

W-21-12
SERVICE 34121

Sewer # 24927

NEW BEDFORD WATER WORKS

APPLICATION FOR SERVICE AND METER

NEW BEDFORD

EX 4 22 2022

4. 22 2021

I HEREBY ACKNOWLEDGE the receipt of a copy of the Regulations prescribed in the Ordinance of the City, for the use of Water, and I request that the water may be furnished through a

1" inch copper meter at Farland Circle (NE-S)
P: 130 D L: 475 SX Phillips Rd.

at such rates as may from time to time be established by the City.

I hereby agree to pay promptly the bill for the Service pipe laid down for my premises, and to pay all dues for water, and I agree to conform to the said Regulations and to all provisions of the Water Ordinances, until written notice is given by me or my agent to cut off the supply.

Single Family

Paul Varg, 89 Howard Ave., New Bedford, MA

TELEPHONE 508-717-3479

Service laid

Farland CO

Size and kind of pipe

1" copper

From

Existing 8" DI water main on Farland Circle St.

Turned on

Meter Set

Reading

Location

Building rates

\$500.00

Paid

\$500 ✓

Cost of Service

Paid

100.27

31-727

E x E line Farland Circle West 408'

S x Hydrant 21'

W x E Line Farland Circle East 7'

S x N Line House 21'

N x S line House 17'

E x E Line House 33'

Main to property line 34'

Pipe inside propert 26'

9-24-21: New Service installed by Farland
Corp. Inspected by P. Reynolds

X Mark Pe
1.25.2022

tel

DISPLAY PERMIT IN A CONSPICUOUS PLACE ON THE PREMISES



Commonwealth of Massachusetts

City of New Bedford

133 William Street New Bedford, MA 02740

WATER SERVICE PERMIT



Date: 5/18/2021

No. W-21-12

Permit Fee: \$500.00

Service Location: WS- FARLAND CRC

Owner Name: VAZ CONSTRUCTIONS INC

Owner Phone #: (508) 717-3479

Type of Occupancy: Residential

Type of Work: Water - Domestic New 1"

Work Description: Water Service # 34121
Sewer #24927

P.130D L475
Farland Circle NES S x Phillips Rd
Single Family New Build
Existing 8" DI WATER main on farland circle
Expires 4-22-2022

Contractor

Name: FARLAND CORPORATION INC Certificate #: 47544 Type of Business : DPI - Other

Address: 21 VENTURA DRIVE City/Town/State: DARTMOUTH MA Phone #: (508) 717-

Type of Service Pipe Size Trench Length: 0.00

Fire Service _____

Domestic Service _____

Estimated consumption of water

Estimated average daily consumption 0.00 gallons

Cross Connection? No

Estimated maximum day consumption 0.00 gallons

Right of Way? No

Are lawn sprinklers and/or lawn irrigation proposed on site? No

Meter Impact? No

Estimated fire flows required for the project site: 0.00

Street Opening Permit Required? No

Does the project require a fire suppression system? No

Required minimum static pressure for the proposed project site 0.00

Call Phone: (781) 942-9077 For Inspection

DISPLAY PERMIT IN A CONSPICUOUS PLACE ON THE PREMISES



Commonwealth of Massachusetts

City of New Bedford

133 William Street New Bedford, MA 02740



WATER SERVICE PERMIT
GRANTED WITH THE USUAL CONDITIONS

Water

COMMISSIONER

Call Phone: (781) 942-9077 For Inspection



Commonwealth of Massachusetts

CITY OF NEW BEDFORD

City Hall, Room 308, 133 William Street New Bedford, MA 02740 (508) 979-1540



FOUNDATION PERMIT

4/21/2021

No. **B-21-83**

MSBC Sect. 111.8 - Any permit issued shall be deemed abandoned and invalid unless the work authorized by it shall have been commenced within six (6) months after its issuance.

FEE PAID \$100.00

This certifies that **Kevin W. Clapper**

owner/contractor has permission to:

WS- FARLAND CRC

on:

**130D
-475**

Foundations Only 1-2 Family - 100.00

Providing that the person accepting this permit shall in every respect conform to the terms of application therefore on file in this office; to the provisions of the statute of the Commonwealth and to the by-laws of the City of New Bedford relating to the inspection, erection, enlarging, altering, raising, moving, repairing, or tearing down of a building.

Permit is issued subject to the following special requirements: (Restrictions)



Wiring Inspector



Plumbing Inspector



Building Inspector

YOUR AREA INSPECTOR IS: **Thomas Welch**

Tel. (508) 979-1540 Between 8:00am - 9:00am

**NOTICE: NOTIFY INSPECTOR 48 HOURS IN
ADVANCE OF APPLYING SHEATHING OR LATHING**

OCCUPANCY PERMIT REQUIRED BEFORE OCCUPANCY

No Building or Structure shall be used or occupied until the Certificate of Use and Occupancy shall have been issued by the Building Commissioner - MSBC, Sect. 120.1

This Card Must Be Displayed in a Conspicuous Place on the Premises and Not Torn Down or Removed Until Completion of Work

SUBJECT TO MASSACHUSETTS
STATE BUILDING CODE

Danny D. Ronnowicz Jr

Plan Review Comments: :

: THIS FOUNDATION WILL REQUIRE AN ELECTRICAL PERMIT FOR A "UFER GROUND" CONCRETE ENCASED ELECTRODE FOR CONNECTION TO THE BUILDING GROUNDING ELECTRODE SYSTEM PER THE NATIONAL ELECTRICAL CODE ARTICLE 250.52(3).

: ASR-DPI Engrg.

