

expiring
1-20-2020

NEW BEDFORD WATER WORKS

APPLICATION FOR SERVICE AND METER

SERVICE 34116

Fire Supply

NEW BEDFORD

1-20-2021

I HEREBY ACKNOWLEDGE the receipt of a copy of the Regulations prescribed in the Ordinance of the City, for the use of Water, and I request that the water may be furnished through a

6 inch CLDI

meter at

P. 15 L. 154

(ANNEX BUILDING)

W.S. 310' E. x N. GURK ST
Brock Building

at such rates as may from time to time be established by the City.

I hereby agree to pay promptly the bill for the Service pipe laid down for my premises, and to pay all dues for water, and I agree to conform to the said Regulations and to all provisions of the Water Ordinances, until written notice is given by me or my agent to cut off the supply.

Robert Bichel 294 Liberty St.
N.B. MA.

TELEPHONE 401-318-1184*

Service laid

Farland Corp

Size and kind of pipe

6" CLDI

From

Existing 16" water main on Brock Ave St.

Turned on

Meter Set

Reading

Location

Building rates

Paid

Cost of Service

Paid

31-727

4000 CITY Project

6" FIRE SUPPLY- CLDI: Ductile

5/12/2021: Manuel Rose Inspected new service
Installed by Farland Corp (contractor)

S x S Warren St 172.6'
N x N line x George St 16.2'
E x W line x Brock Ave 23.0'
N x S line building 39.6'
N x N line body x building 3.0'
E x W line Brock Ave 20.0'

Electrical ducts W x Gate Valve
winwater installed 16' x 6' tapp sdl
on Brock Ave for Annex building

Can not enter
due to Tax Delinquency
pop up on view permit.

1-28-2021

SERVICE 34116

Fire SUPPLY

NEW BEDFORD WATER WORKS

APPLICATION FOR SERVICE AND METER

NEW BEDFORD

1-26-2021

EXP 1-26-2022

I HEREBY ACKNOWLEDGE the receipt of a copy of the Regulations prescribed in the Ordinance of the City, for the use of Water, and I request that the water may be furnished through a

4 inch CLDI
P: 15 L: 154

meter at

(ANNEX) W.S. 310' E. x MCGURK ST
BROCK AVE
BROCK BUILDING

at such rates as may from time to time be established by the City.

I hereby agree to pay promptly the bill for the Service pipe laid down for my premises, and to pay all dues for water, and I agree to conform to the said Regulations and to all provisions of the Water Ordinances, until written notice is given by me or my agent to cut off the supply.

Robert Bichel 294 Liberty ST
N.B. MA.

TELEPHONE

401-318-1184

Service laid

Farland Corp

Size and kind of pipe

4" CLDI

From

Existing 16" water main on Brock Ave

St.

Turned on

Meter Set

Reading

Location

Building rates

Paid

Cost of Service

Paid

31-727

\$0.00 CITY Project



CITY OF NEW BEDFORD
Jonathan F. Mitchell, Mayor

Department of Public Infrastructure

Euzebio Arruda
Commissioner

Water
Wastewater
Highways
Engineering
Cemeteries
Park Maintenance
Forestry
Energy

To Whom It May Concern:

I ROBERT R. BICHEL, being
(Name) (Mailing Address)

Owner of property located at

890 BROCK AVE., N.B.

Plot _____, Lot _____, hereby agree to allow FARLAND CORP.
(Name)

21 VENTURA DR., DARTMOUTH, MA 02747 to act on my behalf including affixing my
(Mailing Address)

signature in securing permit for:

- ☒ Sewer/Drain Service Permits
- ☒ Water Service Permits
- ☒ Driveway Installation Permits
- ☒ Sidewalk Installation Permits

I further agree to conform to, and abide by, All City rules and ask regulations applicable to the permit (s) being applied for:

Name

Robert R. Bichel
Signature

294 LIBERTY ST. N.B.

Address

12/28/20

Date

508-326-5668

Telephone Number



Commonwealth of Massachusetts

CITY OF NEW BEDFORD

City Hall, Room 308, 133 William Street, New Bedford, MA 01908 (508) 979-1540



BUILDING PERMIT

10/7/2020

No. **B-20-2387**

MSBC Sect. 112.14: Any permit issued shall be deemed abandoned and invalid unless the work authorized by it shall have been commenced within six (6) months after its issuance.

