

W-21-15
SERVICE 34128

Sewer # 24939

NEW BEDFORD WATER WORKS

APPLICATION FOR SERVICE AND METER

NEW BEDFORD

05 13 2021 to 05 13 2022

I HEREBY ACKNOWLEDGE the receipt of a copy of the Regulations prescribed in the Ordinance of the City, for the use of Water, and I request that the water may be furnished through a

1 inch Copper meter at Morton Ave (W.S.) 550' N x Tobey St
P. 136A L. 796 (F.I.K.I.A. 1475 Morton Ave.)

at such rates as may from time to time be established by the City.

I hereby agree to pay promptly the bill for the Service pipe laid down for my premises, and to pay all dues for water, and I agree to conform to the said Regulations and to all provisions of the Water Ordinances, until written notice is given by me or my agent to cut off the supply.

Single family

old Sank
lined
#21747

maxe Hwy. 1479 Morton Ave New Bedford, MA, 02745

* See attached for signature

TELEPHONE 714-328-0021

Service laid W.C. Smith and Sons

Size and kind of pipe 1" copper

From 10' water main on Morton Ave

\$.

Turned on

Meter Set

Reading

Location

Building rates

Paid

Cost of Service

\$500.00

Paid

check 1272

31-727

S x N Line Ivers St 8.0'
E x W Line Morton Ave 10.0'
S x N Line Garage 67.0'
N x S Line House 22.0'
E x E line house 41.0'
Main to property line 14.0'
Pipe inside property 33.0'

8-25-2021: service installed by WC Smith
Percy Reynolds Inspector:

DISPLAY PERMIT IN A CONSPICUOUS PLACE ON THE PREMISES



Commonwealth of Massachusetts

City of New Bedford

133 William Street New Bedford, MA 02740

WATER SERVICE PERMIT



Date: 6/4/2021

No. **W-21-15**

Permit Fee: \$500.00

Service Location: WS- MORTON AVE

Owner Name: FREY MICHAEL F "TRUSTEE" FREY

Owner Phone #: (774) 328-0021

Type of Occupancy: Residential

Type of Work: Water - Domestic New 1"

Work Description: Water Service#34128
P.136A L.796
Morton Ave WS 550' N x Tobey St

FKA 1475 Morton Ave
Single Family-- 5.13.2021 to 5.13.2022

sewer permit#24939
10' water main on Morton Ave

Contractor

Name: Smith, W.C. & Sons, Inc. Certificate #: HE 039659 Type of Business : Hoisting

Address: 148 Westview Street City/Town/State: New Bedford MA Phone #: (508) 995-

Type of Service Pipe Size Trench Length: 0.00

Fire Service

Domestic Service

Estimated consumption of water

Estimated average daily consumption 0.00 gallons

Cross Connection? No

Estimated maximum day consumption 0.00 gallons

Right of Way? No

Are lawn sprinklers and/or lawn irrigation proposed on site? No

Meter Impact? No

Estimated fire flows required for the project site: 0.00

Street Opening Permit Required? No

Does the project require a fire suppression system? No

Call Phone: (781) 942-9077 For Inspection

DISPLAY PERMIT IN A CONSPICUOUS PLACE ON THE PREMISES



Commonwealth of Massachusetts

City of New Bedford

133 William Street New Bedford, MA 02740

WATER SERVICE PERMIT



Required minimum static pressure for the proposed project site 0.00

GRANTED WITH THE USUAL CONDITIONS

Water

COMMISSIONER

Call Phone: (781) 942-9077 For Inspection

Permit is not valid until processed by DPI engineering. 05.12.2021 - AJ

SERVICE 34128

Sewer # 24939

NEW BEDFORD WATER WORKS

APPLICATION FOR SERVICE AND METER

NEW BEDFORD

05.13.2021 to 05.13.2022

I HEREBY ACKNOWLEDGE the receipt of a copy of the Regulations prescribed in the Ordinance of the City, for the use of Water, and I request that the water may be furnished through a

1 inch Copper meter at Morton Ave (WS) 550 N x Tobey St

P. 136A L. 796

(FKIA 1475 Morton Ave)

at such rates as may from time to time be established by the City.

I hereby agree to pay promptly the bill for the Service pipe laid down for my premises, and to pay all dues for water, and I agree to conform to the said Regulations and to all provisions of the Water Ordinances, until written notice is given by me or my agent to cut off the supply.

Single family

Max Reg 1479 Morton Ave New Bedford, MA, 02745

* Max Reg

TELEPHONE 714-328-0021

Service laid W.C. Smith and Sons Size and kind of pipe 1" copper

From 10' water main on Morton Ave \$.

Turned on Meter Set

Reading Location

Building rates Paid

Cost of Service \$500.00 Paid Check 1272

31-727

CHELSEY L GAUVIN
928 TUCKER RD.
NORTH DARTMOUTH, MA 02747

60-7269/2313

1272

DATE 5/12/21

PAY TO THE
ORDER OF

City of New Bedford

\$ 500.00

Five hundred dollars

DOLLARS



Security Features
Included.
Details on Back.



Santander Bank, N.A.

MEMO

136A-796 water

Chelsey Gauvin

MP

⑆231372691⑆

194113515311272



Commonwealth of Massachusetts

CITY OF NEW BEDFORD

City Hall, Room 308, 133 William Street New Bedford, MA 02740 (508) 979-1540



FOUNDATION PERMIT

2/26/2021

No. **B-20-1945**

MSBC Sect. 111.8 - Any permit issued shall be deemed abandoned and invalid unless the work authorized by it shall have been commenced within six (6) months after its issuance.

FEE PAID **\$275.00**

This certifies that Marc Frey

owner/contractor has permission to:

WS-

MORTON AVE

on:

136A

-796

Foundations Only 1-2 Family - 100.00

Providing that the person accepting this permit shall in every respect conform to the terms of application therefore on file in this office; to the provisions of the statute of the Commonwealth and to the by-laws of the City of New Bedford relating to the inspection, erection, enlarging, altering, raising, moving, repairing, or tearing down of a building.

Permit is issued subject to the following special requirements: (Restrictions)



Wiring Inspector



Plumbing Inspector



Building Inspector

YOUR AREA INSPECTOR IS: Thomas Welch

Tel. (508) 979-1540 Between 8:00am - 9:00am

NOTICE: NOTIFY INSPECTOR 48 HOURS IN ADVANCE OF APPLYING SHEATHING OR LATHING

OCCUPANCY PERMIT REQUIRED BEFORE OCCUPANCY

No Building or Structure shall be used or occupied until the Certificate of Use and Occupancy shall have been issued by the Building Commissioner - MSBC, Sect. 120.1

This Card Must Be Displayed in a Conspicuous Place on the Premises and Not Torn Down or Removed Until Completion of Work

SUBJECT TO MASSACHUSETTS
STATE BUILDING CODE

Danny D. Bonanowicz Jr

Plan Review Comments: :

: Applicant needs to have engineered site plan with house, grading, utilities etc including showing the edge of Sassaquin Pond Bank and associated Buffer Zone. Then he needs to file a Notice of Intent with the Conservation Commission and obtain an Order of Conditions before I can sign off with the Building Dept.

