

W-21-8
SERVICE 34120
Sewer 24924

NEW BEDFORD WATER WORKS
APPLICATION FOR SERVICE AND METER
NEW BEDFORD 03-12-2021 / 03-12-2022

I HEREBY ACKNOWLEDGE the receipt of a copy of the Regulations prescribed in the Ordinance of the City, for the use of Water, and I request that the water may be furnished through a

1 inch Copper meter at Farland Circle (WS) S x Phillips Rd
P130D-465

at such rates as may from time to time be established by the City.

I hereby agree to pay promptly the bill for the Service pipe laid down for my premises, and to pay all dues for water, and I agree to conform to the said Regulations and to all provisions of the Water Ordinances, until written notice is given by me or my agent to cut off the supply.

single family

*TD Design + Development Corp. 405 Backdale Ave

* see attached

508-991-0170
TELEPHONE 744-430-7387

Service laid

JLC Jives

Size and kind of pipe

1" Copper

From

Existing 8" DI water main on Farland Circle

Turned on

Meter Set

Reading

Location

Building rates

Paid

Cost of Service

\$500.00

Paid

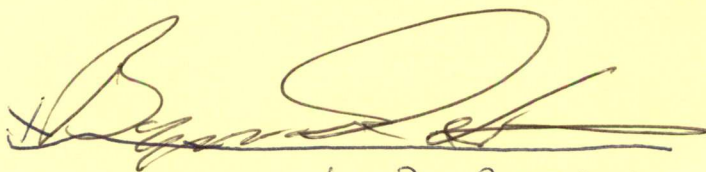
3/3/2021 check 1009

31-727

1" COPPER SERVICE

S x S Line Farland Circle	North 54.0'
E x W Line Farland Circle	7.5'
S x N Line House	6.0'
N x S Line House	45.0'
E x E Line House	40.0
Main to property line	14.0'
Pipe inside property	35.0'

12/8/2021: Contractor: Jives
Inspector P. Reynolds new service installed



6-2-2022

DISPLAY PERMIT IN A CONSPICUOUS PLACE ON THE PREMISES



Commonwealth of Massachusetts

City of New Bedford

133 William Street New Bedford, MA 02740

WATER SERVICE PERMIT



Date: 3/17/2021

No. **W-21-8**

Permit Fee: \$500.00

Service Location: WS- FARLAND CRC

Owner Name: ALVES NANCY "TRS"ALVES

Owner Phone #: (508) 971-0170

Type of Occupancy: Residential

Type of Work: Water - Domestic New 1"

Work Description: Water service # 34120
P. 130D - 465
1' copper

Farland Circle Ws S x Phillips Rd

Single Family
sewer #24924

Existing 8" DI water main on Farland Circle

Contractor

Name: DEMETRI COSTA Certificate #: 076355 Type of Business : Hoisting

Address: 415 LAKE RD City/Town/State: TIVERTON RI Phone #: (508) 326-

Type of Service Pipe Size Trench Length: 0.00

Fire Service

Domestic Service

Estimated consumption of water

Estimated average daily consumption 0.00 gallons

Cross Connection? No

Estimated maximum day consumption 0.00 gallons

Right of Way? No

Are lawn sprinklers and/or lawn irrigation proposed on site? No

Meter Impact? No

Estimated fire flows required for the project site: 0.00

Street Opening Permit Required? No

Does the project require a fire suppression system? No

Call Phone: (781) 942-9077 For Inspection

DISPLAY PERMIT IN A CONSPICUOUS PLACE ON THE PREMISES



Commonwealth of Massachusetts

City of New Bedford

133 William Street New Bedford, MA 02740

WATER SERVICE PERMIT



Required minimum static pressure for the proposed project site 0.00

GRANTED WITH THE USUAL CONDITIONS

Water

COMMISSIONER

Call Phone: (781) 942-9077 For Inspection

Amanda Jupin

From: Antonio DaSilva <tdesign.development@gmail.com>
Sent: Tuesday, March 9, 2021 10:02 AM
To: Amanda Jupin
Subject: [EXTERNAL] Lot 465 Farland Circle - New Bedford, MA (Requested Info)

Per our phone conversation this morning, the following is the requested information needed for the Water, Sewer & Driveway Permits for Lot 465 Farland Circle:

Owner: Nancy Alves
Address: 1104 Tacoma Street, New Bedford, MA 02745
Telephone: 774-930-7387

For the Water and Sewer Permit, the bonded contractor at this time is JLC Construction.