FEE PAID: \$0.00

This certifies that **Daniel Valcourt**

Contractor Lic. # **99795**

ParcelID **15-154**

owner/contractor has permission to: **Alteration - Commercial**

on: **890 BROCK AVE**

Providing that the person accepting this permit shall in every respect conform to the terms of application therefore on file in this office; to the provisions of the statute of the Commonwealth and to the by-laws of the City of New Bedford relating to the inspection, erection, enlarging, altering, raising, moving, repairing, or tearing down of a building.

Permit is issued subject to the following special requirements: (Restrictions)

CITY DEPARTMENT/COMMISSION COMMENTS

The following department/commission has expressed concern about the issuance of this permit. You are advised to contact that agency and resolve this matter.

Department/Commission: _____

BUILDING DEPARTMENT COMMENTS

: Interior /Exterior alterations
Renovations and small connector addition to the South Public Safety Annex Building. fire inspectors/dog officer as per plans stamped and construction control by Structural Engineer David P. Brosnan # 34702 , Electrical Engineer Howard G. Gerber # 39443 , Fire Protection/ Mechanical / Plumbing Bruce B. MacFitchie # 25788 and Shahin M. Shahin # 41861

: 780 CMR - Section 116.0 - Construction Control

: A Certificate of Occupancy is required prior to occupying space

: RRP Certificate - This project may need a RRP certificate if lead is present

YOUR AREA INSPECTOR IS: **James E. Berube**

Tel. (508) 979-1540 Between 8:00am - 9:00am

NOTICE: NOTIFY INSPECTOR 48 HOURS IN ADVANCE OF APPLYING SHEATHING OR LATHING

OCCUPANCY PERMIT REQUIRED BEFORE OCCUPANCY

No Building or Structure shall be used or occupied until the Certificate of Use and Occupancy shall have been issued by the Building Commissioner - MSBC, Sect. 120.1

This Card Must Be Displayed in a Conspicuous Place on the Premises and Not Torn Down or Removed Until Completion of Work

Danny J. Romanowicz

Building Commissioner

Plan Review Comments:

- : This will require a sprinkler and fire alarm system permits from Fire Prevention Office. Follow all state and local fire codes.
- : NOTE: ADDITION AND RENOVATIONS,, WILL NEED ELECTRICIAN AND ELECTRICAL PERMIT FOR ANY ELECTRICAL WORK ASSOCIATED WITH THIS ADDITION / RENOVATION.
- : Any changes, alterations, removal, or installation of any plumbing or gas fixture will require a permit as per provisions of 243 CMR.
- : ASR-DPI Engrg.

RE: TB-20-2387

Brock Ave. (N.S.) 310' E. x McGurk St. (Purported Address of 890 Brock Ave.)*

[New Bedford South Public Safety Facility Annex--Addition/Renovations]

Plot 15 Lots 154 & 167**

Reviewed 10/5/2020

PLEASE NOTE:

It is the responsibility of the applicant and the contractors to be familiar with the Department of Public Infrastructure (DPI) procedures/regulations and to ascertain that all proposed work which falls under DPI jurisdiction, whether shown on the submitted site plan or not, is identified and executed in accordance with City of New Bedford DPI Construction Standards/Specifications. The Certificate of Occupancy (CO) will not be signed for any work performed that is non-compliant and/or if any of the following conditions are not met.

The following conditions are to be met by the applicant (being the owner and/or their representative) as part of this permit approval:

- 1.) The site plan submitted to DPI via email on 10/1/2020, titled: "New Bedford South Public Safety Facility Annex, 890 Brock Avenue, New Bedford, MA 02744, Construction Drawings, dated 6/24/2020 (see Civil Set-Drawing C-2 Rev.1 & Drawing C-3 Rev.1 recently revised, but no revision date noted), as prepared by The Galante Architecture Studio and stamped/signed by Green International Affiliates, Inc. (Shahin M. Shahin, P.E.-Civil) was reviewed and placed on file in the DPI as the "final" site plan, and thus the above project is being "conditionally" approved by DPI, as follows:
 - a. Compliance with the City of New Bedford Stormwater Rules & Regulations/Ordinances is required for all project sites, regardless of size. All sites must implement sediment and erosion control measures and will be subject to the required construction site and sediment control inspections. Any project that involves disturbing 1 or more acres will require an EPA NPDES Construction General Permit (refer to Section 3.1.C of the Stormwater Rules & Regulations).
 - b. The "final" site plan approved by DPI must be submitted to Inspectional Services and placed in the View Permit system prior to any permits being issued by DPI for this project. This is the responsibility of the applicant. The DPI permits required for this project must be obtained before Inspectional Services issues a building permit for the addition to the existing structure.
 - c. **This project site is depicted as a single lot on the plan submitted, however, it is made up of 2 independent lots, Lot 154 and Lot 167, as shown on the plot Map 15 on file at DPI. The applicant must submit a copy of the recorded plan showing that these two lots have been combined, at which point Engineering will assign a new lot number accordingly. This issue must be addressed prior to the CO being signed off by DPI.
 - d. Those site development components of the New Bedford South Public Safety Facility Annex that were originally approved under the review for the foundation permit of the new structure (New Bedford South Public Safety Facility-Permit TB-19-2000) built on this site are subject to the conditions stipulated by DPI under said permit and also the conditions stipulated under this permit.

