

21-2
SERVICE 34113

Sewer 24913

NEW BEDFORD WATER WORKS
APPLICATION FOR SERVICE AND METER
NEW BEDFORD 01-08-2021 to 01-08-2022

I HEREBY ACKNOWLEDGE the receipt of a copy of the Regulations prescribed in the Ordinance of the City, for the use of Water, and I request that the water may be furnished through a

1 inch Copper meter at Farland Circle (S.S.) S. x Phillips Rd.
p. 130D-472 Lot 9

at such rates as may from time to time be established by the City.

I hereby agree to pay promptly the bill for the Service pipe laid down for my premises, and to pay all dues for water, and I agree to conform to the said Regulations and to all provisions of the Water Ordinances, until written notice is given by me or my agent to cut off the supply.

single family

Paul Vay 89 Howard Ave. New Bedford, MA
* See attached for signature 02745

TELEPHONE 508-858-6150

Service laid Farland Circle Size and kind of pipe 1" Copper

From Exist 15 gate connected to 8" DI water main on Farland Circle

Turned on Meter Set

Reading Location

Building rates Paid

Cost of Service \$500.00 Paid Check 10031

31-727

2.25.2021	Farland Corp	Percy
1" Copper		
E x E line	Farland Circle	230'
N x S line	Farland Circle	10'
W x E line	house	20'
E x W line	garage	34'
N x N line	house	33'
main to prop. line		18'
pipe inside prop.		23'

* 7/9/2021: meter Blank pickup:

appt date:

July 23rd @ 10:30 AM changed per email request from Ryan.S@Veg on 7.13.2021 new is

July 16th @ 10:00 AM

DISPLAY PERMIT IN A CONSPICUOUS PLACE ON THE PREMISES



Commonwealth of Massachusetts

City of New Bedford

133 William Street New Bedford, MA 02740

WATER SERVICE PERMIT



Date: 1/15/2021

No. **W-21-2**

Permit Fee: \$500.00

Service Location: ES- STONEY BROOK LN

Owner Name: VAZ CONSTRUCTION, INC.

Owner Phone #: (508) 858-6150

Type of Occupancy: Residential

Type of Work: Water - Domestic New 1"

Work Description: Water Service # 34113
Sewer #24913

1" COPPER SERVICE
P.130D L.472
Farland Circle SS S x Phillips Rd

New Single Family--
existing 1.5 gate connected to 8" DI water main on Farland Circle
1-8-2021 to 1-8-2022

Contractor

Name: FARLAND CORPORATION INC

Certificate #: 47544

Type of Business : DPI - Other

Address: 21 VENTURA DRIVE

City/Town/State: DARTMOUTH

MA

Phone #: (508) 717-

Type of Service

Pipe Size

Trench Length:

0.00

Fire Service

Domestic Service

Estimated consumption of water

Estimated average daily consumption 0.00 gallons

Cross Connection?

No

Estimated maximum day consumption 0.00 gallons

Right of Way?

No

Are lawn sprinklers and/or lawn irrigation proposed on site? No

Meter Impact?

No

Estimated fire flows required for the project site:

Call Phone: (781) 942-9077 For Inspection

DISPLAY PERMIT IN A CONSPICUOUS PLACE ON THE PREMISES



Commonwealth of Massachusetts

City of New Bedford

133 William Street New Bedford, MA 02740

WATER SERVICE PERMIT



0.00

Street Opening Permit Required?

No

Does the project require a fire suppression system?

No

Required minimum static pressure for the proposed project site

0.00

GRANTED WITH THE USUAL CONDITIONS

COMMISSIONER

Call Phone: (781) 942-9077 For Inspection

SERVICE 34113

Sewer 24913

NEW BEDFORD WATER WORKS
APPLICATION FOR SERVICE AND METER

NEW BEDFORD

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1 inch Copper meter at Farland Circle (S.S.) S. x Phillips Rd.
P. 130D - 472 Lot 9

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I hereby agree to pay promptly the bill for the Service pipe laid down for my premises, and to pay all dues for water, and I agree to conform to the said Regulations and to all provisions of the Water Ordinances, until written notice is given by me or my agent to cut off the supply.