RE: TB-21-83

Farland Circle (NE.S.) S. x Phillips Rd. (a/k/a Builder's Lot 6)

Plot 130D Lot 475

Reviewed 1/21/2021

PLEASE NOTE:

It is the responsibility of the applicant and the contractors to be familiar with DPI procedures/regulations and ascertain that all proposed work which falls under DPI jurisdiction, whether shown on the submitted site plan or not, is identified and executed in accordance with City of New Bedford DPI Construction Standards/Specifications. The Certificate of Occupancy (CO) will not be signed for any work performed that is non-compliant and/or if any of the following conditions are not met.

The following conditions are to be met by the applicant (being the owner and/or their representative) as part of this permit approval:

1.) The site plan submitted in View Permit, titled: "Site Plan, Farland Circle, Assessors Map 130D Lot 475, New Bedford, Massachusetts", having a date of 8/17/2020 (last revised 1/5/2021), as prepared by Farland Corp. and stamped/signed by Christian A. Farland, P.E. (Civil), is approved for obtaining DPI permits, with the following comments:

- a. The placement of the proposed subsurface roof recharge unit at the rear right corner of the new dwelling was noted to be in close proximity to the wetlands, however, the engineer has stamped this plan certifying that the system will function as proposed.
- b. Approximately half of the proposed piping and overflow for the proposed subsurface roof recharge unit is shown running under a proposed deck that is practically flush with the ground, and it is highly suggested that accessibility issues be taken into consideration.

2.) Must provide 1 stamped/signed copies of the "final" site plan approved by DPI for each of the permits being sought (i.e. water, sewer/drain and sidewalk/driveway permits) for the proposed structure. In addition, a copy of the foundation permit and of the stamped/signed foundation as-built plan must also be submitted.

Please Note: Any representative pulling permits on behalf of the owner must provide DPI with a permission slip. If the property was acquired within the past 6 months, then a copy of the recorded deed showing property ownership must also be provided.

3.) The site plan submitted indicates that there may be a sump pump tie-in at this location. The recharge system calculations must incorporate sump pump discharge, and the conditions stipulated by the City Engineer regarding sump pump installations will apply, as follows:

- a. The sump pump tie in will require a letter stamped and signed by a registered professional engineer in the Commonwealth of Massachusetts along with the supporting calculations and plans stamped and signed by the same engineer documenting the design and standards. These documents are needed before DPI signs off on the CO.
- b. A concrete lip should be constructed around the sump pump and pit (6-in high) so that if there is a spill in the basement, it cannot flow into the pit and be pumped to the infiltrator unit thereby contaminated the groundwater and site. This needs to be inspected and signed off by our inspector prior to signing of the CO.
- c. A release of liability form will need to be signed by the homeowner documenting that if he/she is identified as dumping pollutants into the pit and causes contamination of the site they are the responsible party for all cleanup and the City is not responsible. This is not needed by the CO but will be needed 30 days following execution of any property ownership documents.

4.) Compliance with the City of New Bedford Stormwater Rules & Regulations/Ordinances is required for all project sites, regardless of size. All sites must implement sediment and erosion control measures and will be subject to the required construction site and sediment control inspections.

5.) The parcel must be developed in accordance with the conditions set forth in the approved Subdivision Plans.

6.) Must contact DPI-Engineering to measure for an address number once the front door is framed. The CO will not be signed unless the legal address issued by the City is permanently affixed to, above, or next to, the main door entrance to which it was assigned such that it is highly visible from the street.

Please be advised that any and all future modifications to the site plan that was reviewed/approved for the above project and placed on file at DPI as the "final" site plan for permitting must be resubmitted for review/approval if said changes entail work that falls under the jurisdiction of DPI.

: ASR-DPI Engrg.

RE: TB-21-83

Farland Circle (NE.S.) S. x Phillips Rd. (a/k/a Builder's Lot 6)

Plot 130D Lot 475

Reviewed 3/19/2021

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1.) The site plan submitted in View Permit, titled: "Site Plan, Farland Circle, Assessors Map 130D Lot 475, New Bedford, Massachusetts", having a date of 8/17/2020 (last revised 2/4/2021), as prepared by Farland Corp. and stamped/signed by Christian A. Farland, P.E. (Civil), is approved for obtaining DPI permits, with the following comments:

a. The placement of the proposed subsurface roof recharge unit at the rear right corner of the new dwelling was noted to be in close proximity to the wetlands, however, the engineer has stamped this plan certifying that the system will function as proposed.

2.) Must provide 1 stamped/signed copy of the "final" site plan approved by DPI for each of the permits being sought (i.e. water, sewer/drain and sidewalk/driveway permits) for the proposed structure. In addition, a copy of the foundation permit (reflecting a new date, since the one issued 2/5/21 by I.S. was reverted) and of the stamped/signed foundation as-built plan must also be submitted.

Please Note: Any representative pulling permits on behalf of the owner must provide DPI with a permission slip. If the property was acquired within the past 6 months, then a copy of the recorded deed showing property ownership must also be provided.

