" COPPER

EXISTS 1.5 gate to 8" DI under main on Farland Circle

Meter Set

Location

Paid

Paid

check # 169

exp. 6-16-22

JLB LLC 420 SCANTICUT AVE RD  
FAIRHAVEN MA 02719

E x E Line Farland Circle West 70.0'  
S x N Farland Circle 8.0'  
W x E line house 15.0'  
E x W line house 48.0'  
S x S line house 36.0'  
Main to property line 33.0'  
Pipe inside property 30.0'

9-1-21: New service installed by Jøves  
Inspector: P. Reynolds

SERVICE 34133

Sewer 24951

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31-727

COPY



**DISPLAY PERMIT IN A CONSPICUOUS PLACE ON THE PREMISES**



Commonwealth of Massachusetts

**City of New Bedford**

133 William Street New Bedford, MA 02740

**WATER SERVICE PERMIT**



Date: 7/12/2021

No. **W-21-18**

Permit Fee: \$500.00

Service Location: WS- FARLAND CRC

Owner Name: JLB LLC

Owner Phone #: \_\_\_\_\_

Type of Occupancy: Residential

Type of Work: Water - Domestic New 1"

Work Description: Water#34133  
P.130D L.480

Farland Circle ES S x Phillips Rd Lot#1

Sewer#24951  
Builders Lot#1

existing 1.5' gate to 8" DI water main on farland circle

**Contractor**

Name: \_\_\_\_\_ Certificate #: \_\_\_\_\_ Type of Business : \_\_\_\_\_

Address: \_\_\_\_\_ City/Town/State: \_\_\_\_\_ Phone #: \_\_\_\_\_

Type of Service Pipe Size Trench Length: **0.00**

Fire Service \_\_\_\_\_

Domestic Service \_\_\_\_\_

**Estimated consumption of water**

Estimated average daily consumption 0.00 gallons

Estimated maximum day consumption 0.00 gallons