Single Family

Rail Vay 89 Howard Ave. New Bedford, MA
* R. P. 02745

TELEPHONE 508-858-6150

Service laid Farland Circle Size and kind of pipe 1" Copper

From West 15 gate connected to 8" DI water main on Farland Circle

Turned on Meter Set

Reading Location

Building rates Paid

Cost of Service \$500.00 Paid Check 10031

31-727

Permit is incomplete until signed, returned and processed by DPI. Please print and return to 1105 Shawmut Ave for processing. 01/04/2021 - AJ



Department of Public Infrastructure

Jamie Ponte
Commissioner

Water
Wastewater
Highways
Engineering
Cemeteries
Park Maintenance
Forestry
Energy

CITY OF NEW BEDFORD

Jonathan F. Mitchell, Mayor

To Whom It May Concern:

I Paul Vaz 89 Howard Ave, New Bedford, being
(Name) (Mailing Address)

Owner of property located at

Plot 1300, Lot 472, hereby agree to allow Farland Corp
(Name)

21 Ventura Drive, Dartmouth to act on my behalf including affixing my
(Mailing Address)

signature in securing permit for:

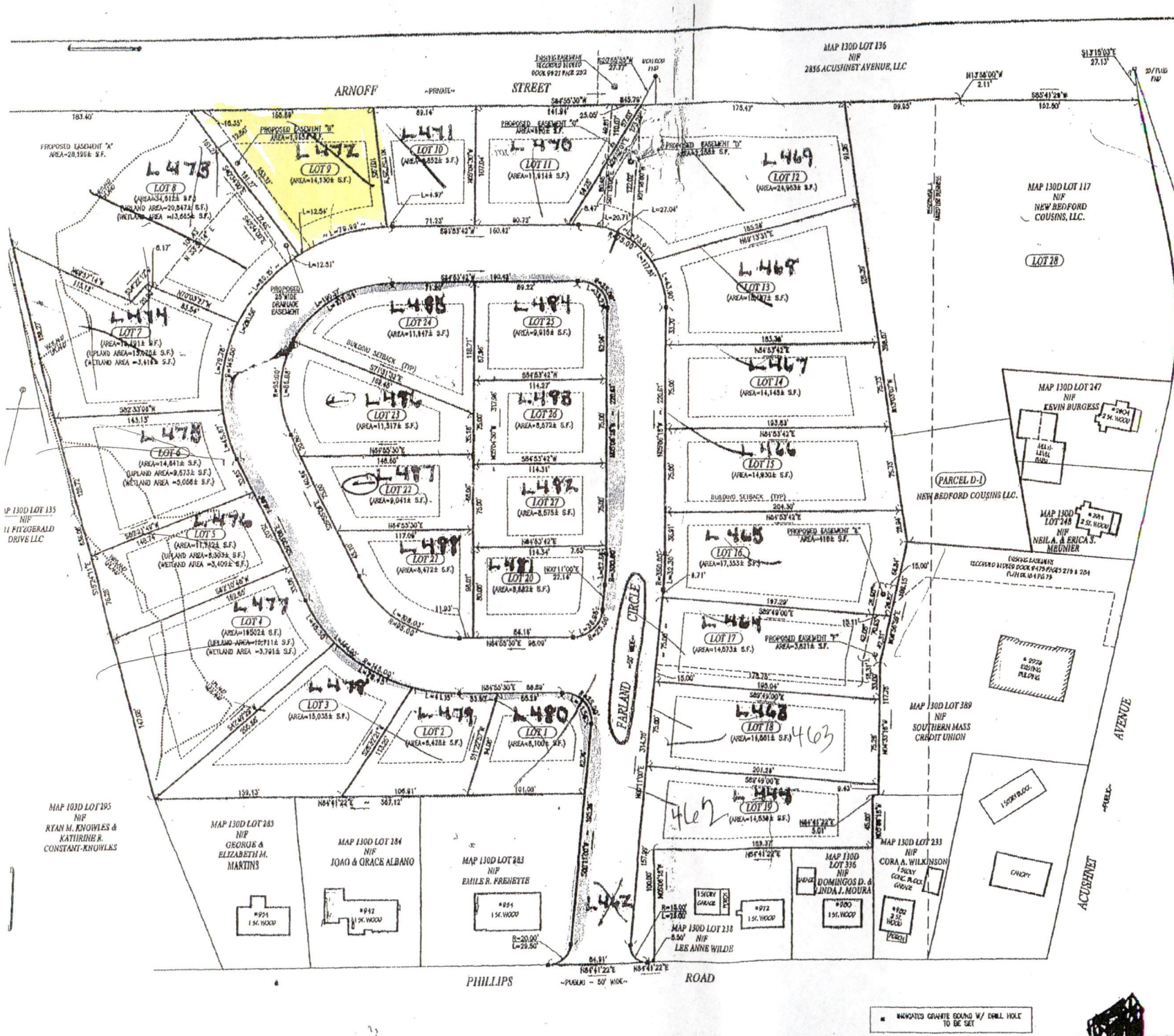
- ☒ Sewer/Drain Service Permits
- ☒ Water Service Permits
- ☒ Driveway Installation Permits
- ☒ Sidewalk Installation Permits

I further agree to conform to, and abide by, All City rules and ask regulations applicable to the permit (s) being applied for:

I Name Paul Vaz
Signature

89 Howard Ave, New Bedford
Address

12-24-20
Date Telephone Number



SEE LEFT
SIDE OF
SHEET.