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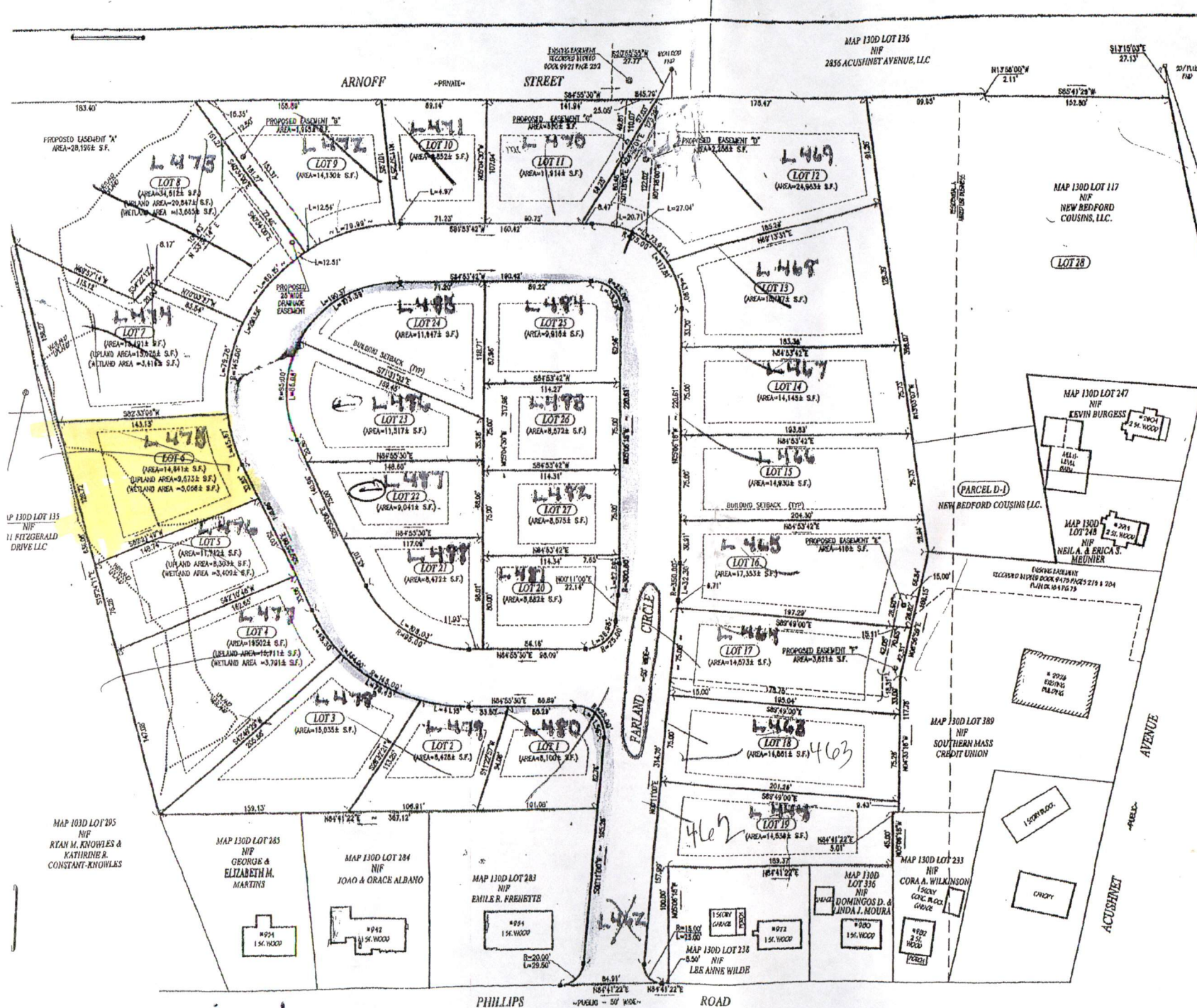
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- : 1. Sewer service to be 10 ft away from water service.
- 2. Water service to be perpendicular (90 degrees) from main to property line
- 3. Water curb stop (shut -off) to be 1.5ft from face of curb/pavement.
- 4. Install water meter at point of entry to building
- 5. Owner to apply for water and sewer permits.

: FOUNDATION FOR NEW SINGLE-FAMILY DWELLING
with a 5'x5' front porch with no roof



SEE LEFT
SIDE OF
SHEET.

FOR REGISTRY USE ONLY:

I CERTIFY THAT THIS PLAN COMPLIES WITH THE RULES AND REGULATION OF THE REGISTRY OF DEEDS.



BRIAN J. MURPHY, P.L.S. #38387

NEW BEDFORD PLANNING BOARD APPROVAL IS REQUIRED UNDER THE SUBDIVISION CONTROL LAW.

DATE APPROVED: 2/14/2019
DATE ENDORSED: 7/11/2018

I CERTIFY THAT 20 DAYS HAVE PASSED SINCE PLANNING BOARD APPROVAL AND NO APPEAL HAS BEEN FILED IN THIS OFFICE.

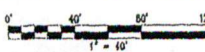
DATE: 8/2/18
CITY CLERK OF NEW BEDFORD

RECORD OWNER:
ASSESSORS MAP 1300
LOTS 388-408 & 412-419
WHI, LLC
401 COUNTY STREET
NEW BEDFORD, MA 02740
BOOK 12304 PAGE 200

- NOTES:
1. SURVEY PERFORMED BY FARLAND CORP. IN NOVEMBER, 2017.
 2. ZONING DISTRICT: RESIDENTIAL "A" & MIXED USE BUSINESS.
 3. THIS PLAN MODIFIES AN UNRECORDED DEFINITIVE SUBDIVISION PLAN OF "STONEY BROOK FARM" PREVIOUSLY APPROVED BY NEW BEDFORD PLANNING BOARD ON JULY 12, 2017.
 4. WETLAND DELINEATION FROM RECORD PLAN OF "STONEY BROOK FARM".