For the Driveway Permit, the bonded contractor is unknown at this time.

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If you have any questions or need additional information, please feel free to call, text or email.

Thank You,


Antonio DaSilva
President / Construction Consultant

TD Design and Development Corp.
Mobile: 508-971-0170
Email: tdesign.development@gmail.com

Acting Agent Authorization Form

March 3, 2021

I, Nancy Alves, owner of property in Bristol County, located at Map 130D Lot 465 (Lot 16 Farland Circle) in New Bedford, Massachusetts, give authorization to TD Design and Development Corp (Representative: Antonio DaSilva) to act as my agent for the above-mentioned property. This authorization is for the permitting of the water, sewer and driveway with the Department of Public Infrastructure in New Bedford, Massachusetts.



(Property Owner Signature)

Nancy Alves

(Print Name)

TD DESIGN AND DEVELOPMENT CORP
403 ROCKDALE AVE
NEW BEDFORD, MA 02740

1009

53-7064/2113
13

3/3/2021

Date

CHECK ARMOR
FRAUD PROTECTION

Pay to the
Order of

CITY OF NEW BEDFORD | \$500.00

FIVE HUNDRED 00/100 Dollars



Photo
Safe
Deposit®
Details on back

Bank 5

WATER PERMIT
For LOT 465 FARLAND CIRCLE

MP

⑆211370642⑆902402552⑆

1009



Commonwealth of Massachusetts

CITY OF NEW BEDFORD

City Hall, Room 308, 133 William Street New Bedford, MA 02740 (508) 979-1540



FOUNDATION PERMIT

12/3/2020

No. B-20-3194

MSBC Sect. 111.8 - Any permit issued shall be deemed abandoned and invalid unless the work authorized by it shall have been commenced within six (6) months after its issuance.

FEE PAID \$100.00

This certifies that Antonio DaSilva

owner/contractor has permission to:

WS-

STONE BROOK LN

on:

130D

-465

Foundations Only 1-2 Family - 100.00

Providing that the person accepting this permit shall in every respect conform to the terms of application therefore on file in this office; to the provisions of the statute of the Commonwealth and to the by-laws of the City of New Bedford relating to the inspection, erection, enlarging, altering, raising, moving, repairing, or tearing down of a building.

Permit is issued subject to the following special requirements: (Restrictions)



Wiring Inspector



Plumbing Inspector



Building Inspector

YOUR AREA INSPECTOR IS: Thomas Welch

Tel. (508) 979-1540 Between 8:00am - 9:00am

NOTICE: NOTIFY INSPECTOR 48 HOURS IN
ADVANCE OF APPLYING SHEATHING OR LATHING

OCCUPANCY PERMIT REQUIRED BEFORE OCCUPANCY

No Building or Structure shall be used or occupied until the Certificate of Use and Occupancy shall have been issued by the Building Commissioner - MSBC, Sect. 120.1

This Card Must Be Displayed in a Conspicuous Place on the Premises and Not Torn Down or Removed Until Completion of Work