FOR REGISTRY USE ONLY.

I CERTIFY THAT THIS PLAN COMPLIES WITH THE RULES AND REGULATION OF THE REGISTRY OF DEEDS.



Brian J. Murphy, P.L.S. #38387

NEW BEDFORD PLANNING BOARD APPROVAL IS REQUIRED UNDER THE SUBDIVISION CONTROL LAW.

[Signature]
DATE APPROVED: 2/14/2019
DATE ENDORSED: 7/11/2018

I CERTIFY THAT 20 DAYS HAVE PASSED SINCE PLANNING BOARD APPROVAL AND NO APPEAL HAS BEEN FILED IN THIS OFFICE.

DATE: 8/7/18
[Signature]
CITY CLERK OF NEW BEDFORD

RECORD OWNER:
ASSESSORS MAP 1300
LOTS 388-406 & 412-419
MWH, LLC
401 COUNTRY STREET
NEW BEDFORD, MA 02740
BOOK 12304 PAGE 200

NOTES:
1. SURVEY PERFORMED BY FARLAND CORP. IN NOVEMBER, 1
2. ZONING DISTRICT: RESIDENTIAL "A" & MIXED USE BUSINESS
3. THIS PLAN MODIFIES AN UNRECORDED DEFINITIVE SUBDIVISION PLAN OF "STONE BROOK FARM" PREVIOUSLY APPROVED NEW BEDFORD PLANNING BOARD ON JULY 12, 2017.
4. WETLAND DELINEATION FROM RECORD PLAN OF "STONE BROOK FARM".

-- ZONING DATA --	
DISTRICT: RESIDENTIAL A	
DESCRIPTION	REQUIRED
LOT AREA	8,000 S.F.
LOT FRONTAGE	75 FT
FRONT SETBACK	20 FT
SIDE SETBACK	10/12 FT
REAR SETBACK	30 FT
BUILDING COVERAGE (MAXIMUM)	40 %

INDICATED GRANITE BOUNDS W/ DRILL HOLE TO BE SET





CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)

1/4/2021

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER Partners Insurance Group, LLC 560 Wilbur Avenue Swansea MA 02777	CONTACT NAME: Maria Arruda	
	PHONE (A/C, No, Ext): 508-491-3176 FAX (A/C, No): 508-491-3108	
INSURED Farland Corp. Inc. Christian Farland 21 Ventura Drive Dartmouth MA 02747	E-MAIL ADDRESS: MArruda@partnersinsgrp LLC	
	INSURER(S) AFFORDING COVERAGE	NAIC #
	INSURER A: TRAVELERS INSURANCE COMPANY	25682
	INSURER B: Lloyd's of London	
	INSURER C: The Ohio Casualty Insurance Company	24074
	INSURER D:	
	INSURER E:	
	INSURER F:	

COVERAGES

CERTIFICATE NUMBER: 742301561

REVISION NUMBER:

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSR	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input checked="" type="checkbox"/> PROJECT <input type="checkbox"/> LOC	Y		4T-CO-6G656644-TCT-21	1/1/2021	1/1/2022	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 300,000 MED EXP (Any one person) \$ 10,000 PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMP/OP AGG \$ 2,000,000 \$
A	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input checked="" type="checkbox"/> SCHEDULED AUTOS <input checked="" type="checkbox"/> HIRED AUTOS <input checked="" type="checkbox"/> NON-OWNED AUTOS			810-0P185896-21-2S-G	1/1/2021	1/1/2022	COMBINED SINGLE LIMIT (Ea accident) \$ 1,000,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$ Included \$
	UMBRELLA LIAB <input type="checkbox"/> OCCUR EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE DED <input type="checkbox"/> RETENTION \$						EACH OCCURRENCE \$ AGGREGATE \$ \$
A	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below	Y/N N	N/A	UB-9J635485	1/1/2021	1/1/2022	<input checked="" type="checkbox"/> WC STATUTORY LIMITS <input type="checkbox"/> OTHER E.L. EACH ACCIDENT \$ 1,000,000 E.L. DISEASE - EA EMPLOYEE \$ 1,000,000 E.L. DISEASE - POLICY LIMIT \$ 1,000,000
C B A	Equipment Floater Professional BPP			BMO57097682 HSAEC190032 4T-CO-6G656644-TCT-21	1/1/2021 1/1/2021 1/1/2021	1/1/2022 1/1/2022 1/1/2022	Equipment 842,950 Prof/Per Cl & Aggreg 1,000,000 BPP 100,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (Attach ACORD 101, Additional Remarks Schedule, if more space is required)
CITY OF NEW BEDFORD AS ADDITIONAL INSURED-XCU COVERAGE INCLUDED

CERTIFICATE HOLDER**CANCELLATION**

City of New Bedford
133 Williams St.
New Bedford MA 2740

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.