: Conditionally Approved Applicant is required to follow ConCom Order of Conditions and request site inspection of erosion controls prior to any site work

: Must follow DPI requirements

- : 1. All unused water services to be cut off at the main.
2. Water service to be perpendicular (90 degrees) from main to inside building.
3. Sewer service to be 10 ft away from water service.
4. Water curb stop (shut -off) to be 1.5ft from face of curb/pavement.
5. Install water meter at point of entry to building
6. revise site plan to show water main and water service connection at main.

: NOTE: NEW SINGLE FAMILY DWELLING,,, WILL NEED ELECTRICIAN AND ELECTRICAL PERMIT FOR ANY ELECTRICAL WORK ASSOCIATED WITH THIS DWELLING

: THIS FOUNDATION WILL REQUIRE AN ELECTRICAL PERMIT FOR A "UFER GROUND" CONCRETE ENCASED ELECTRODE FOR CONNECTION TO THE BUILDING GROUNDING ELECTRODE SYSTEM PER THE NATIONAL ELECTRICAL CODE ARTICLE 250.52(3).

: ASR-DPI Engrg.

RE: TB-20-1945
Morton Ave. (W.S.) 550' N. x Tobey St. (f/k/a #1475 Morton Ave.)
Plot 136A Lot 796
Reviewed 2/19/2021

PLEASE NOTE:

It is the responsibility of the applicant and the contractors to be familiar with DPI procedures/ regulations and ascertain that all proposed work which falls under DPI jurisdiction, whether shown on the submitted site plan or not, is identified and executed in accordance with City of New Bedford DPI Construction Standards/Specifications. The Certificate of Occupancy (CO) will not be signed for any work performed that is non-compliant and/or if any of the following conditions are not met.

The following conditions are to be met by the applicant (being the owner and/or their representative) as part of this permit approval:

1.) The site plan submitted in View Permit, titled: "Building Permit Plan, Parcel 136A-796 (F/k/a #1475), Morton Avenue, New Bedford, Massachusetts", having a date of 10/1/2020 (last revised 2/19/2021), as prepared by Zenith Land Surveyors, LLC and stamped/signed by Jamie L. Bissonnette, P.E. (Civil) and Jonathan J. Pink, P.L.S., was approved for DPI permitting, with the following conditions:

- a. Provide adequate access to utilities that are being proposed to run under new porches, decks, etc. such that said structures do not have to be compromised when maintenance/repair of said utilities is required in the future.
- d. Provide the "final" site plan submitted for DPI permitting (or any modifications approved thereafter) to Inspectional Services to be placed on file in the View Permit system.

2.) Must provide 1 stamped/signed copies of the "final" site plan approved by DPI for each of the permits being sought (i.e. water, sewer/drain and sidewalk/driveway permits) for the proposed structure. In addition, a copy of the foundation permit and of the stamped/signed foundation as-built plan must also be submitted.

Please Note: Any representative pulling permits on behalf of the owner must provide DPI with a permission slip. If the property was acquired within the past 6 months, then a copy of the recorded deed showing property ownership must also be provided.

3.) Compliance with the City of New Bedford Stormwater Rules & Regulations/Ordinances is required for all project sites, regardless of size. All sites must implement sediment and erosion control measures and will be subject to the required construction site and sediment control inspections.

4.) Must contact DPI-Engineering to measure for an address number once the front door is framed. The CO will not be signed unless the legal address issued by the City is permanently affixed to, above, or next to, the main door entrance to which it was assigned such that it is highly visible from the street.

Please be advised that any and all future modifications to the site plan that was reviewed/approved for the above project and placed on file at DPI as the "final" site plan for permitting must be resubmitted for review/approval if said changes entail work that falls under the jurisdiction of DPI.

: ASR-DPI Engrg.

RE: TB-20-1945
Morton Ave. (W.S.) 550' N. x Tobey St. (f/k/a #1475 Morton Ave.)
Plot 136A Lot 796
Reviewed 1/29/2021

The plan recently submitted with a revision date of 1/18/2021 (dated 10/1/2020) is pending being updated to reflect the correct record information and the numerous edits, as discussed in DPI's phone conversations this morning with the surveyor at ZLS (John Pink) and the civil engineer at ZCE (Jamie Bissonnette) regarding DPI requirements and construction specifications/standards.

: ASR-DPI Engrg.

RE: TB-20-1945
Morton Ave. (W.S.) 550' N. x Tobey St. (f/k/a #1475 Morton Ave.)
Plot 136A Lot 796
Reviewed 2/17/2021

The following revisions need to be made prior to the permit being approved:

1. The last phone conversation between DPI, the surveyor at ZLS (John Pink) and the civil engineer at ZCE (Jamie Bissonnette) regarding required edits was on 1/29/2021. Yet, the revised site plan that was recently submitted still has a last revision date of 1/18/2021 (dated 10/1/2020), which indicates that it was not updated. Please check that there is an updated revision date on subsequent plan submittals.
2. On the proposed site plan view, please show the area of the existing 12' wide asphalt driveway and add a callout stating that it is to be removed and said area restored in accordance with DPI Requirements/Standards.
3. As was pointed out during DPI's last discussion with the surveyor and the civil engineer, DPI's water records indicate that the portion of the water service being shown as "existing" on the proposed site plan was cut at the tap in 2008 prior to the house formerly known as 1475 being demolished (Since it was a lead service, it could not be reused.) Thus, as requested, please show a new water service installation from the water main to the new house foundation. Please note that the new water service cannot be under the garage slab, so you must choose a point of entry into the house foundation. The portion of the water service within the City Layout must be a straight line, perpendicular to the main and the property line (bends/curves in this portion of the line are not allowed). The new curb stop is required to be 1.5' from the EOP, within the existing "grass" sidewalk area.

An email was sent to John Romanelli today with the above comments.

: ASR-DPI Engrg.

RE: TB-20-1945
Morton Ave. (W.S.) 550' N. x Tobey St.*
Plot 136A Lot 796
Reviewed 1/6/2021

The plan recently submitted in View Permit is a building permit plan (dated 10/1/2020) and does not contain the information required for DPI to conduct a proper review of the site. The company that prepared the plan, ZLS, should refer to the final site plans that it submitted to DPI for similar projects (i.e. Bryant Ln., Almy St., etc.) for guidance and update this plan accordingly if it is to be utilized as the site plan. All proposed work that falls under DPI jurisdiction is to be shown and meet DPI requirements and construction specifications/standards.

The following is a quick checklist of the elements that need to be incorporated into the site plan to be submitted for review by DPI:

1. Please check that all existing site conditions are shown (i.e. buildings, utilities, mains/service connections, shut offs, clean outs, septic system (if any), driveways/sidewalks, curb/berm or edge of pavement, grading, etc.) and properly labeled (i.e. size/type of existing mains, services, type of curb/berm, etc.).
2. Clearly depict and properly label all proposed work (i.e. new structure(s), water/sewer/storm drain mains/service connections or septic system, driveway(s)-new/closure/widening, storm recharge system for roof runoff/calculations/details, grading, etc.). Ascertain everything is properly called out (i.e. proposed 1" copper water service, proposed 18' wide asphalt driveway apron, etc.).
3. Check with DPI to obtain the record information for the existing water/sewer mains within the ROW and services to said property, and update accordingly.
4. Check City of New Bedford Stormwater regulations and ordinances and ascertain that compliance has been met.
5. Check that the site plan being submitted has been stamped/signed by the professional engineer responsible for the site development/infiltration system design and by the surveyor responsible for the field survey (if any).
6. *Please do not reference the address of the structure that was razed (#1475 Morton Ave.) in the site plan title for a new building. For example, the title should reference the street name and the parcel id., and state "(f/k/a #1475 Morton Ave.)". The new building does not automatically assume the address of the structure that was previously on the lot.