SUBJECT TO MASSACHUSETTS
STATE BUILDING CODE

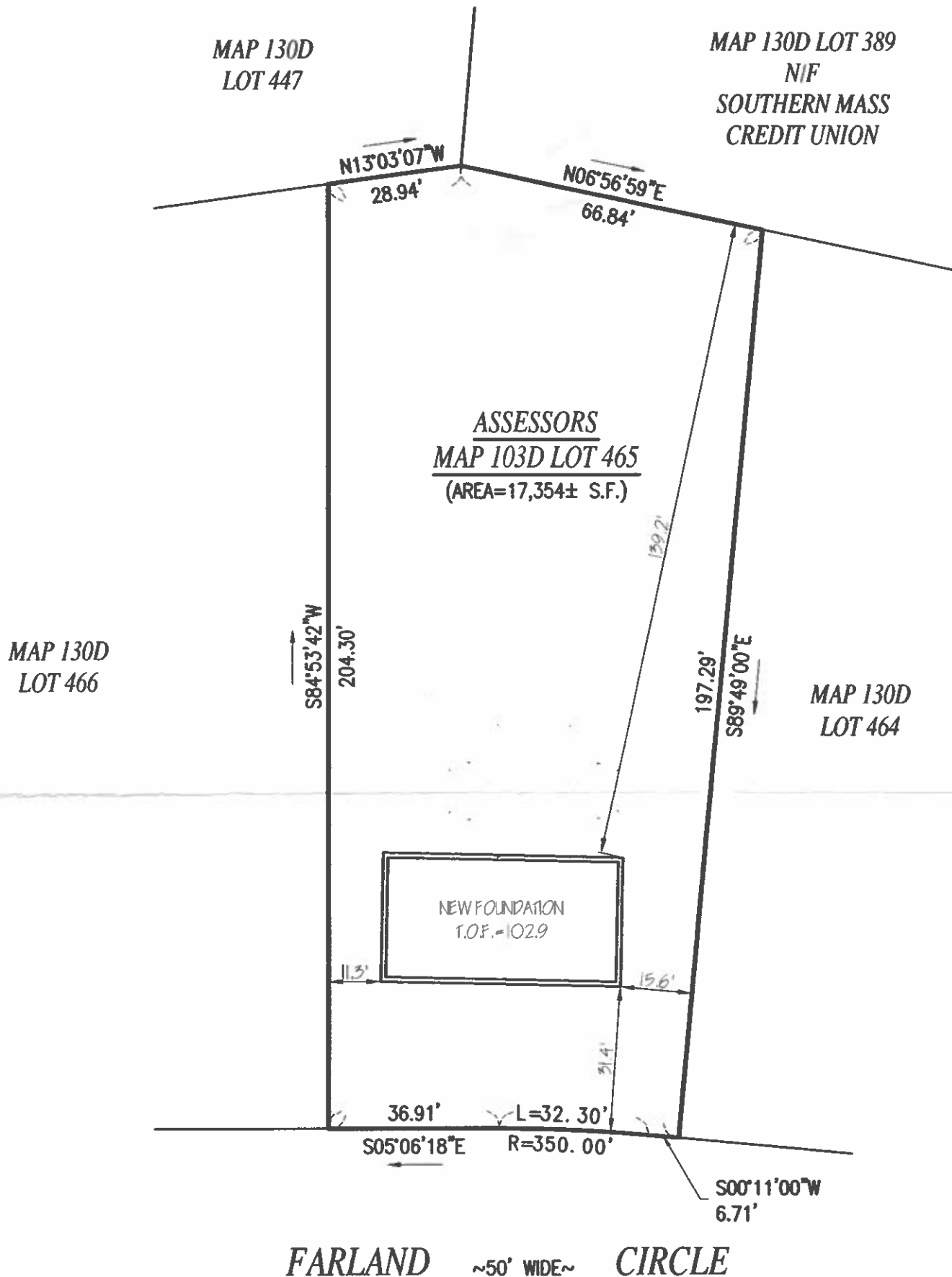
Donny D. Remondino Jr



— ZONING DATA —

DISTRICT: SINGLE RESIDENCE D

DESCRIPTION	REQUIRED
FRONT SETBACK	20 FT
SIDE SETBACK	10/12 FT
REAR SETBACK	30 FT



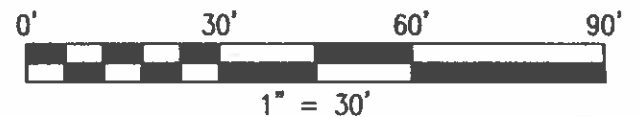
NOTE:

AS-BUILT SURVEY PERFORMED BY FARLAND CORP IN JANUARY 2021

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FOUNDATION AS-BUILT

LOT 16 FARLAND CIRCLE

ASSESSORS MAP 130D LOT 465

NEW BEDFORD, MASSACHUSETTS



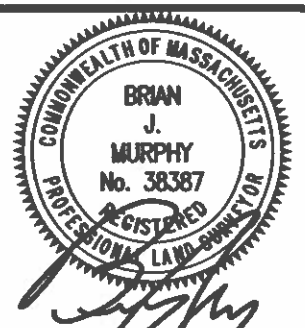
www.FarlandCorp.com

21 VENTURA DRIVE
DARTMOUTH, MA 02747
P.508.717.3479

- ENGINEERING
- SITEWORK
- LAND SURVEYING
- DEVELOPMENT

PREPARED FOR:

TD DESIGN AND DEVELOPMENT CORP.
403 ROCKDALE AVENUE
NEW BEDFORD, MA 02740

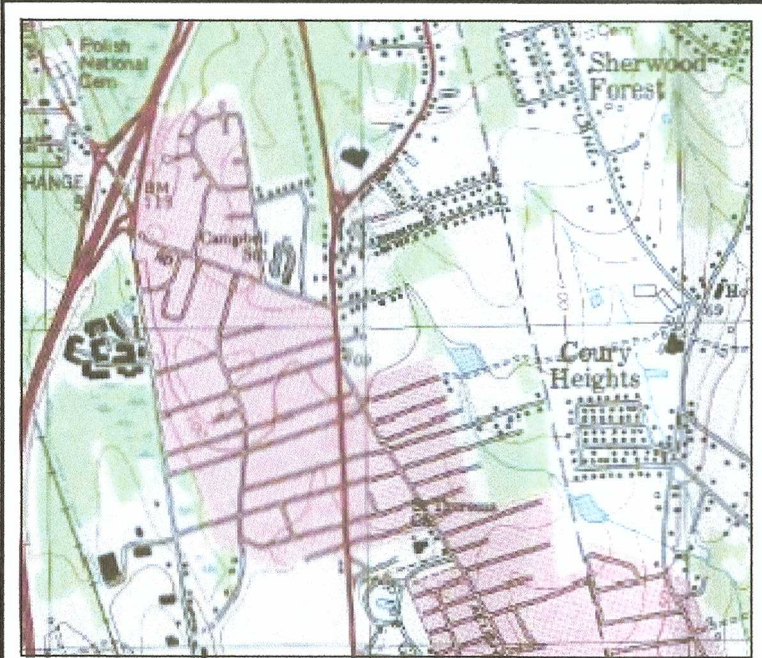


SCALE: 1"=30'

FEBRUARY 1, 2021

DRAWN BY: AJR

JOB NO: 19-744



LOCUS MAP SCALE: 1"=2,000'±

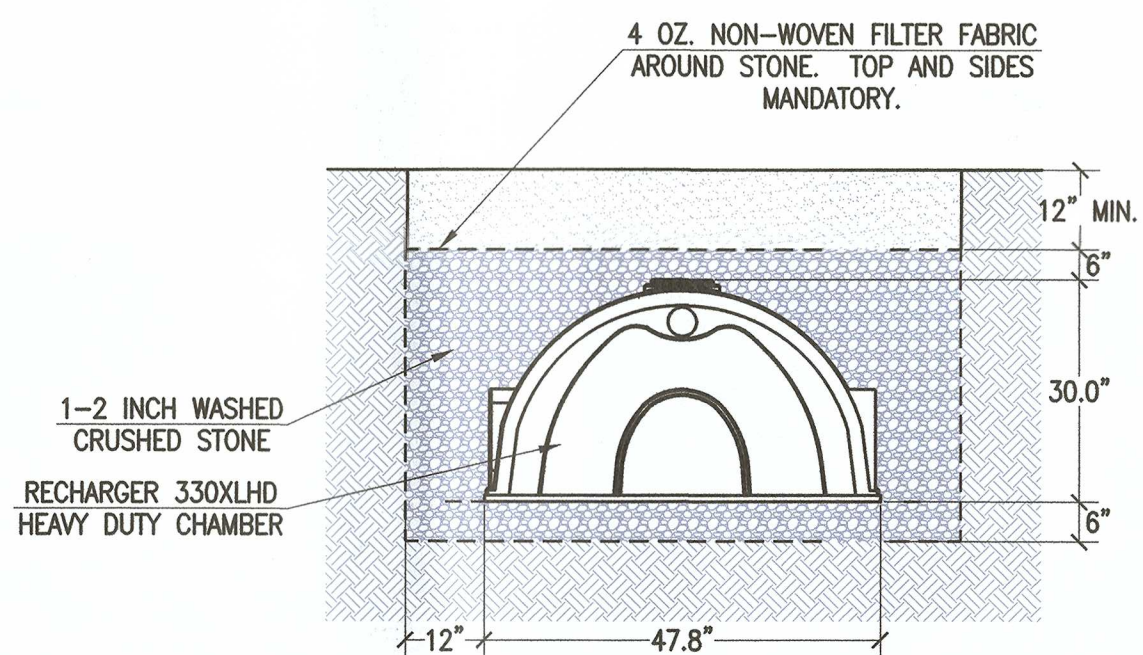
SUBSURFACE ROOF RECHARGE UNIT SIZING CALCULATIONS:

INFLOW AREA = 728 SF, 100.00% IMPERVIOUS, INFLOW DEPTH = 6.76" FOR 100-YEAR STORM EVENT
INFLOW = 0.11 CFS @ 12.00 HRS, VOLUME= 410 CF
OUTFLOW = 0.01 CFS @ 11.60 HRS, VOLUME= 410 CF, ATTEN= 89%, LAG= 0.0 MIN
DISCARDED = 0.01 CFS @ 11.60 HRS, VOLUME= 410 CF

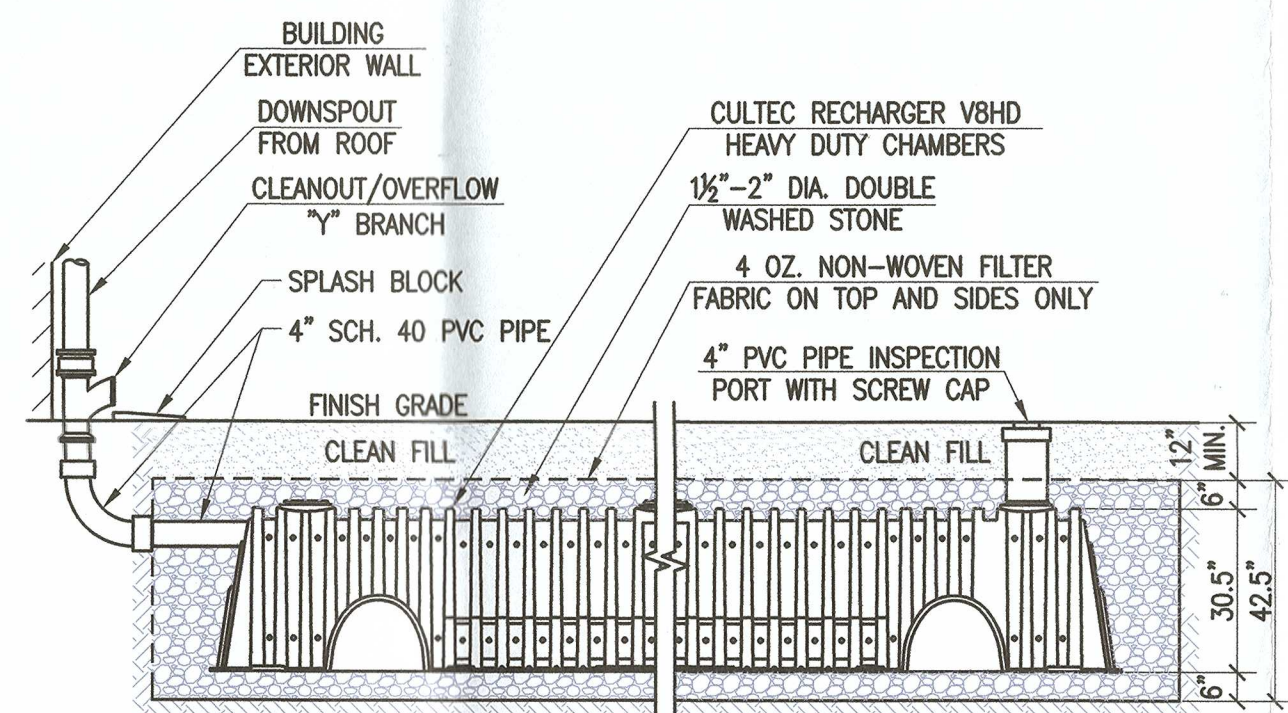
ROUTING BY STOR-IND METHOD, TIME SPAN= 0.00-30.00 HRS, DT= 0.05 HRS
PEAK ELEV= 100.11' @ 12.72 HRS SURF AREA= 66 SF REQUIRED STORAGE= 129 CF

VOLUME INVERT AVAILABLE STORAGE STORAGE DESCRIPTION
#1 96.70' 69 CF 6.33'W X 10.50'L X 3.54'H PRISMATOID X 1
#2 97.20' 63 CF 47.8'W X 30.0'H X 7.00'L PARABOLIC ARCH X 1 INSIDE #1
#3 99.25' 1 CF 0.33'D X 10.0'H VERTICAL CONE/CYLINDER-IMPERVIOUS
TOTAL AVAILABLE STORAGE = 133 CF >>> 129 CF

*PLEASE NOTE: THESE CALCULATIONS ARE PER UNIT. THERE ARE 2 UNITS ONSITE.