AUTHORIZED REPRESENTATIVE

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Commonwealth of Massachusetts
Division of Professional Licensure

Hoisting Engineer

IE-166212

Expires: 03/16/2021

MICHAEL ATKINSON
647 HIGHLAND AVENUE
NORTH DARTMOUTH MA 02747



Commissioner



Commonwealth of Massachusetts

CITY OF NEW BEDFORD

City Hall, Room 308, 133 William Street New Bedford, MA 02740 (508) 979-1540



FOUNDATION PERMIT

12/24/2020

No. B-20-3283

MSBC Sect. 111.8 - Any permit issued shall be deemed abandoned and invalid unless the work authorized by it shall have been commenced within six (6) months after its issuance.

FEE PAID \$100.00

This certifies that Kevin W. Clapper

owner/contractor has permission to:

ES-

STONE BROOK LN

on:

130D

-472

Foundations Only 1-2 Family - 100.00

Providing that the person accepting this permit shall in every respect conform to the terms of application therefore on file in this office; to the provisions of the statute of the Commonwealth and to the by-laws of the City of New Bedford relating to the inspection, erection, enlarging, altering, raising, moving, repairing, or tearing down of a building.

Permit is issued subject to the following special requirements: (Restrictions)



Wiring Inspector



Plumbing Inspector



Building Inspector

YOUR AREA INSPECTOR IS: Thomas Welch

Tel. (508) 979-1540 Between 8:00am - 9:00am

**NOTICE: NOTIFY INSPECTOR 48 HOURS IN
ADVANCE OF APPLYING SHEATHING OR LATHING**

OCCUPANCY PERMIT REQUIRED BEFORE OCCUPANCY

No Building or Structure shall be used or occupied until the Certificate of Use and Occupancy shall have been issued by the Building Commissioner - MSBC, Sect. 120.1

This Card Must Be Displayed in a Conspicuous Place on the Premises and Not Torn Down or Removed Until Completion of Work

SUBJECT TO MASSACHUSETTS
STATE BUILDING CODE

Donny D. Romanowicz Jr.

ASR-DPI Engrg.

RE: TB-20-3283

Farland Circle (S.S.) S. x Phillips Rd. (a/k/a Builder's Lot 9)

Plot 130D Lot 472

Reviewed 12/18/2020

PLEASE NOTE:

It is the responsibility of the applicant and the contractors to be familiar with DPI procedures/ regulations and ascertain that all proposed work which falls under DPI jurisdiction, whether shown on the submitted site plan or not, is identified and executed in accordance with City of New Bedford DPI Construction Standards/Specifications. The Certificate of Occupancy (CO) will not be signed for any work performed that is non-compliant and/or if any of the following conditions are not met.

The following conditions are to be met by the applicant (being the owner and/or their representative) as part of this permit approval:

- 1.) The revised site plan submitted, titled: "Site Plan, Farland Circle, Assessors Map 130D Lot 472, New Bedford, Massachusetts", having a revision date of 12/8/2020 (original date of 2/5/2018), as prepared by Farland Corp. and stamped/signed by Christian A. Farland, P.E. (Civil), was accepted as the "final" site plan and conditionally approved by DPI, as follows:
 - a. The owner listed for the abutting Lot 473 was not updated correctly. DPI records indicate the owner is Vaz Constructions, Inc. (See Deed Bk.13376/Pg. 91).
 - b. The minimum distance required for transition curb from driveway opening to face of streetlight is 4'.
 - c. The plan indicates that there may be a sump pump tie-in at this location. The recharge system calculations must incorporate sump pump discharge, and the conditions stipulated by the City Engineer regarding sump pump installations will apply, as follows:
 - i. The sump pump tie in will require a letter stamped and signed by a registered professional engineer in the Commonwealth of Massachusetts along with the supporting calculations and plans stamped and signed by the same engineer documenting the design and standards. These documents are needed before DPI signs off on the CO.

ii. A concrete lip should be constructed around the sump pump and pit (6-in high) so that if there is a spill in the basement, it cannot flow into the pit and be pumped to the infiltrator unit thereby contaminated the groundwater and site. This needs to be inspected and signed off by our inspector prior to signing of the CO.

iii. A release of liability form will need to be signed by the homeowner documenting that if he/she is identified as dumping pollutants into the pit and causes contamination of the site they are the responsible party for all cleanup and the City is not responsible. This is not needed by the CO but will be needed 30 days following execution of any property ownership documents.

d. The parcel must be developed in accordance with the conditions set forth in the approved Subdivision Plans.

e. The applicant is responsible for ensuring that Inspectional Services is provided with the "final" site plan (or any modifications approved by DPI thereafter) to be placed on file in the View Permit system.