The design engineer and/or land surveyor should contact the DPI Engineering Dept. with any questions regarding DPI requirements that need to be met and the construction specifications and standards that are to be implemented. Copies of said specifications and standards are available at DPI.

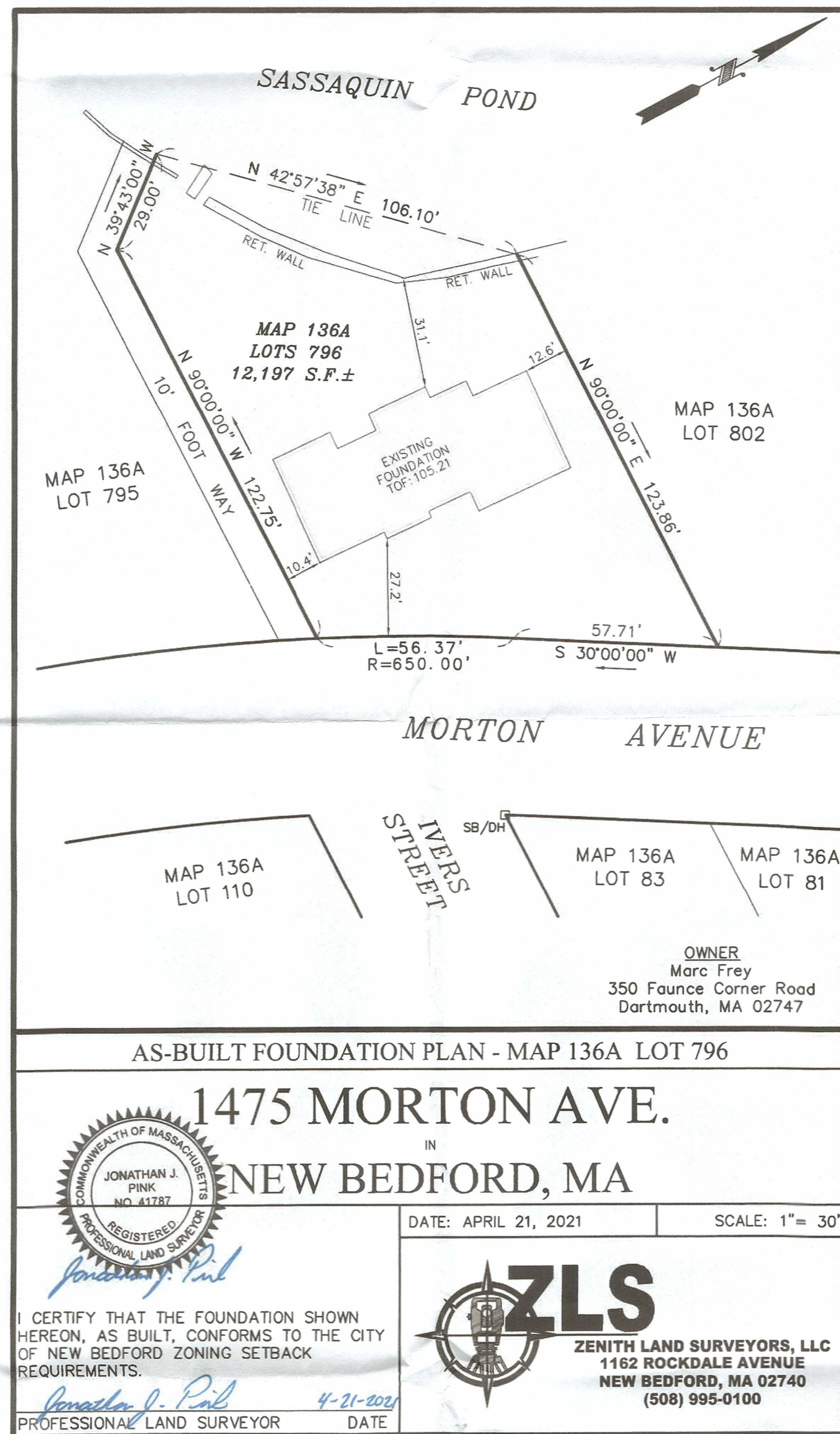
: TB-20-1945
WS Morton Ave
Assesors Plot 136A, Lot 796