2.) Must provide one stamped/signed full scale paper copy (pertinent sheets only) of the "final" site plan approved by DPI for each type of permit (i.e. water, fire supply, sewer/drain and sidewalk/driveway permits) being applied for. For additions, a copy of the building permit and of the stamped foundation as-built must also be submitted before the CO is signed.

Please Note: Any representative pulling permits on behalf of the owner must provide DPI with a permission slip. If the property was acquired within the past 6 months, then a copy of the recorded deed showing property ownership must also be provided.

3.) *Must contact Engineering to obtain a proper address number for the door which is to be utilized as the main entrance of this existing structure. The address shown on the plan (890 Brock Ave.) is the "purported" address of the brick building that remained on the site. The address number of the existing main entrance is purported to be 890 Brock Ave. This address number must be verified before the CO is signed by DPI and is subject to change if it is determined that it does not correspond to the present main entrance location of the existing structure, or if it is dictated that a new main entrance door location is established. The applicant will be required to place the address number on, above, or next to the door which it was assigned such that it is highly visible from the street prior to DPI signing the CO. In the case where the number on the door cannot be seen from the street, an "additional" address marker is to be placed on their private property, close to the street.

4.) Submit a stamped final site as-built to DPI showing the location of building/structure and all utilities (i.e. sewer, storm drain, water, etc.) installed as part of this project for City records.

Please be advised that any and all future modifications to the site plan that was reviewed/approved for the above project and placed on file at DPI as the "final" site plan must be resubmitted for review/approval if said changes entail work that falls under the jurisdiction of DPI.

: ASR-DPI Engrg.

RE: TB-20-2387

Brock Ave. (N.S.) 310' E. x McGurk St. (Purported Address of 890 Brock Ave.)*

[New Bedford South Public Safety Facility Annex--Addition/Renovations]

Plot 15 Lots 154 & 167**

Reviewed 9/16/2020

DPI is presently working with Green International Affiliates, Inc. (Civil Engineers) regarding revisions that are being required by Engineering to the plans submitted in View Permit for review (New Bedford South Public Safety Facility Annex--Construction Drawings, stamped 6/24/2020).

A full set of the revised plan sheets must be submitted to DPI for final review. Upon DPI approval, DPI will sign off (and place conditions of approval) in View Permit. Please note that it will be the responsibility of the applicant/representative to submit a copy of the "final" approved by DPI to Inspectional Services to be placed on file in View Permit.

: 1. Fire supply service to be perpendicular from main to property line; install bend 1.0ft. inside property line and finish installation per submitted utility plan.

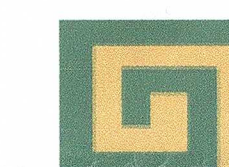
2. Owner to have a hydrant flow test performed by a fire sprinkler company and submit the test results to D.P.I..

3. Fire sprinkler system the owner to apply for a fire supply service permit

4. At the completion of the Fire Sprinkler System the owner to make an appointment with D.P.I. to have the fire system inspected and tested.

5. Resubmit Civil Plan per Water and Engineering comments for Department approval.

890 Brock Avenue
New Bedford, MA 02744



**GREEN INTERNATIONAL
AFFILIATES, INC.**
Civil and Structural Engineers
239 Littleton Rd, Suite 3
Westford, Massachusetts
GreenIntl.com
(978) 923-0400

Drawing Title
Site Grading,
Layout & Utility Plan

Date/Issued For
06.24.2020

Construction Drawings



Scale
As Noted

Drawn By
AKM/BV/EK

Drawing
Number

C-2 Rev.1