2.) Must provide 1 stamped/signed copies of the "final" site plan approved by DPI for each of the permits being sought (i.e. water, sewer/drain and sidewalk/driveway permits) for the proposed structure. In addition, a copy of the foundation permit and of the stamped/signed foundation as-built plan must also be submitted.

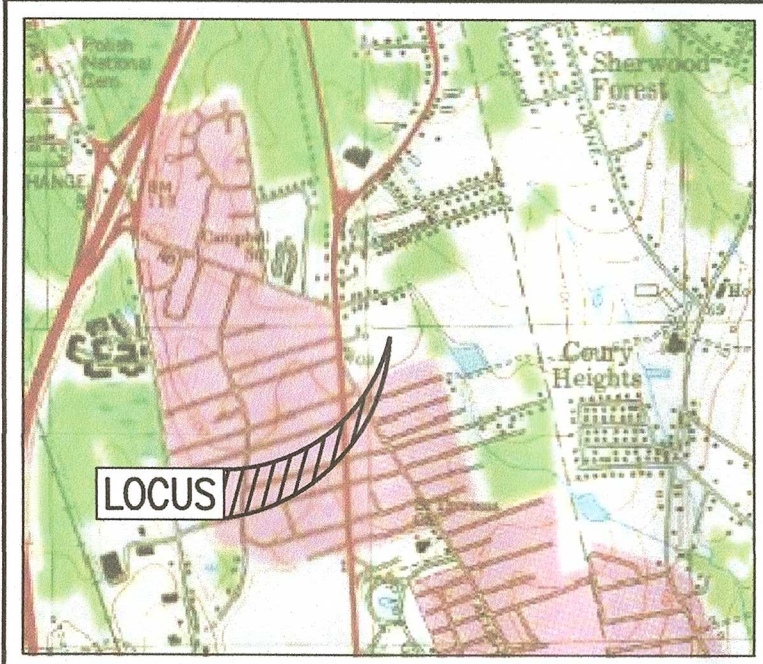
Please Note: Any representative pulling permits on behalf of the owner must provide DPI with a permission slip. If the property was acquired within the past 6 months, then a copy of the recorded deed showing property ownership must also be provided.

3.) Must contact DPI-Engineering to measure for an address number once the front door is framed. The CO will not be signed unless the legal address issued by the City is permanently affixed to, above, or next to, the main door entrance to which it was assigned such that it is highly visible from the street.

Please be advised that any and all future modifications to the site plan that was reviewed/approved for the above project and placed on file at DPI as the "final" site plan must be resubmitted for review/approval if said changes entail work that falls under the jurisdiction of DPI.

Note to Inspectional Services:

Please provide a copy of the DPI review comments to the applicant at the time they are issued the foundation permit. It is imperative that the applicants receive these comments so that they are aware of the conditions under which their permit was approved.



LOCUS MAP SCALE: 1"=2,000'±

SUBSURFACE ROOF RECHARGE UNIT SIZING CALCULATIONS:

INFLOW AREA = 682 SF, 100.00% IMPERVIOUS, INFLOW DEPTH = 6.76" FOR 100-YEAR STORM EVENT
INFLOW = 0.10 CFS @ 12.09 HRS, VOLUME = 384 CF
OUTFLOW = 0.01 CFS @ 11.60 HRS, VOLUME = 384 CF, ATTN= 88%, LAG= 0.0 MIN
DISCARDED = 0.01 CFS @ 11.60 HRS, VOLUME = 384 CF

ROUTING BY STOR-IND METHOD, TIME SPAN= 0.00-30.00 HRS, DT= 0.05 HRS
PEAK ELEV= 94.94' @ 12.67 HRS SURF AREA= 66 SF REQUIRED STORAGE= 117 CF