Are lawn sprinklers and/or lawn irrigation proposed on site? **No**

Estimated fire flows required for the project site: 0.00

Does the project require a fire suppression system? **No**

Required minimum static pressure for the proposed project site 0.00

Cross Connection? **No**

Right of Way? **No**

Meter Impact? **No**

Street Opening Permit Required? **No**

**Call Phone: (781) 942-9077 For Inspection**

**DISPLAY PERMIT IN A CONSPICUOUS PLACE ON THE PREMISES**



Commonwealth of Massachusetts

# City of New Bedford

133 William Street New Bedford, MA 02740

## WATER SERVICE PERMIT

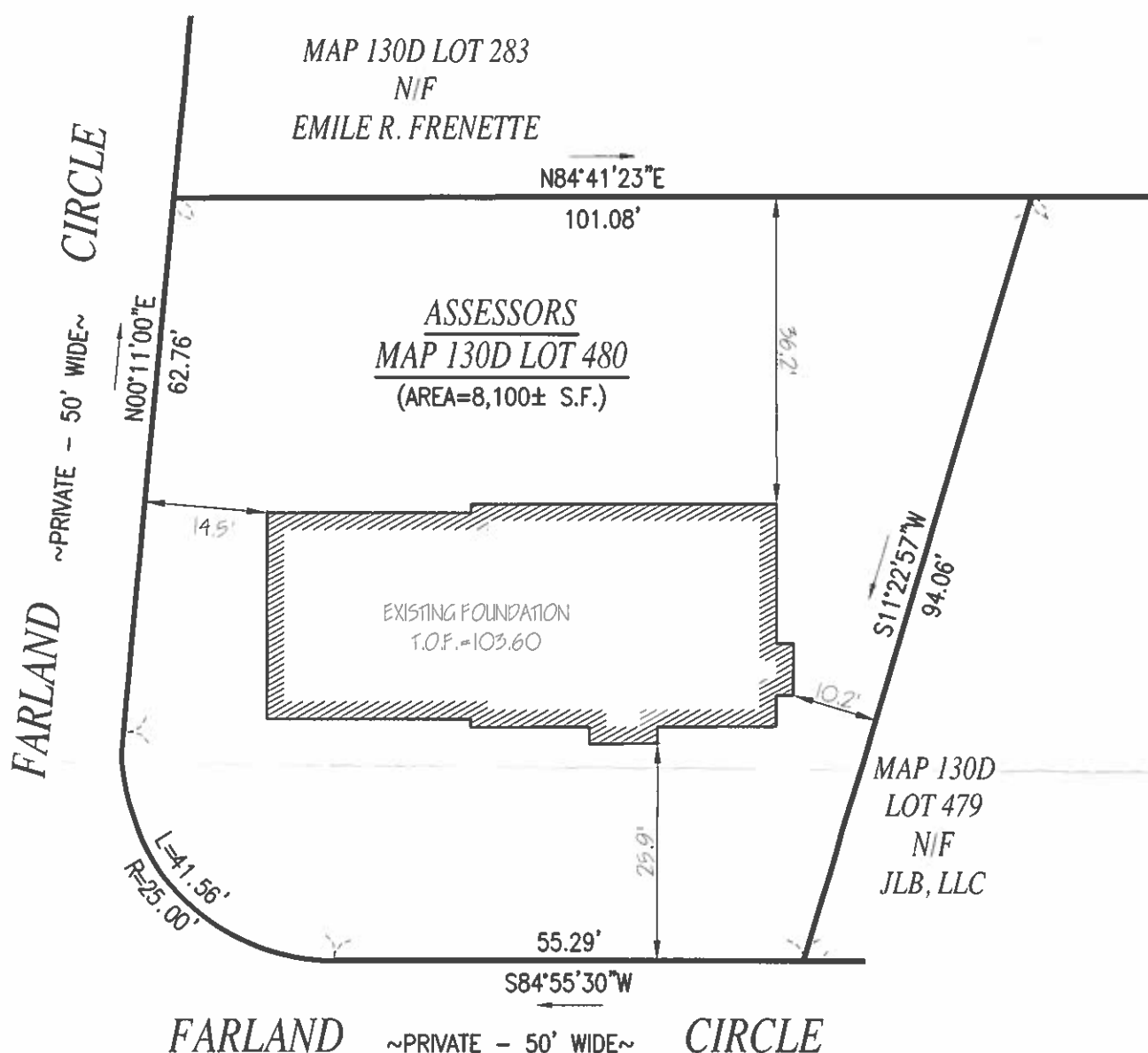


**GRANTED WITH THE USUAL CONDITIONS**

# Water

\_\_\_\_\_  
COMMISSIONER

**Call Phone: (781) 942-9077 For Inspection**

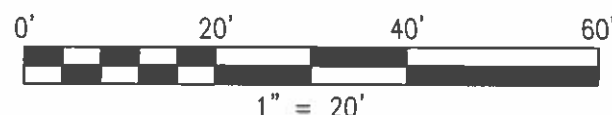


— ZONING DATA —

DISTRICT: RA - RESIDENTIAL A	
DESCRIPTION	REQUIRED
FRONT SETBACK	20 FT
SIDE SETBACK	10/12 FT
REAR SETBACK	30 FT

NOTE:  
AS-BUILT SURVEY PERFORMED IN MAY OF 2021.

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ANY MODIFICATIONS MADE TO THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF FARLAND CORP. SHALL RENDER IT INVALID AND UNUSABLE.



FOUNDATION AS-BUILT PLAN  
FARLAND CIRCLE - LOT 1  
ASSESSORS MAP 130D LOT 480  
NEW BEDFORD, MASSACHUSETTS

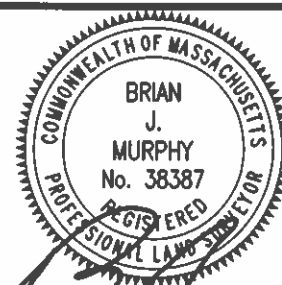


[www.FarlandCorp.com](http://www.FarlandCorp.com)

21 VENTURA DRIVE  
DARTMOUTH, MA 02747  
P.508.717.3479  
• ENGINEERING  
• SITEWORK  
• LAND SURVEYING  
• DEVELOPMENT

PREPARED FOR:

JLB, LLC  
420 SCOTICUT NECK RD  
FAIRHAVEN, MA 02719



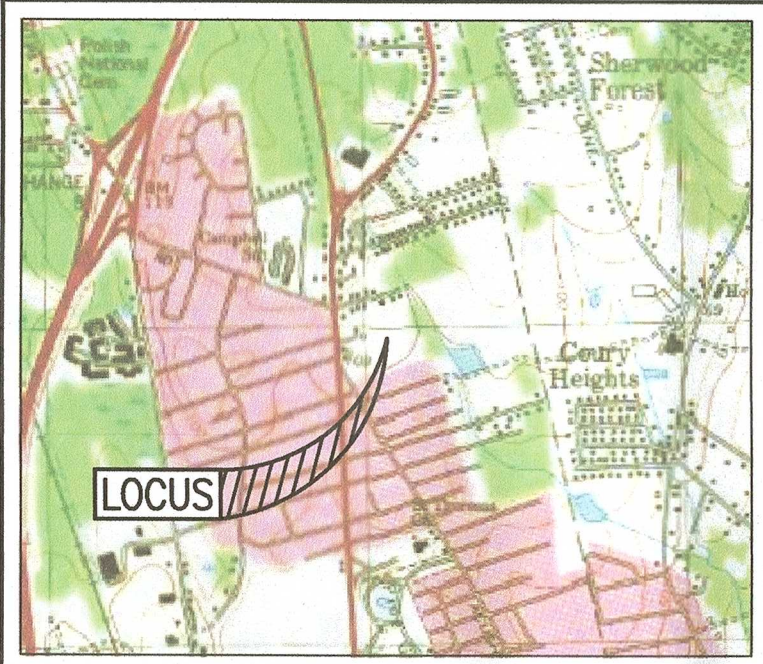
SCALE: 1"=20'

MAY 19, 2021

DRAWN BY: JT

JOB NO: 20-615





LOCUS MAP SCALE: 1"=2,000'±

#### SUBSURFACE ROOF RECHARGE UNIT SIZING CALCULATIONS:

INFLW AREA = 770 SF, 100.00% IMPERVIOUS, INFLW DEPTH = 6.76" FOR 100-YEAR STORM EVENT  
INFLW = 0.12 CFS @ 12.09 HRS, VOLUME= 434 CF  
OUTFLOW = 0.03 CFS @ 12.49 HRS, VOLUME= 434 CF, ATTEN= 71%, LAG= 24.4 MIN  
DISCARDED = 0.01 CFS @ 11.50 HRS, VOLUME= 427 CF

ROUTING BY STOR-IND METHOD, TIME SPAN= 0.00-30.00 HRS, DT= 0.05 HRS  
PEAK ELEV= 102.59' @ 12.50 HRS SURF AREA= 66 SF REQUIRED STORAGE= 132 CF

VOLUME	INVERT	AVAIL STORAGE	STORAGE DESCRIPTION
#1	97.95'	69 CF	6.33'W X 10.50'L X 3.54'H PRISMATOID X 1 236 CF OVERALL - 63 CF EMBEDDED = 172 CF X 40.0% VOIDS
#2	98.45'	63 CF	47.8'W X 30.0'H X 7.00'L PARABOLIC ARCH X 1 INSIDE #1
#3	100.50'	1 CF	0.33'D X 10.0'H VERTICAL CONE/CYLINDER-IMPERVIOUS