— ZONING DATA —
DISTRICT: RESIDENTIAL A

DESCRIPTION	REQUIRED
LOT AREA	8,000 S.F.
LOT FRONTAGE	75 FT
FRONT SETBACK	20 FT
SIDE SETBACK	10/12 FT
REAR SETBACK	30 FT
BUILDING COVERAGE (MAXIMUM)	40 %



INDICATES GRANITE BOUND W/ DRILL HOLE TO BE SET



CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)

1/4/2021

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER Partners Insurance Group, LLC 560 Wilbur Avenue Swansea MA 02777		CONTACT NAME: Maria Arruda PHONE (A/C, No, Ext): 508-491-3176 FAX (A/C, No): 508-491-3108 E-MAIL ADDRESS: MArruda@partnersinsgrpllc.com		
INSURED Farland Corp. Inc. Christian Farland 21 Ventura Drive Dartmouth MA 02747		INSURER(S) AFFORDING COVERAGE		NAIC #
		INSURER A: TRAVELERS INSURANCE COMPANY		25682
		INSURER B: Lloyd's of London		
		INSURER C: The Ohio Casualty Insurance Company		24074
		INSURER D:		
INSURER E:				
INSURER F:				

COVERAGES

CERTIFICATE NUMBER: 742301561

REVISION NUMBER:

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSR	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input checked="" type="checkbox"/> PROJECT <input type="checkbox"/> LOC	Y		4T-CO-6G656644-TCT-21	1/1/2021	1/1/2022	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 300,000 MED EXP (Any one person) \$ 10,000 PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMP/OP AGG \$ 2,000,000
A	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input checked="" type="checkbox"/> HIRED AUTOS <input checked="" type="checkbox"/> SCHEDULED AUTOS <input checked="" type="checkbox"/> NON-OWNED AUTOS			810-0P185896-21-2S-G	1/1/2021	1/1/2022	COMBINED SINGLE LIMIT (Ea accident) \$ 1,000,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$ Included \$
	UMBRELLA LIAB <input type="checkbox"/> EXCESS LIAB <input type="checkbox"/> DED <input type="checkbox"/> RETENTION \$						EACH OCCURRENCE \$ AGGREGATE \$ \$
A	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below	Y/N <input checked="" type="checkbox"/> N	N/A	UB-9J635485	1/1/2021	1/1/2022	<input checked="" type="checkbox"/> WC STATUTORY LIMITS E.L. EACH ACCIDENT \$ 1,000,000 E.L. DISEASE - EA EMPLOYEE \$ 1,000,000 E.L. DISEASE - POLICY LIMIT \$ 1,000,000
C B A	Equipment Floater Professional BPP			BMO57097682 HSAEC190032 4T-CO-6G656644-TCT-21	1/1/2021 1/1/2021 1/1/2021	1/1/2022 1/1/2022 1/1/2022	Equipment 842,950 Prof/Per Cl & Aggreg 1,000,000 BPP 100,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (Attach ACORD 101, Additional Remarks Schedule, if more space is required)
CITY OF NEW BEDFORD AS ADDITIONAL INSURED-XCU COVERAGE INCLUDED

CERTIFICATE HOLDER**CANCELLATION**

City of New Bedford
133 Williams St.
New Bedford MA 2740

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.