Reviewed: 2/19/2021
Reviewed By: S. Crampton

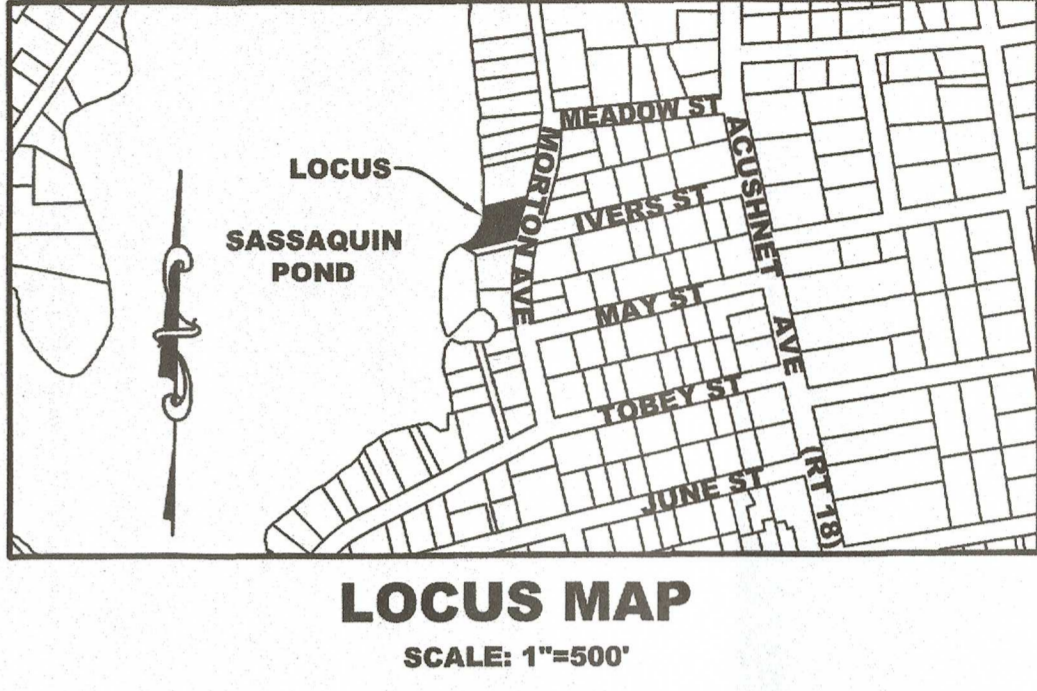
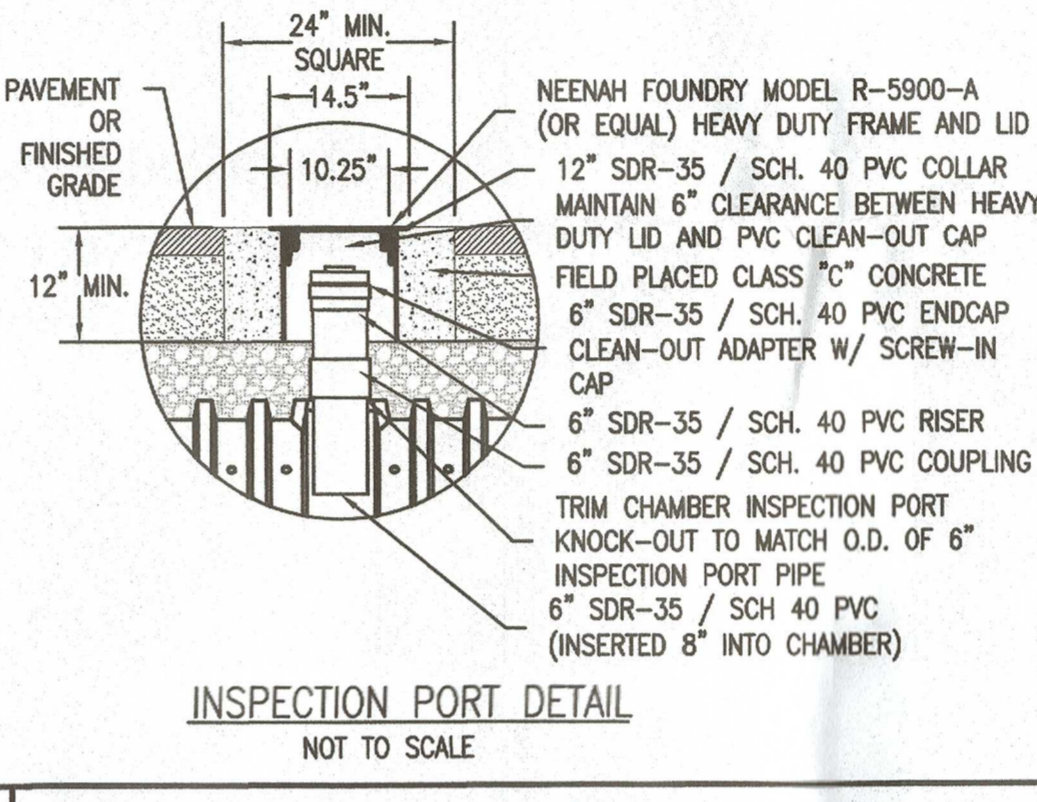
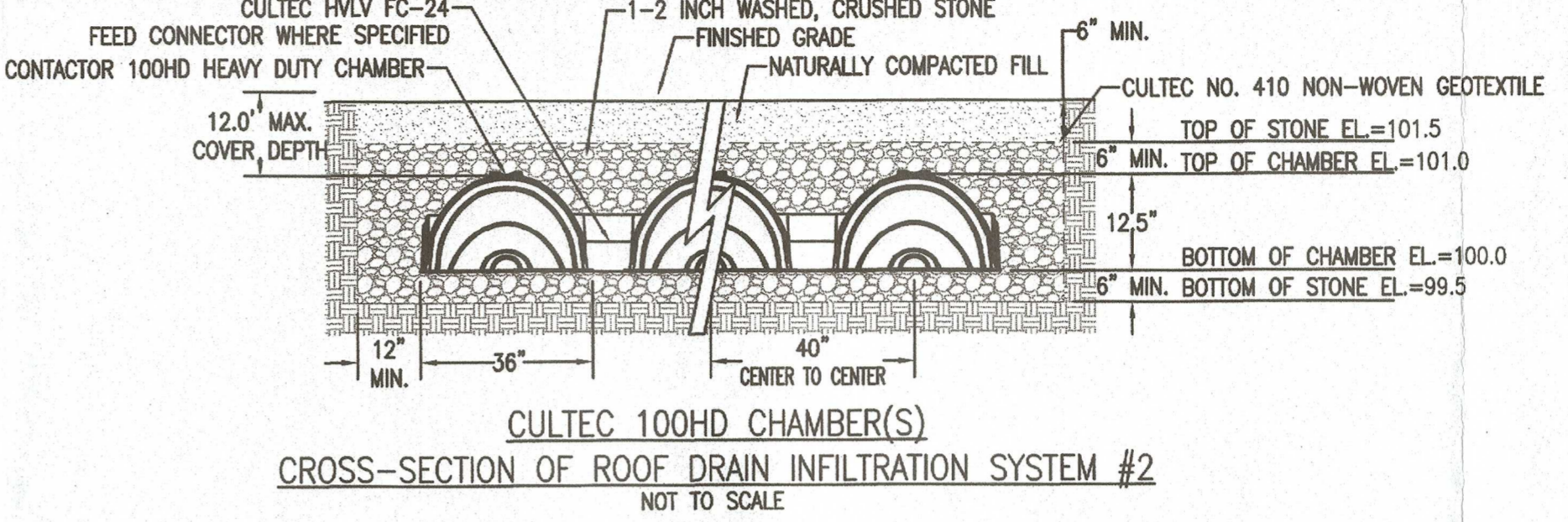
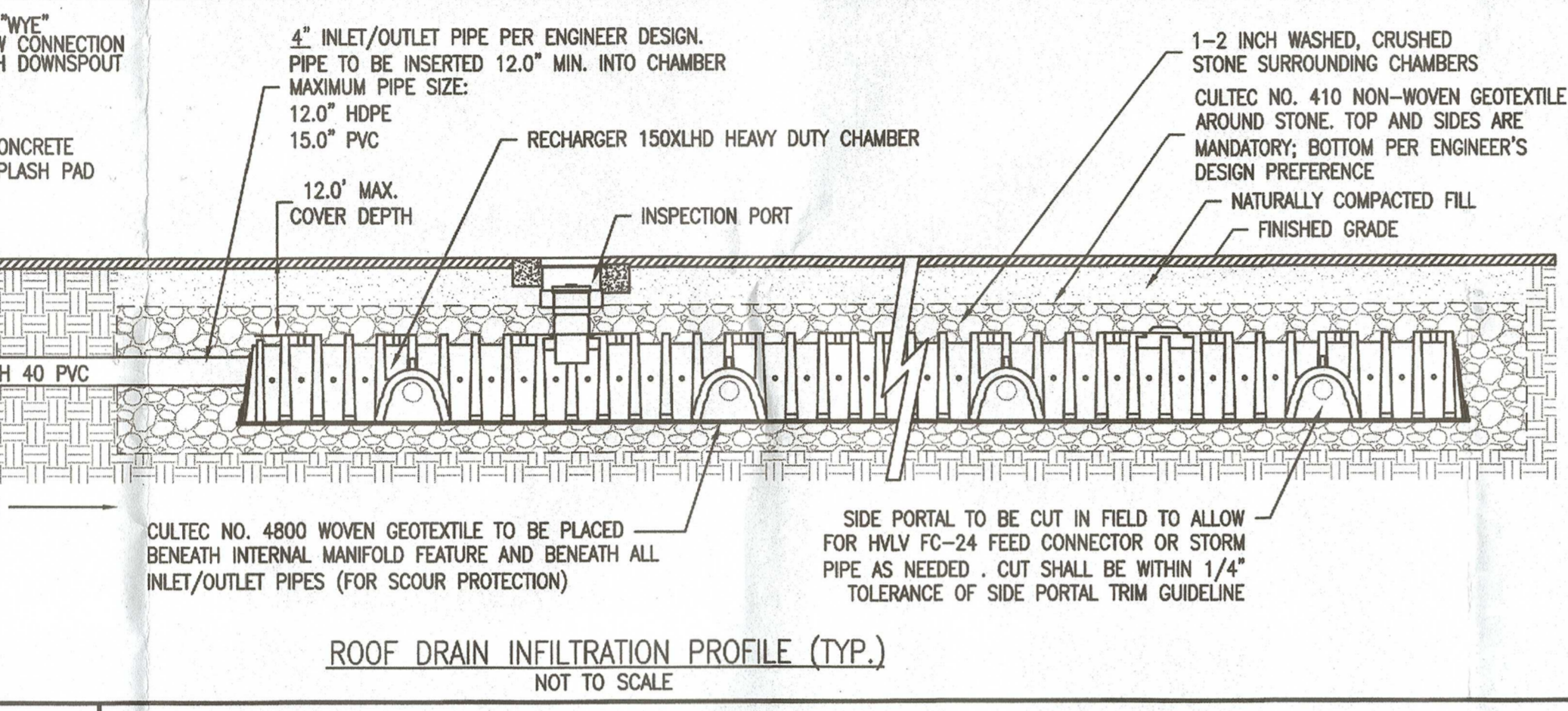
See Engineering comments by ASR, dated 2-19-2021 for all comments pertaining to DPI requirements for water service install and permit process.