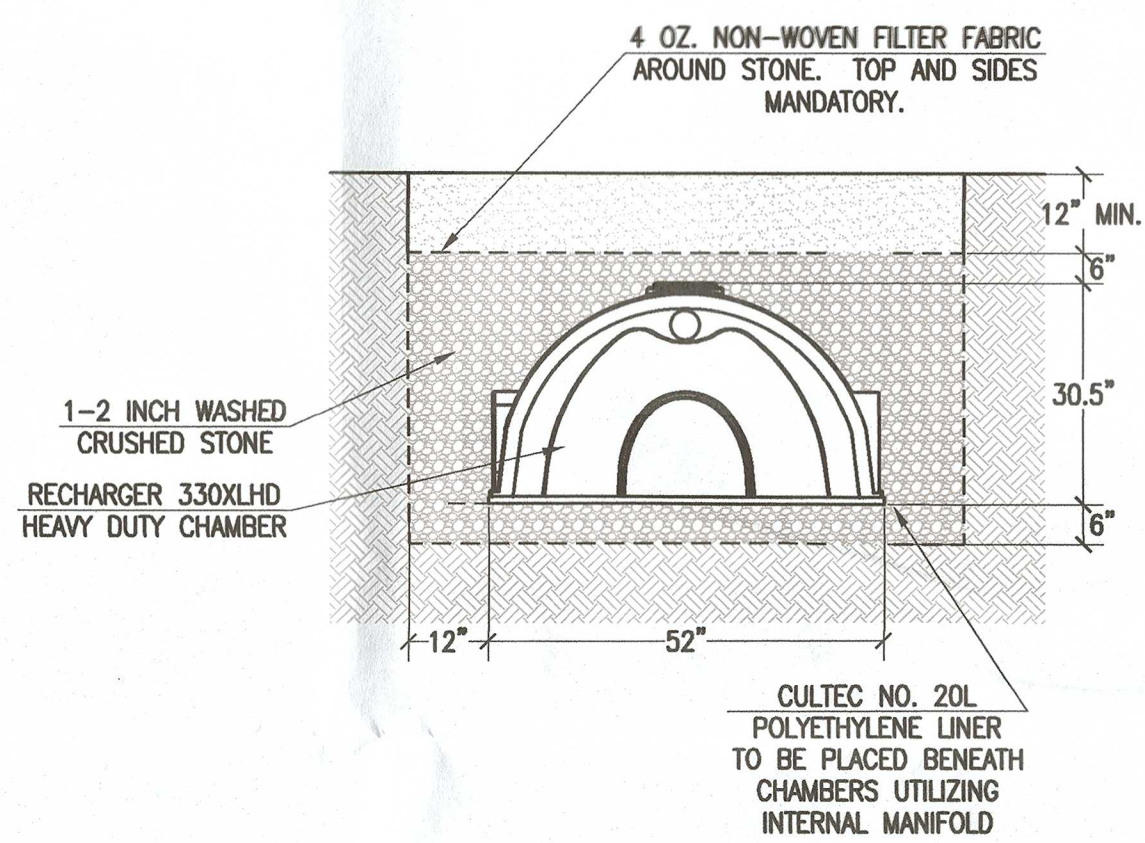
TOTAL AVAILABLE STORAGE = 133 CF >>> 132 CF

\*PLEASE NOTE: THESE CALCULATIONS ARE PER UNIT. THERE ARE 2 UNITS ONSITE.