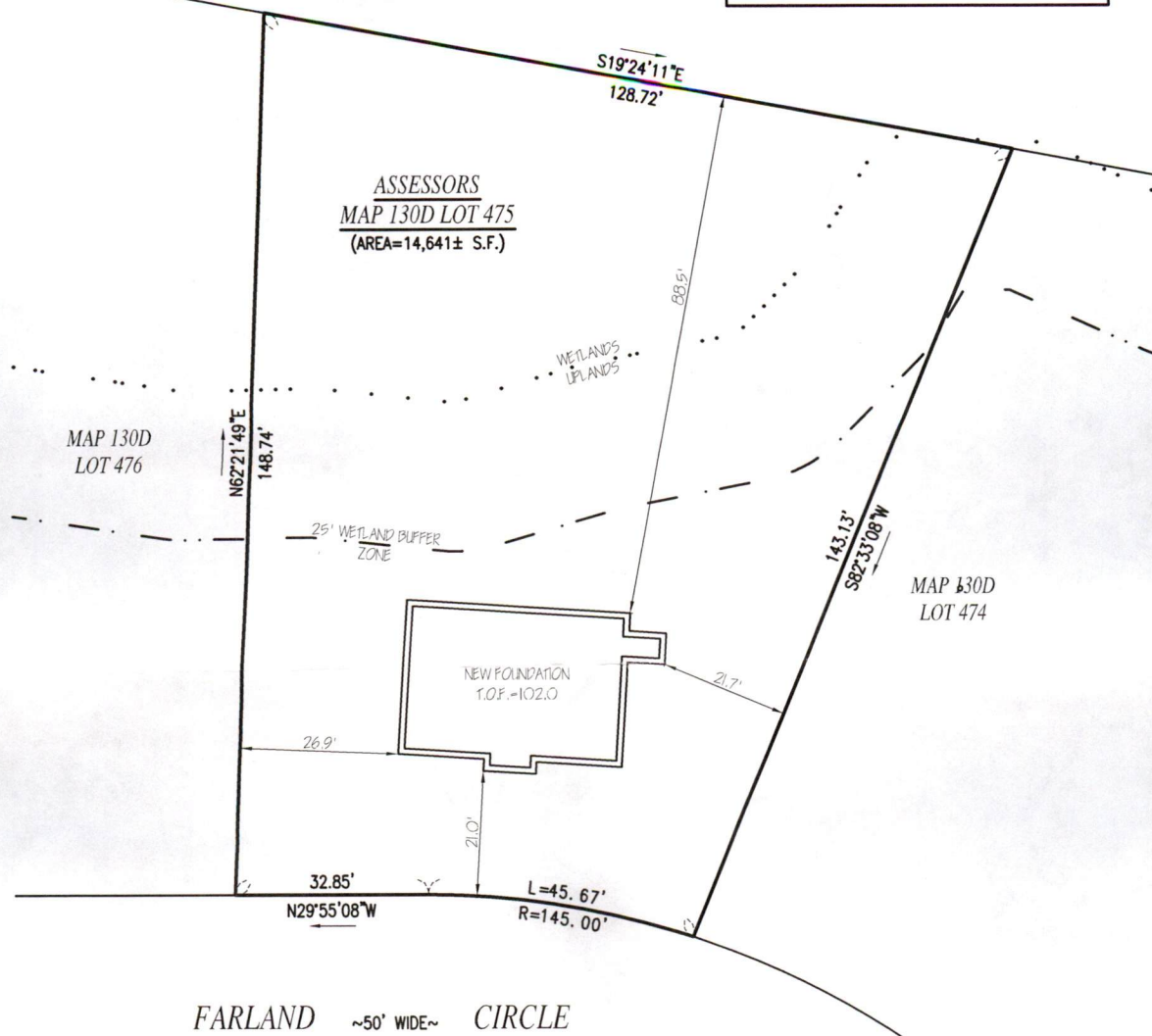
AUTHORIZED REPRESENTATIVE

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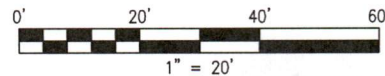


MAP 130D LOT 295
N/F
RYAN M KNOWLES &
KATHERINE R.
CONSTANT-KNOWLES

- ZONING DATA -	
DISTRICT:	RA - RESIDENTIAL A
DESCRIPTION	REQUIRED
FRONT SETBACK	20 FT
SIDE SETBACK	10/12 FT
REAR SETBACK	30 FT



NOTE:
AS-BUILT SURVEY PERFORMED BY FARLAND CORP IN MARCH 2021
COPYRIGHT © 2020 FARLAND CORP. ALL RIGHTS RESERVED.
NO PART OF THIS DOCUMENT MAY BE REPRODUCED, STORED IN A RETRIEVAL SYSTEM, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC,
MECHANICAL, PHOTOCOPYING, RECORDING OR OTHERWISE, WITHOUT THE EXPRESS WRITTEN CONSENT OF FARLAND CORP.
ANY MODIFICATIONS MADE TO THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF FARLAND CORP. SHALL RENDER IT INVALID AND UNUSABLE.



FOUNDATION AS-BUILT
LOT 6 FARLAND CIRCLE
ASSESSORS MAP 130D LOT 475
NEW BEDFORD, MASSACHUSETTS



www.FarlandCorp.com
21 VENTURA DRIVE
DARTMOUTH, MA 02747
P.508.717.3479
• ENGINEERING
• SITEWORK
• LAND SURVEYING
• DEVELOPMENT

PREPARED FOR:
VAZ CONSTRUCTION
51 BRIGHAM STREET
NEW BEDFORD, MA 02740



SCALE: 1"=20'
MARCH 8, 2021
DRAWN BY: AJR
JOB NO: 20-421

SERVICE 34121
Sewer # 24927

NEW BEDFORD WATER WORKS
APPLICATION FOR SERVICE AND METER
NEW BEDFORD 4 22 2021

I HEREBY ACKNOWLEDGE the receipt of a copy of the Regulations prescribed in the Ordinance of the City, for the use of Water, and I request that the water may be furnished through a

1" inch COPPER
P. 130 D L 475

meter at

Farland Circle (NE-S)
5x Phillips Rd

at such rates as may from time to time be established by the City.

I hereby agree to pay promptly the bill for the Service pipe laid down for my premises, and to pay all dues for water, and I agree to conform to the said Regulations and to all provisions of the Water Ordinances, until written notice is given by me or my agent to cut off the supply.

Single Family

Paul Vay, 89 Howard Ave, New Bedford, MA

* Mike Atherton

TELEPHONE 508 717 3479

Service laid

Farland CO

Size and kind of pipe

1" COPPER

From

EXISTING 8" DI Water Main on Farland Circle

Turned on

Meter Set

Reading

Location

Building rates

\$ 500.00

Paid

4

Cost of Service

500.00

Paid

\$500

V# 10027

31-727

NOT VALID UNTIL SIGNED BY DPT



Department of Public Infrastructure

Jamie Ponte
Commissioner

CITY OF NEW BEDFORD

Jonathan F. Mitchell, Mayor

Water
Wastewater
Highways
Engineering
Cemeteries
Park Maintenance
Forestry
Energy

To Whom It May Concern:

I Paul Vaz 89 Howard Ave, New Bedford, being
(Name) (Mailing Address)

Owner of property located at

Plot 130D, Lot 475, hereby agree to allow Farland Corp
(Name)

21 Ventura Drive, Dartmouth to act on my behalf including affixing my
(Mailing Address)

signature in securing permit for:

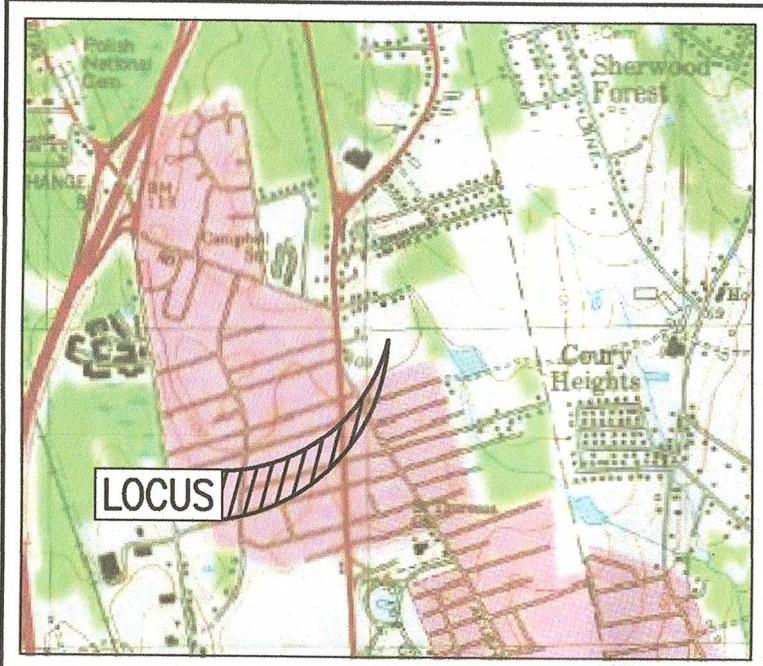
☒ Sewer/Drain Service Permits
☒ Water Service Permits
☒ Driveway Installation Permits
☒ Sidewalk Installation Permits