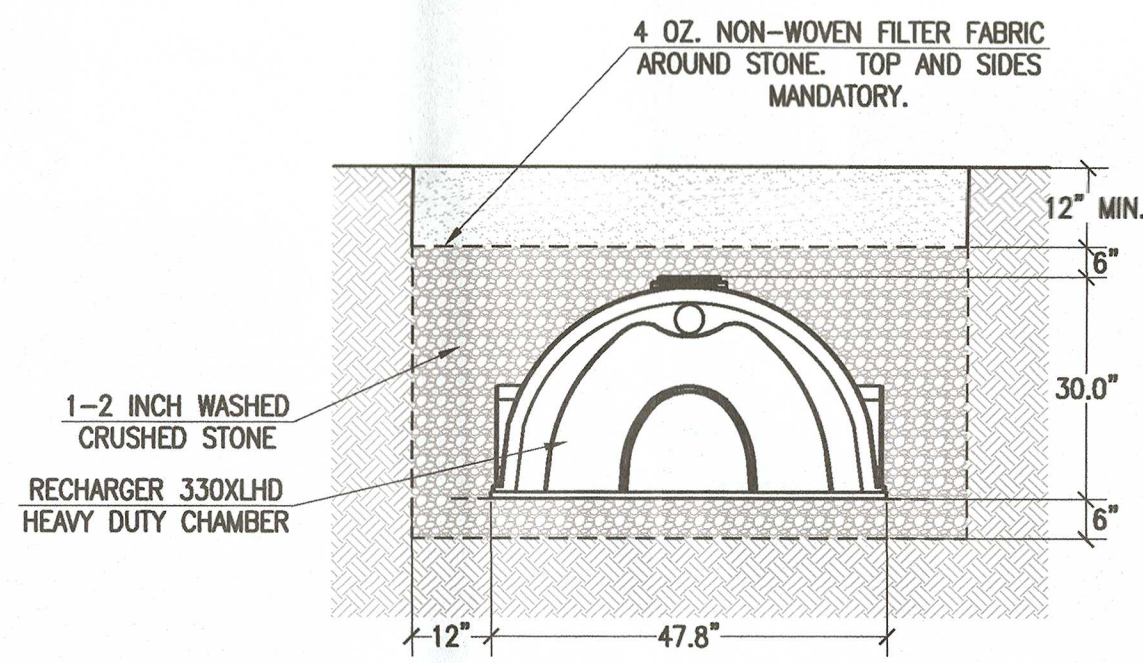
VOLUME	INVERT	AVAIL STORAGE	STORAGE DESCRIPTION
#1	91.96'	69 CF	6.33'W X 10.50'L X 3.54'H PRISMATOID X 1 236 CF OVERALL - 63 CF EMBEDDED = 172 CF X 40.0% VOIDS
#2	92.46'	63 CF	47.8'W X 30.0'H X 7.00'L PARABOLIC ARCH X 1 INSIDE #1
#3	94.50'	1 CF	0.33'D X 10.0'H VERTICAL CONE/CYLINDER-IMPERVIOUS

TOTAL AVAILABLE STORAGE = 133 CF >>> 117 CF

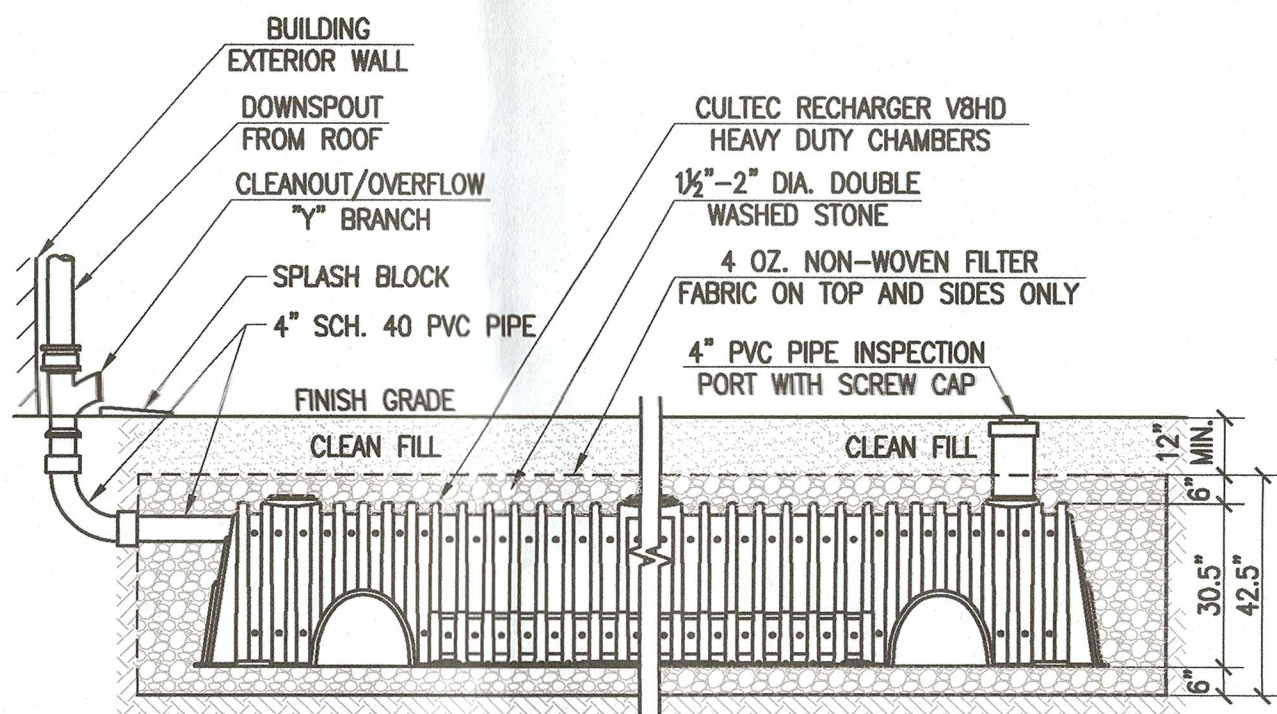
*PLEASE NOTE: THESE CALCULATIONS ARE PER UNIT. THERE ARE 2 UNITS ONSITE.