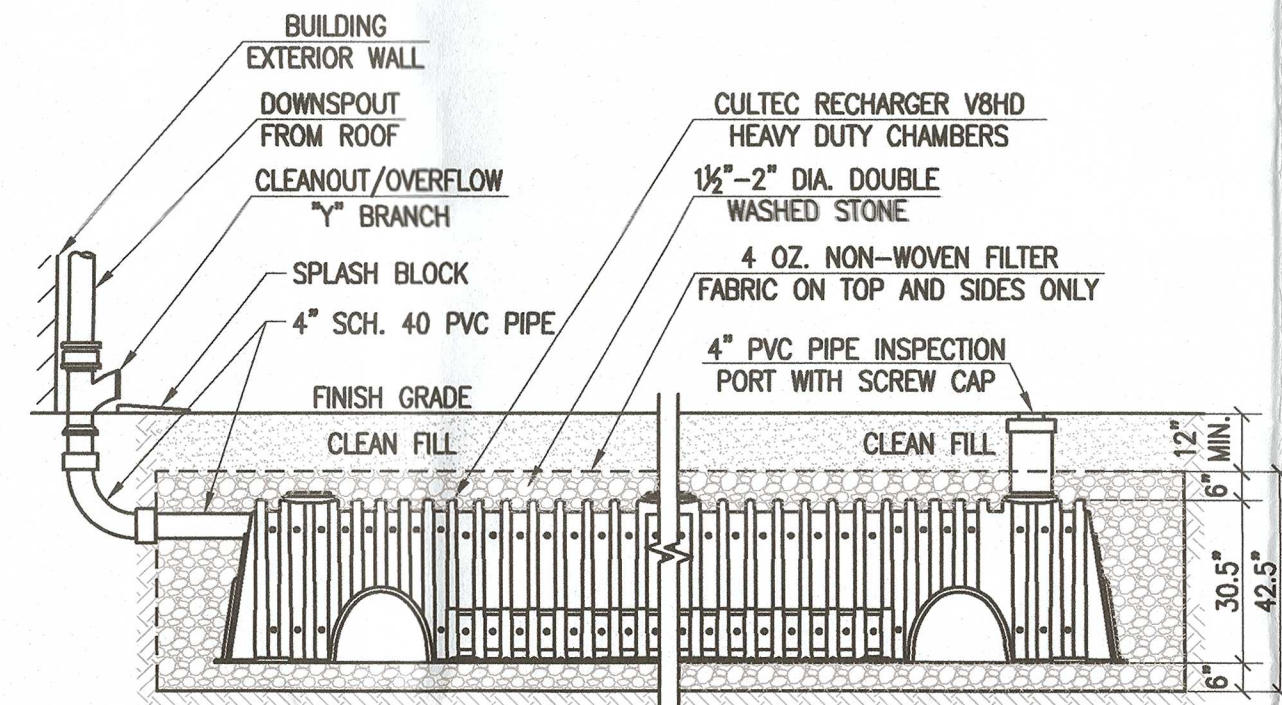
#### - ZONING DATA -

DISTRICT: RA - RESIDENTIAL A

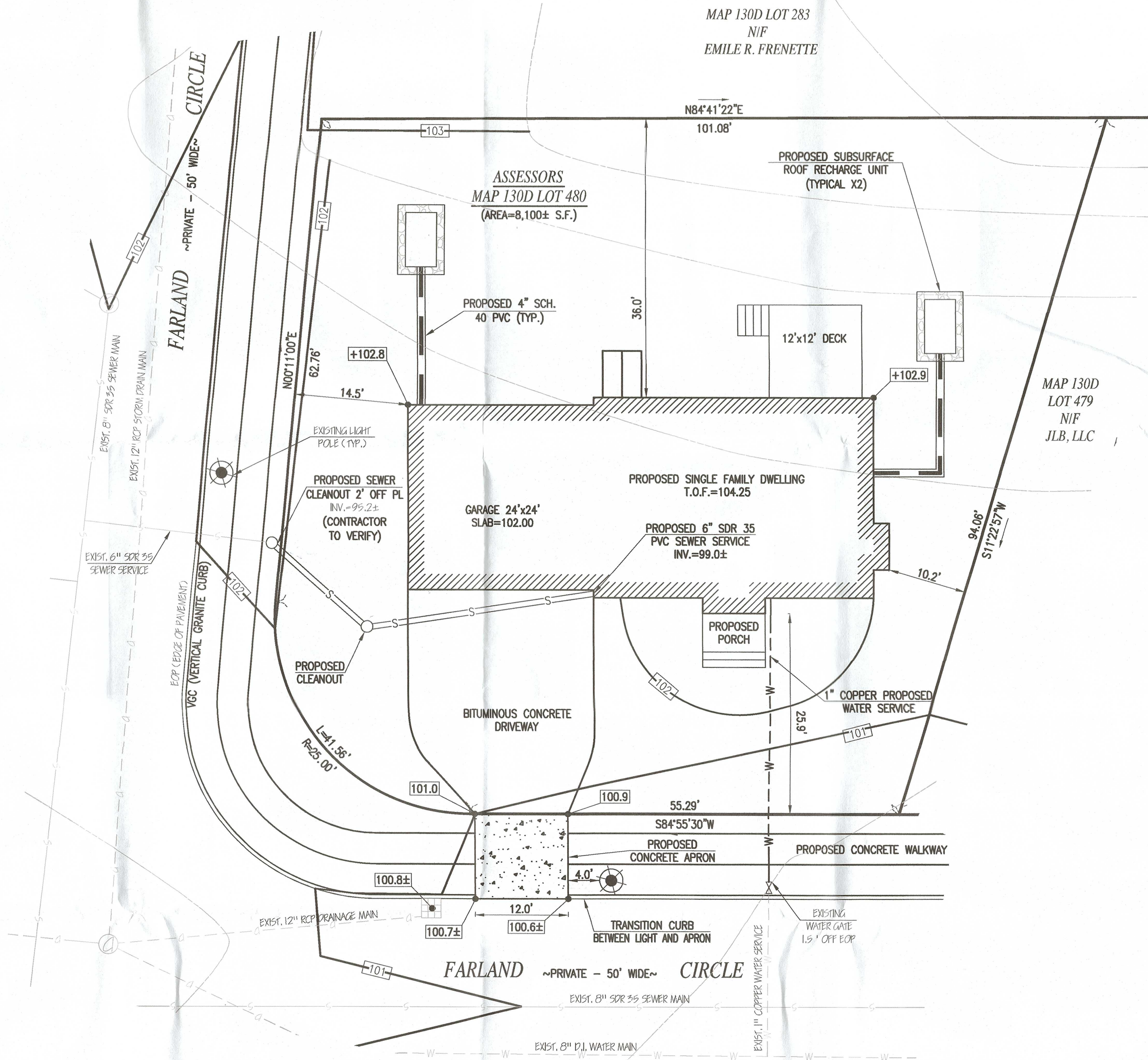
DESCRIPTION	REQUIRED	PROVIDED
LOT AREA	8,000 S.F.	8,100± S.F.
LOT FRONTAGE	75 FT	159.6 FT
FRONT SETBACK	20 FT	25.9± FT
SIDE SETBACK	10/12 FT	10.2± FT
REAR SETBACK	30 FT	36.0± FT
BUILDING HEIGHT (MAXIMUM)	45 FT	30± FT
BUILDING COVERAGE (MAXIMUM)	30 %	19.0± %
LOT COVERAGE (MAXIMUM)	65 %	25.7± %