I further agree to conform to, and abide by, All City rules and ask regulations applicable to the permit (s) being applied for:

Name Paul Vaz
Signature

89 Howard Ave, New Bedford
Address

12-24-20 Date Telephone Number



LOCUS MAP SCALE: 1"=2,000'±

SUBSURFACE ROOF RECHARGE UNIT SIZING CALCULATIONS:

INFLOW AREA = 734 SF, 100.00% IMPERVIOUS, INFLOW DEPTH = 6.76" FOR 100-YEAR STORM EVENT
INFLOW = 0.11 CFS @ 12.00 HRS, VOLUME = 414 CF
OUTFLOW = 0.01 CFS @ 11.55 HRS, VOLUME = 414 CF, ATTN = 89%, LAG = 0.0 MIN
DISCARDED = 0.01 CFS @ 11.55 HRS, VOLUME = 414 CF

ROUTING BY STOR-IND METHOD, TIME SPAN = 0.00-30.00 HRS, DT = 0.05 HRS
PEAK ELEV = 93.83' @ 12.73 HRS SURF AREA = 66 SF REQUIRED STORAGE = 130 CF

VOLUME INVERT AVAILABLE STORAGE STORAGE DESCRIPTION
#1 90.46' 69 CF 6.33'W X 10.50'L X 3.54'H PRISMATOID X 1
#2 90.96' 63 CF 47.8'W X 30.0'H X 7.00'L PARABOLIC ARCH X 1 INSIDE #1
#3 93.00' 1 CF 0.33'D X 10.0'H VERTICAL CONE/CYLINDER-IMPERVIOUS
TOTAL AVAILABLE STORAGE = 133 CF >>> 130 CF