: Any changes, alterations, removal, or installation of any plumbing or gas fixture will require a permit as per provisions of 248 CMR

: Construct a 76'x 32' foundation as per plan submitted



-
- Diagram illustrating a foundation cross-section with a downspout. The downspout is labeled "DOWNSPOUT" and is shown extending from the roofline down to the foundation. The roofline is labeled "GUTTER WITH HEAVY DUTY WIRE STRAINERS FOR EACH DOWNSPOUT". The foundation is labeled "FOUNDATION". The downspout is shown with a "4\" RIGID" section and a "10\" MIN" section. The downspout is shown with a "PROVIDE OVER FOR" section.



INFILTRATION CALCULATIONS:

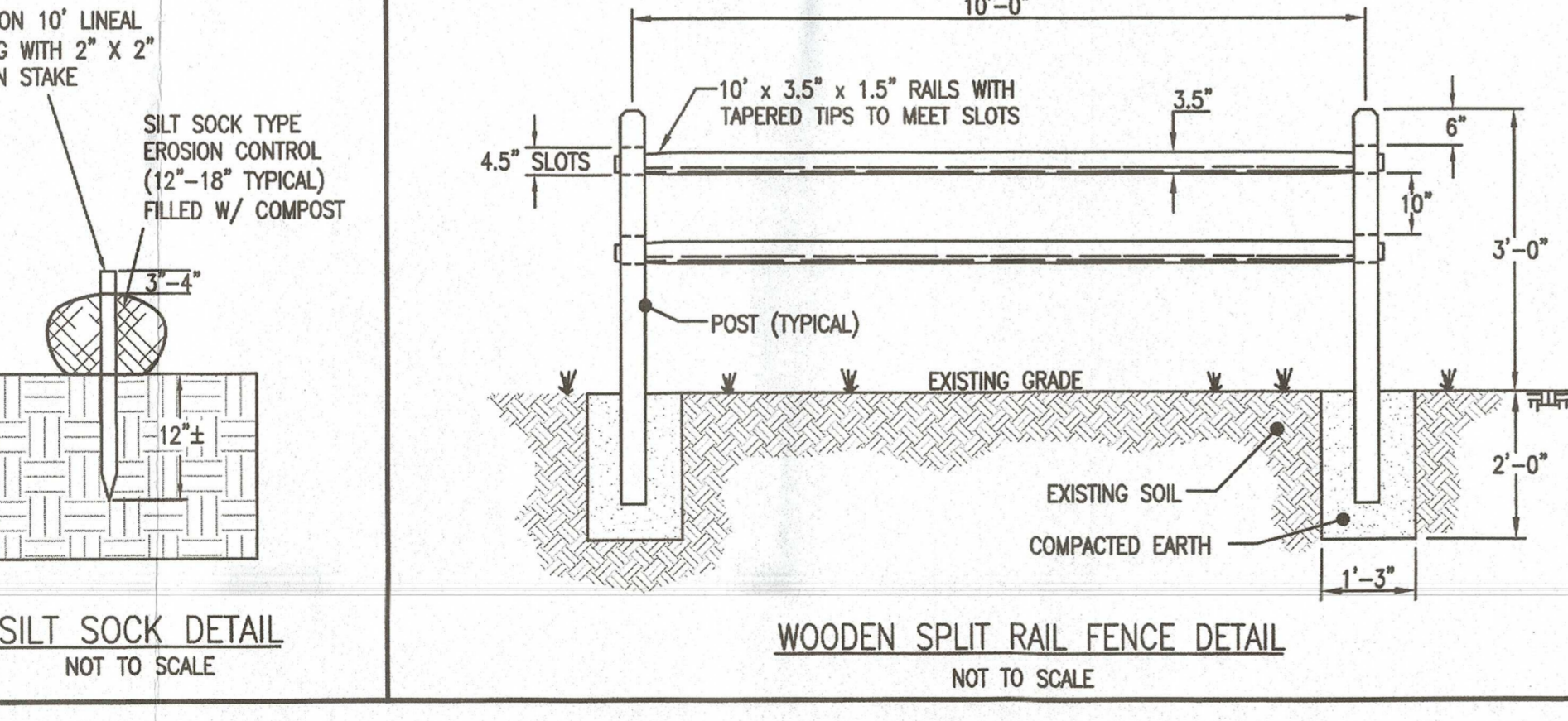
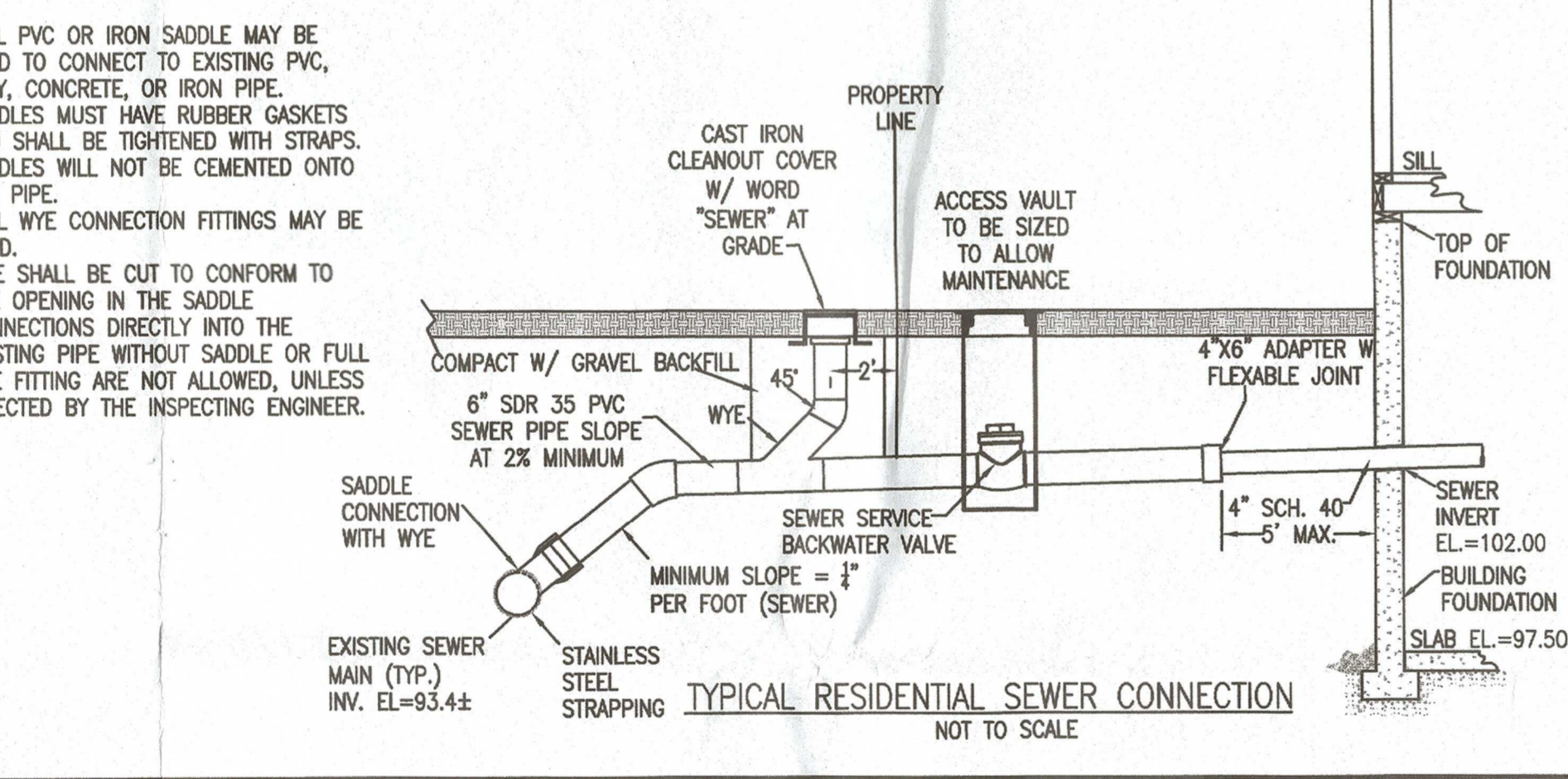
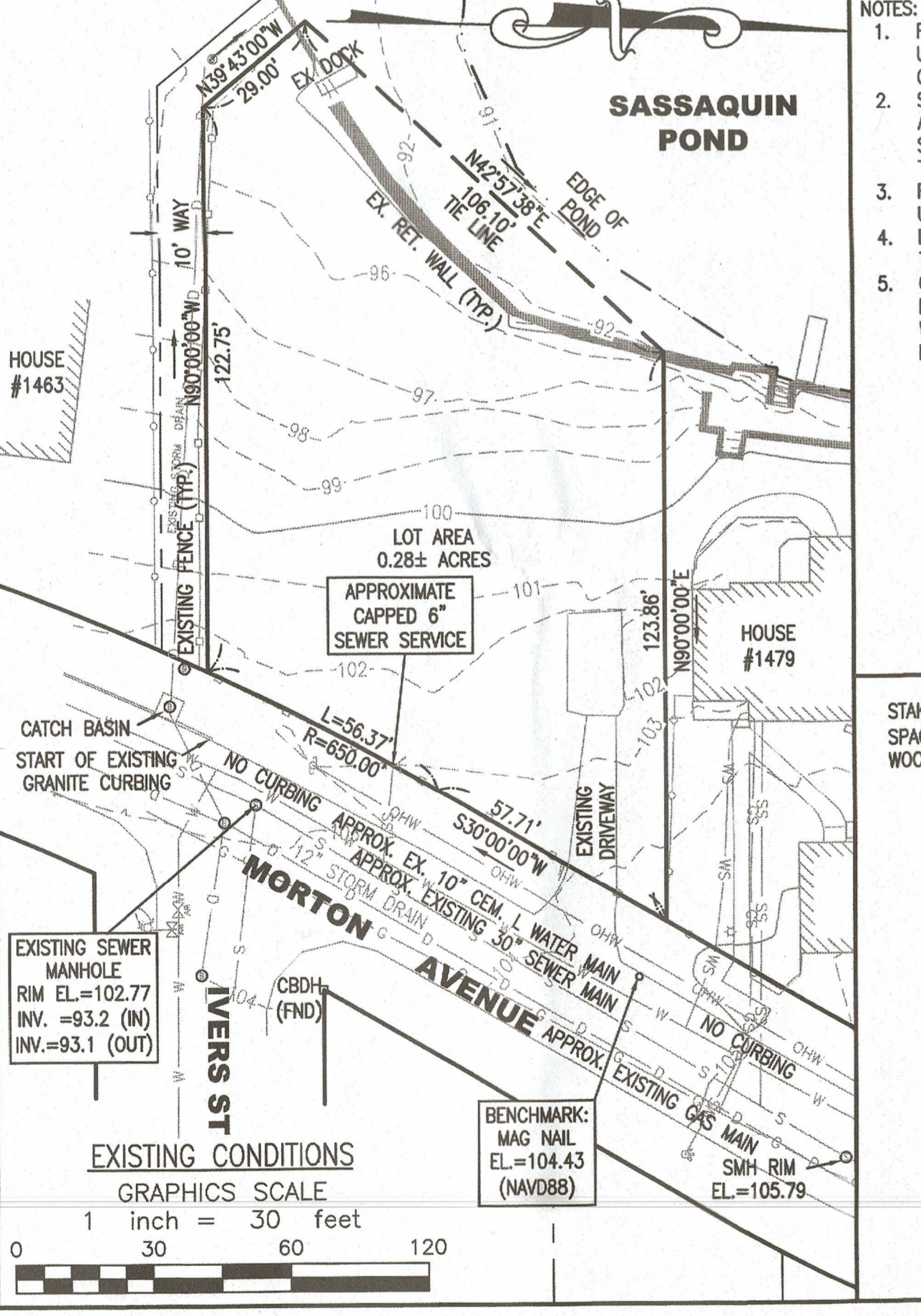
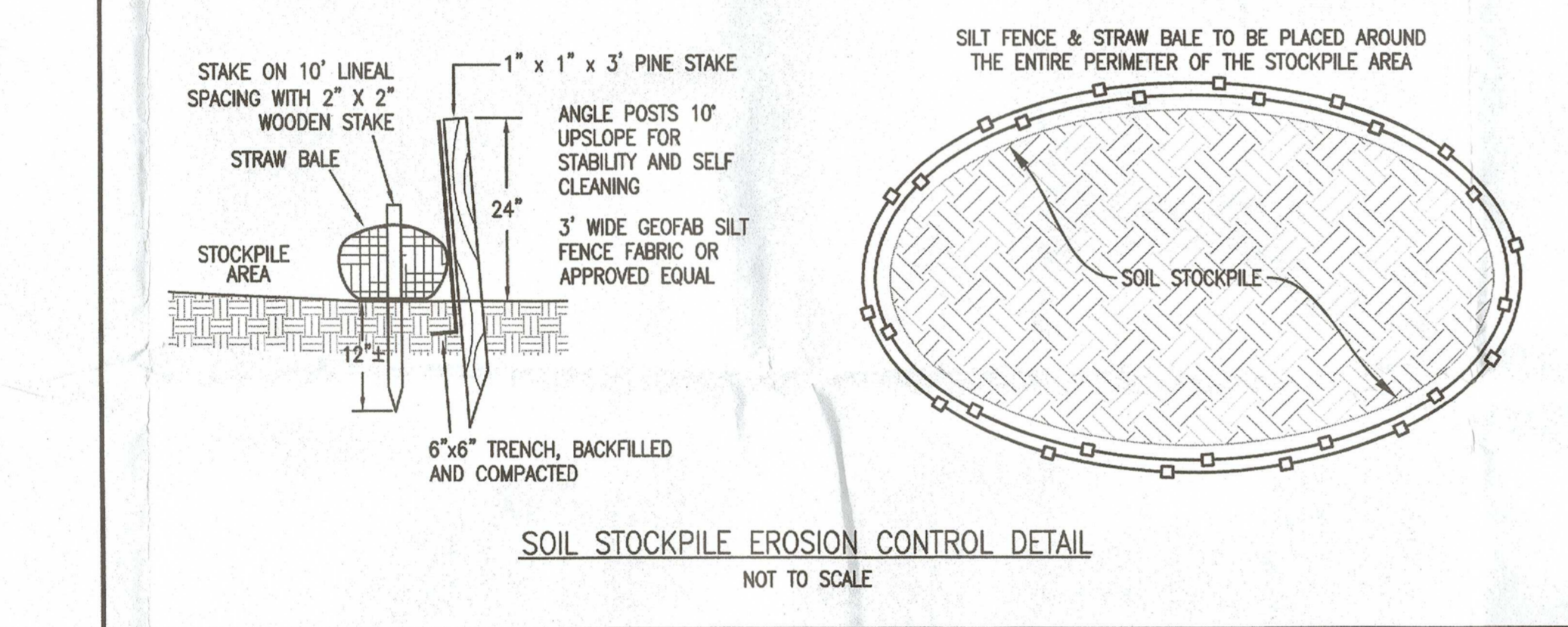
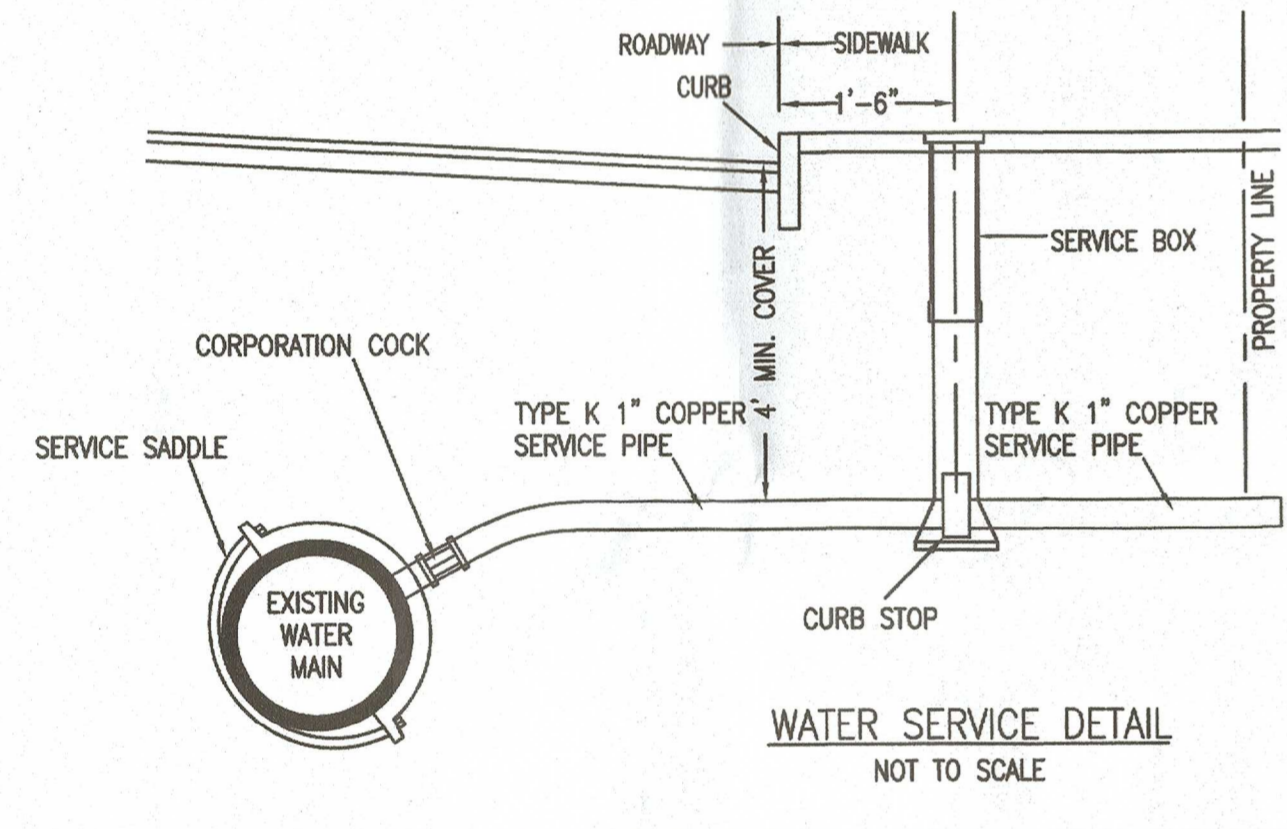
PROPOSED ROOF AREA = 2142 SF
DESIGN FOR A 1" STORM EVENT
UNIT TYPE: CULTURED 1000D
VOLUME OF EACH 1000D UNIT = 14.00 CF / UNIT (NO STONE)