ZONING DATA - DISTRICT: RA - RESIDENTIAL A

DESCRIPTION	REQUIRED	PROVIDED
LOT AREA	8,000 S.F.	14,130± S.F.
LOT FRONTAGE	75 FT	79.90 FT
FRONT SETBACK	20 FT	21.0± FT
SIDE SETBACK	10/12 FT	17.1±/22.0± FT
REAR SETBACK	30 FT	58.9± FT
BUILDING HEIGHT (MAXIMUM)	45 FT	30± FT
BUILDING COVERAGE (MAXIMUM)	30 %	9.6± %
LOT COVERAGE (MAXIMUM)	65 %	12.9± %



CULTEC RECHARGER 330XLHD STANDARD CROSS SECTION
NOT TO SCALE

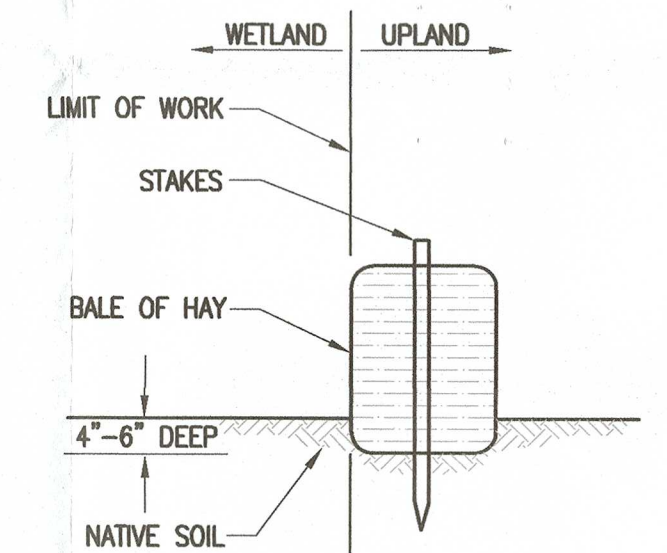
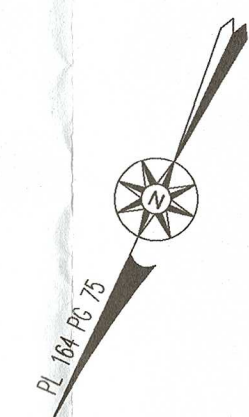