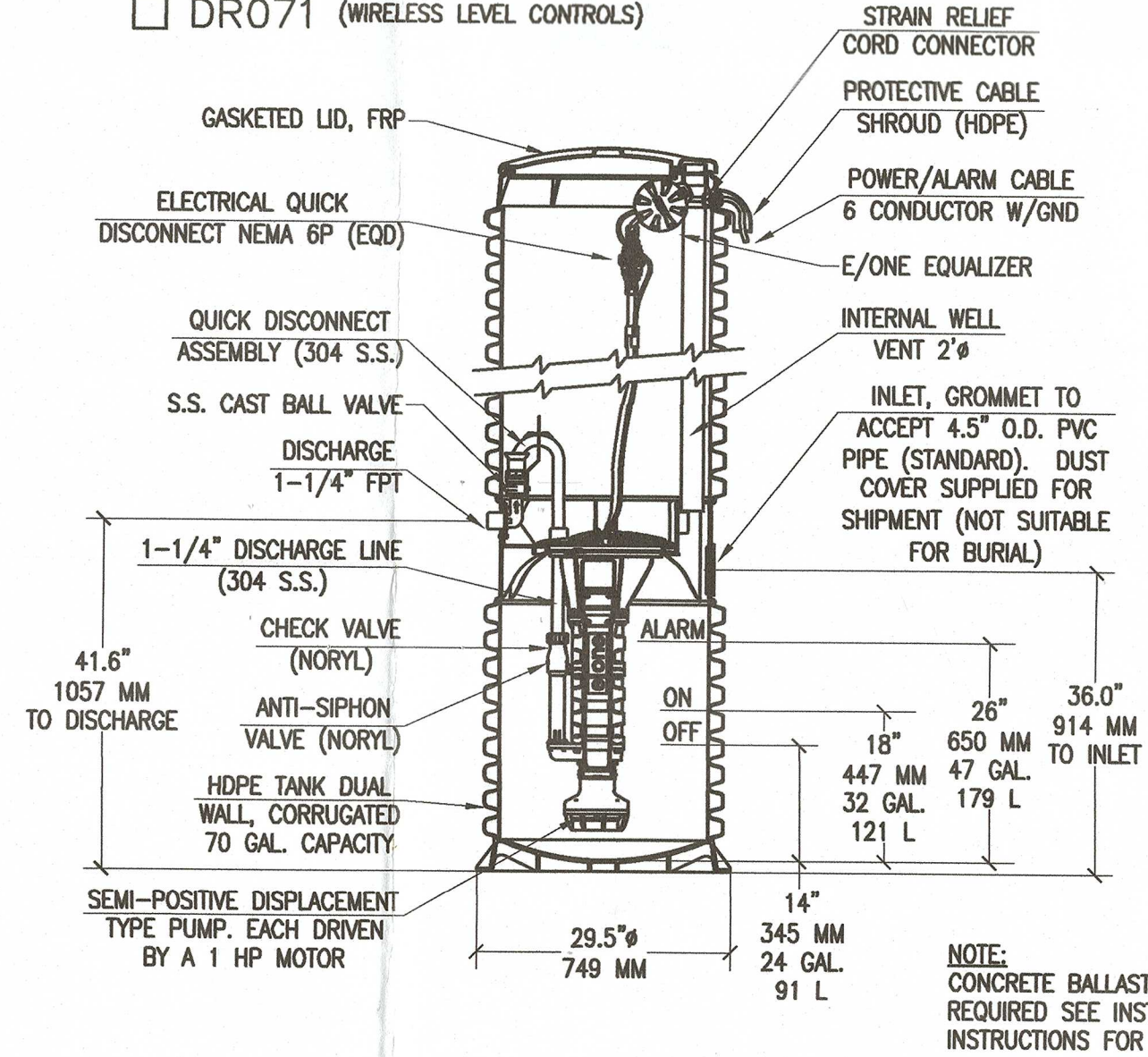
MAP 130D LOT 295
NIF
RYAN KNOWLES

ASSESSORS-
MAP 130D LOT 475
(AREA=14,841± S.F.)
(UPLAND AREA=9,573± S.F.)
(WETLAND=5,068± S.F.)

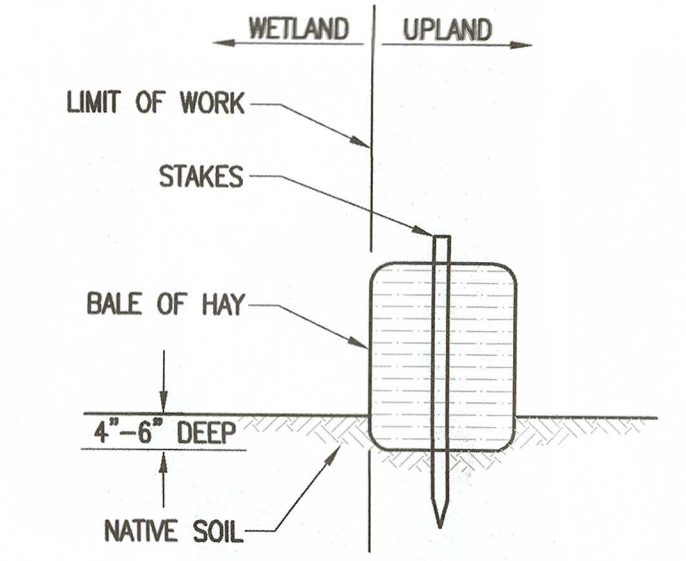
PREVIOUSLY APPROVED FILLED IN
WETLAND AREA (SE49-0736)

MAP 130D
LOT 476
NIF
VAZ
CONST. LLC

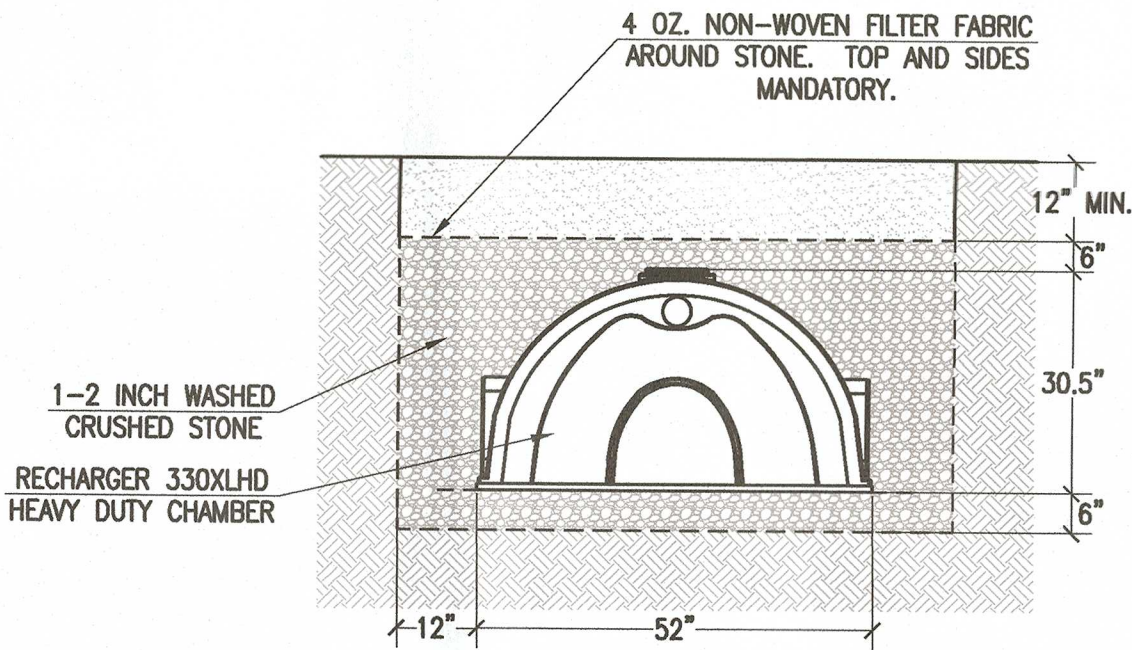
OPTIONS: ☐ DH071 (HARD WIRED LEVEL CONTROLS)
☐ DR071 (WIRELESS LEVEL CONTROLS)