2142 SF X (1" / 12") PER FOOT = 178.5 CF (VOLUME REQUIRED)
TRY 4 CULTURED 1000D UNITS IN A STONE BED
TOTAL VOLUME FROM UNITS(S): 2 UNITS X 14.00 CF / UNIT = 28 CF

STONE BED = 9' X 11' X 24.5" = 202 CF
TOTAL VOLUME STONE BED = STONE BED - UNITS VOLUME
VOLUME = 202 CF - 28 CF = 174 CF

USING A 40% VOID RATIO IN CRUSHED STONE
174 CF X 0.4 = 69.6 CF

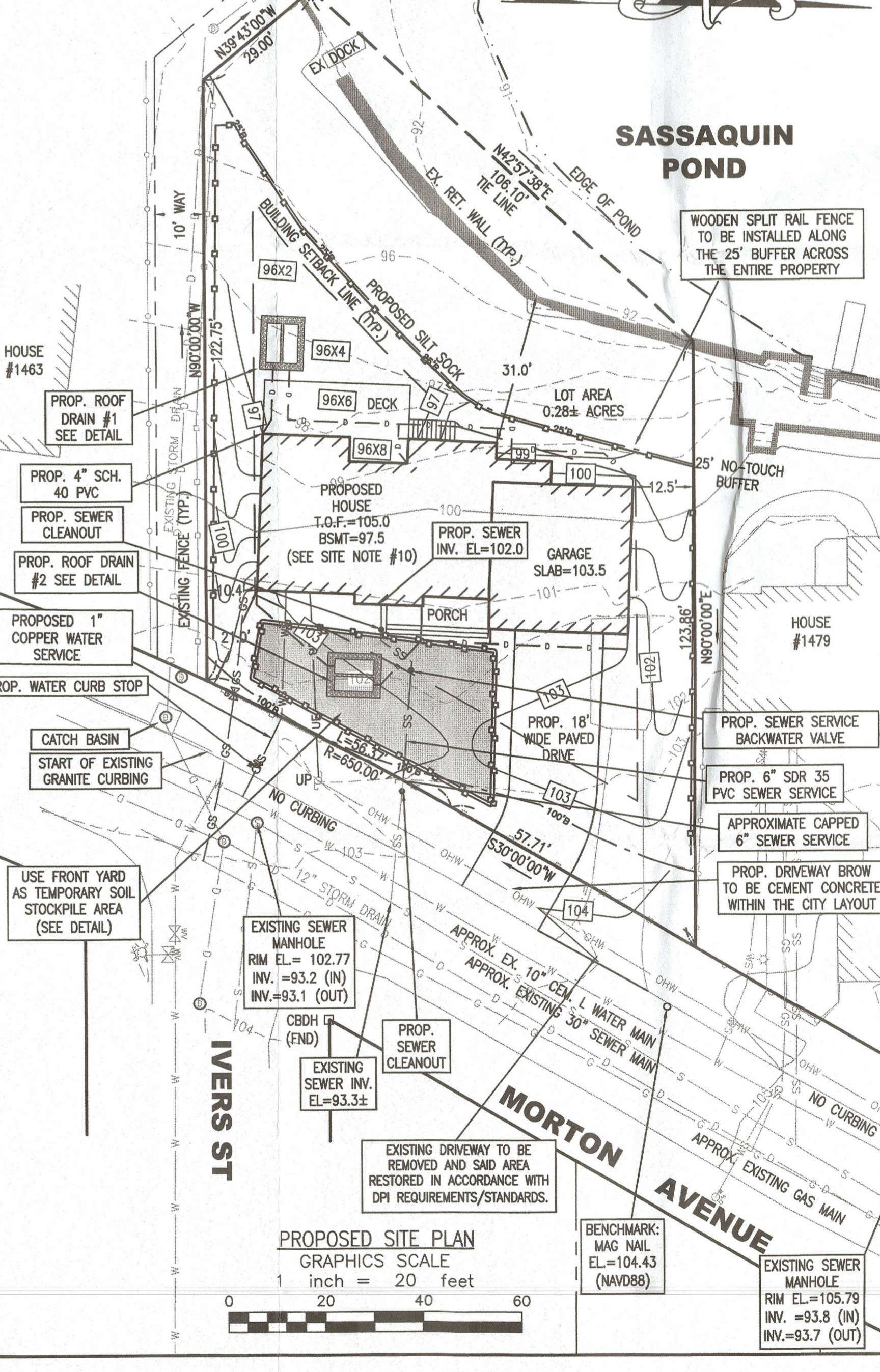
TOTAL STORAGE VOLUME PROVIDED =
EACH BED 28 CF + 69.6 CF = 97.6 CF (VOLUME PROVIDED)
TWO (2) BEDS PROVIDED = 97.6 CF X 2 = 195.2 CF



ZONING INFORMATION	
DISTRICT RESIDENTIAL A	
LOT AREA	REQUIRED
LOT FRONTAGE	8,000 S.F.
MIN. FRONTYARD SETBACK	75 FEET**
MIN. SIDEYARD SETBACK	20 FEET
MIN. REARYARD SETBACK	12 & 18 FEET*
MAXIMUM BUILDING COVERAGE (%)	30 FEET
MINIMUM GREEN SPACE COVERAGE (%)	30%
	35%

* SIDE SETBACK MUST BE 10' ON ONE SIDE AND 12' ON THE OTHER SIDE

EXISTING		DESCRIPTION	PROPOSED	
		BUILDING		
		CONTOUR		
		SILT SOCK		
		CHAINLINK FENCE		
		STOCKADE FENCE		
		DRAIN MANHOLE		
		GAS MAIN		
		GAS SERVICE		
		GAS GATE/VALVE		
		OVERHEAD WIRES		
		UNDERGROUND ELECTRIC		
		UTILITY POLE		
		LIGHT POLE		
		GRAVITY SEWER MAIN		
		SEWER SERVICE		
		SEWER MANHOLE		
		WATER MAIN		
		WATER SERVICE		
		HYDRANT		
		WATER GATE/VALVE		
		WATER SHUTOFF		
		EDGE OF WATER		
		25' BUFFER		
		100' BUFFER		



SHEET NAME:	BUILDING PERMIT PLAN					
PROJECT SITE:	PARCEL 136A-796 (F/KIA #1475) MORTON AVENUE NEW BEDFORD, MASSACHUSETTS					
OWNER INFO:	MARC FREY 350 FAUNCE CORNER ROAD NORTH DARTMOUTH, MA 02747					
DRAWN BY:	DATE:	TEMP	REV.	DATE	DESCRIPTION	BY
DESIGNED BY:	PROJECT NUMBER	JLB	1	11/12/20	REV. HSE, BUFFER, GRADING	JLB
CHECKED BY:	136B-01-01	JLB	2	11/23/20	ADD SEWER, ROOF DRAIN	JLB
	0385-01-01	JLB	3	12/7/20	ADD DETAIL FOR SOIL STORAGE	JLB
		JLB	4	1/18/21	DPI COMMENTS, ADD EX. WATER	JLB
		JLB	5	2/17/21	DPI COMMENTS	JLB
		JLB	6	2/19/21	DPI COMMENT	JLB
APPROVED BY:	SHEET 1 OF 1	JR				

ZLS

COMMONWEALTH OF MASSACHUSETTS
COMMISSIONER OF REVENUE & TAXATION
JANUARY 1, 2021
NO. 41787
RECEIVED
STAMP

ZENITH LAND SURVEYORS, LLC
1162 ROCKDALE AVENUE NEW BEDFORD, MA 02740
PHONE: (508) 995-0100