CULTEC RECHARGER 330XLHD STANDARD CROSS SECTION  
NOT TO SCALE



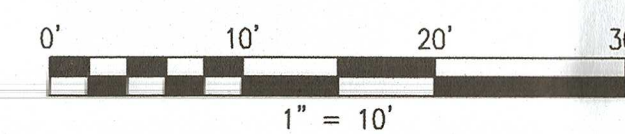
ROOF RECHARGE SYSTEM  
NOT TO SCALE



RECORD OWNER:  
ASSESSORS MAP 130D LOT 480  
JLB, LLC  
40 SCOUTICUT NECK RD  
FAIRHAVEN, MA 02719  
DEED BOOK 12989 PAGE 26

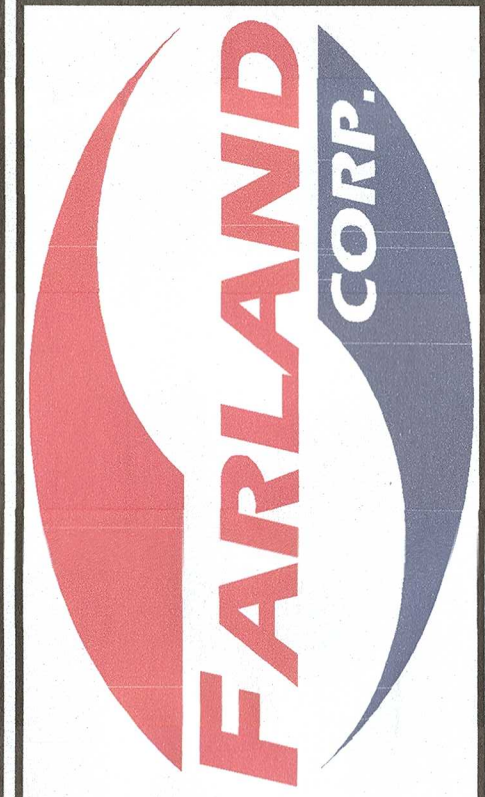
#### NOTES:

- TOPOGRAPHIC AND PROPERTY LINE SURVEY PERFORMED BY FARLAND CORP. IN NOVEMBER OF 2017.
- PORTION OF DRIVEWAY BETWEEN EDGE OF ROADWAY AND PROPERTY LINE SHALL BE CONCRETE.
- ROOF RECHARGE SYSTEMS HAVE BEEN OVER DESIGNED TO WITHSTAND THE 100-YEAR STORM EVENT AND THE TIE-IN OF A SUMP PUMP SYSTEM, IF NECESSARY.
- IF SUMP PUMP IS INSTALLED, A CONCRETE LIP MUST BE INSTALLED AROUND THE SUMP PUMP.



#### REVISIONS

NO.	DATE	DESCRIPTION
1	12/10/20	DPI COMMENTS



www.FarlandCorp.com

401 COUNTY STREET  
NEW BEDFORD, MA 02740  
P.508.717.3479  
OFFICES IN:  
•TAUNTON  
•MARLBOROUGH  
•WARWICK, RI

DRAWN BY: JT  
DESIGNED BY: CAF/JT  
CHECKED BY: CAF

#### SITE PLAN

— FARLAND CIRCLE —  
ASSESSORS MAP 130D LOT 480  
NEW BEDFORD, MASSACHUSETTS

PREPARED FOR:  
LOPEZ DEVELOPMENT  
129 HUTLESTON AVE  
FAIRHAVEN, MA 02719

JUNE 25, 2020  
SCALE: 1"=10'  
JOB NO. 19-744.01  
LATEST REVISION:  
DECEMBER 10, 2020

SHEET 1 OF 1