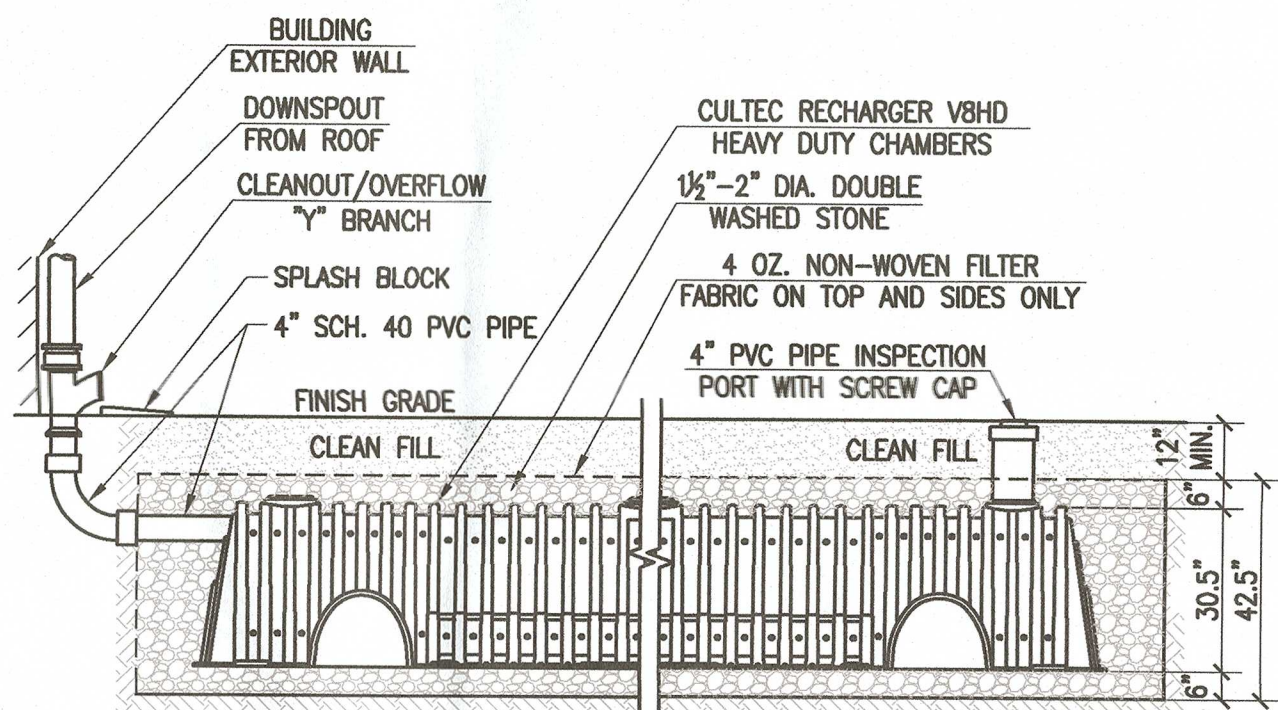
E-ONE GRINDER PUMP
NOT TO SCALE



STAKED HAY BALES
NOT TO SCALE



CULTREC RECHARGER 330XLHD STANDARD CROSS SECTION
NOT TO SCALE



ROOF RECHARGE SYSTEM
NOT TO SCALE

RECORD OWNER:
ASSESSORS MAP 130D LOT 475
VAZ CONSTRUCTION
51 BRIGHAM STREET
NEW BEDFORD, MA 02740
DEED BOOK 13376 PAGE 91

- NOTES:**
1. TOPOGRAPHIC AND PROPERTY LINE SURVEY PERFORMED BY FARLAND CORP. IN NOVEMBER OF 2017.
 2. PORTION OF DRIVEWAY BETWEEN EDGE OF ROADWAY AND PROPERTY LINE SHALL BE CONCRETE.
 3. WETLAND RESOURCES AREA DELINEATED BY JOHN ZIMMER, P.W.S. IN NOVEMBER OF 2015 AS SHOWN ON PLAN ENTITLED "DEFINITIVE SUBDIVISION PLANS - STONEY BROOK FARM" DATED MAY 11, 2017 BY CAVANARO CONSULTING.
 4. A SIGN STATING PROTECTED CONSERVATION AREA EXISTS BEYOND THE STONEWALL AND IS TO REMAIN UNDISTURBED PER ORDER OF THE NEW BEDFORD CONSERVATION COMMISSION SHALL BE PLACED ON THE STONEWALL, FENCING, OR ARBORVITAE.
 5. STONEWALL, FENCING OR ROW OF ARBORVITAE SHALL BE PLACED AT THE LIMIT OF WORK. IF RELOCATED STONEWALLS ARE USED THEY SHOULD BE A MINIMUM 3'-4" TALL.
 6. ROOF RECHARGE SYSTEMS HAVE BEEN OVER DESIGNED TO WITHSTAND THE 100-YEAR STORM EVENT AND THE TIE-IN OF A SUMP PUMP SYSTEM, IF NECESSARY.
 7. IF SUMP PUMP IS INSTALLED, A CONCRETE LIP MUST BE INSTALLED AROUND THE SUMP PUMP.

REVISIONS

NO.	DATE	REVISION
1	10/5/20	CONSERVATION COMMENTS
2	12/21/20	PLAN UPDATED
3	1/5/21	REVISED GRADING
4	2/4/21	CLIENT REQUEST



401 COUNTY STREET
NEW BEDFORD, MA 02740
P.508.717.3479
OFFICES IN:
•TAUNTON
•MARLBOROUGH
•WARWICK, RI

DRAWN BY: JT
DESIGNED BY: JT
CHECKED BY: CAF

SITE PLAN
— FARLAND CIRCLE —
ASSESSORS MAP 130D LOT 475
NEW BEDFORD, MASSACHUSETTS

PREPARED FOR:
VAZ CONSTRUCTION
51 BRIGHAM STREET
NEW BEDFORD, MA 02740

AUGUST 17, 2020

SCALE: 1"=10'

JOB NO. 20-421.06

LATEST REVISION:
FEBRUARY 4, 2021

SHEET 1 OF 1