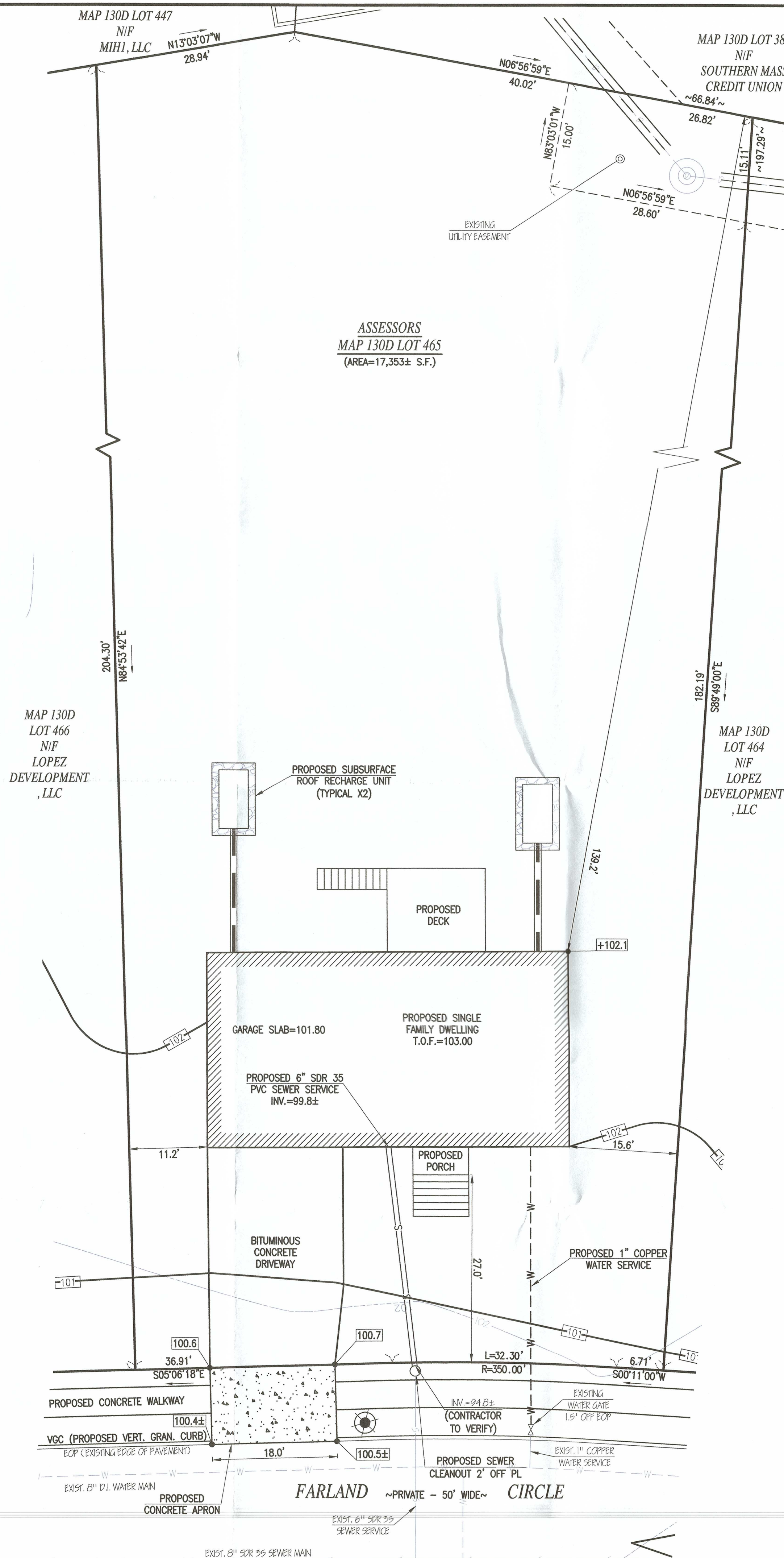
CULTEC RECHARGER 330XLHD STANDARD CROSS SECTION
NOT TO SCALE



ROOF RECHARGE SYSTEM
NOT TO SCALE

RECORD OWNER:
ASSESSORS MAP 130D LOT 465
NANCY ALVES
ALVES FAMILY TRUST
CERTIFICATE OF TRUST: BOOK 9054 PAGE 326
DEED BOOK 13316 PAGE 251

- NOTES:**
- TOPOGRAPHIC AND PROPERTY LINE SURVEY PERFORMED BY FARLAND CORP. IN NOVEMBER OF 2017.
 - PORTION OF DRIVEWAY BETWEEN EDGE OF ROADWAY AND PROPERTY LINE SHALL BE CONCRETE.
 - ROOF RECHARGE SYSTEMS HAVE BEEN OVER DESIGNED TO WITHSTAND THE 100-YEAR STORM EVENT AND THE TIE-IN OF A SUMP PUMP SYSTEM, IF NECESSARY.
 - IF SUMP PUMP IS INSTALLED, A CONCRETE LIP MUST BE INSTALLED AROUND THE SUMP PUMP.

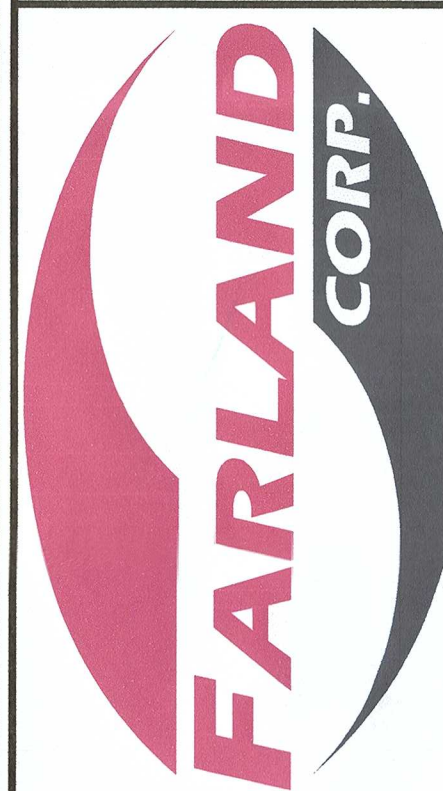


- ZONING DATA - DISTRICT: RA - RESIDENTIAL A

DESCRIPTION	REQUIRED	PROVIDED
LOT AREA	8,000 S.F.	17,353± S.F.
LOT FRONTAGE	75 FT	75.9 FT
FRONT SETBACK	20 FT	27.0 FT
SIDE SETBACK	10/12 FT	11.2/15.6 FT
REAR SETBACK	30 FT	139.2 FT
BUILDING HEIGHT (MAXIMUM)	45 FT	30 FT
BUILDING COVERAGE (MAXIMUM)	30 %	8.3 %
LOT COVERAGE (MAXIMUM)	65 %	10.7 %

REVISIONS

NO.	DATE	REVISION
1	10/26/20	REVISED FOOTPRINT
2	11/16/20	DPI COMMENTS
3	12/2/20	BLD DEPT. COMMENTS



www.FarlandCorp.com

401 COUNTY STREET
NEW BEDFORD, MA 02740
P.508.717.3479

OFFICES IN:

- TAUNTON
- MARLBOROUGH
- WARWICK, RI

DRAWN BY: JT

DESIGNED BY: JT

CHECKED BY: CAF

SITE PLAN

FARLAND CIRCLE
ASSESSORS MAP 130D LOT 465
NEW BEDFORD, MASSACHUSETTS

PREPARED TO DESIGN & DEVELOPMENT
FOR:
403 ROCKDALE AVE
NEW BEDFORD, MA 02740

JUNE 25, 2020

SCALE: 1"=10'

JOB NO. 20-643

LATEST REVISION:

DECEMBER 2, 2020

SHEET 1 OF 1