ROOF RECHARGE SYSTEM
NOT TO SCALE

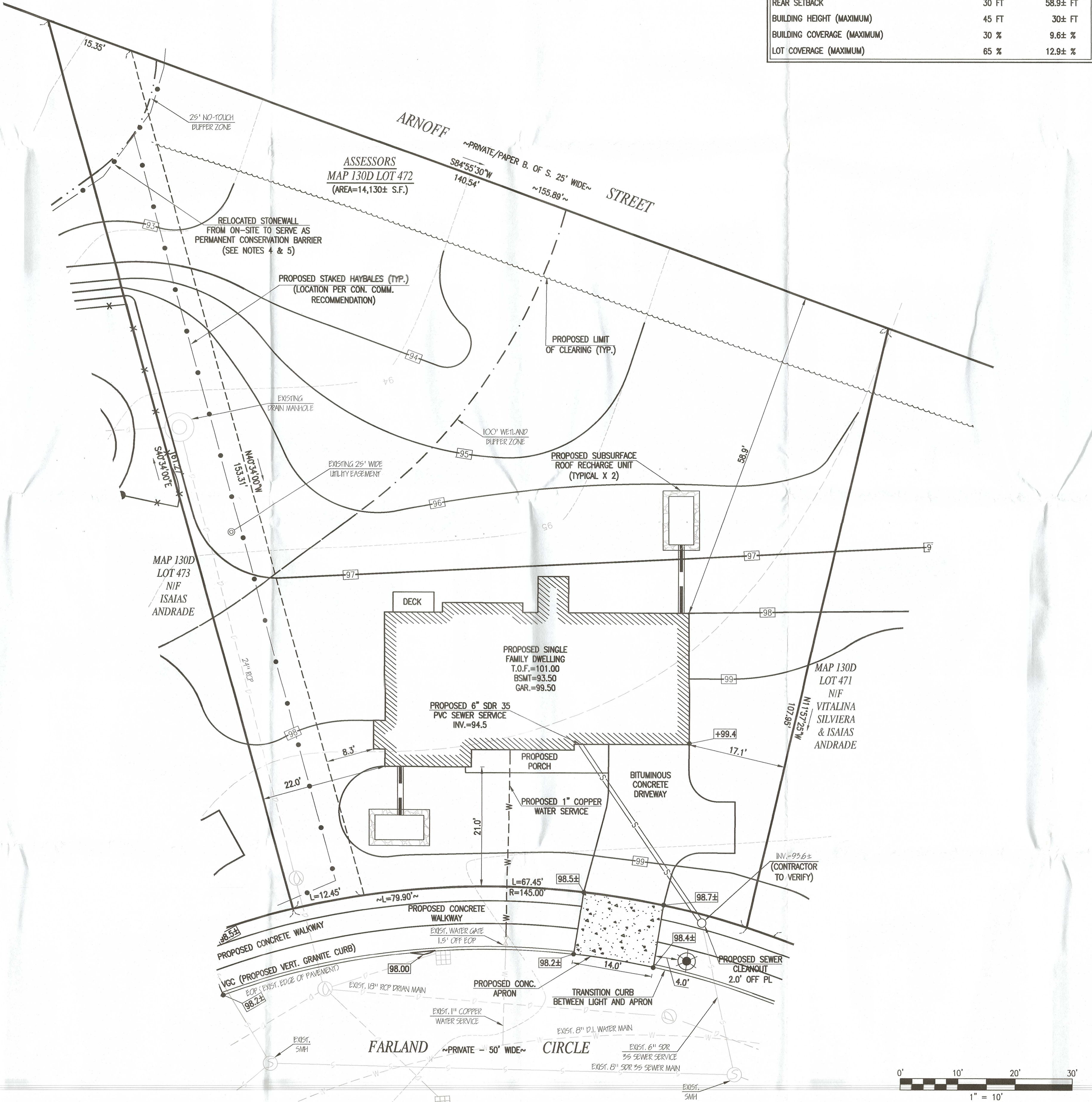
RECORD OWNER:
ASSESSORS MAP 130D LOT 472
VAZ CONSTRUCTION
51 BRIGHAM STREET
NEW BEDFORD, MA 02740
DEED BOOK 13376 PAGE 91

NOTES:

- TOPOGRAPHIC AND PROPERTY LINE SURVEY PERFORMED BY FARLAND CORP. IN NOVEMBER OF 2017.
- PORTION OF DRIVEWAY BETWEEN EDGE OF ROADWAY AND PROPERTY LINE SHALL BE CONCRETE.
- BORDERING VEGETATED WETLAND FLAGS AND INTERMITTENT STREAM FLAGS WERE SET BY JOHN ZIMMER, P.W.S. IN NOVEMBER OF 2015 AS SHOWN ON PLAN ENTITLED "DEFINITIVE SUBDIVISION PLANS - STONEY BROOK FARM" DATED MAY 11, 2017 BY CAVANARO CONSULTING.
- A SIGN STATING PROTECTED CONSERVATION AREA EXISTS BEYOND THE STONEWALL AND IS TO REMAIN UNDISTURBED PER ORDER OF THE NEW BEDFORD CONSERVATION COMMISSION SHALL BE PLACED ON THE STONEWALL, FENCING, OR ARBORVITAE.
- STONEWALL, FENCING OR ROW OF ARBORVITAE SHALL BE PLACED AT THE 25-FOOT NO DISTURB ZONE. IF RELOCATED STONEWALLS ARE USED THEY SHOULD BE A MINIMUM 3'-4' TALL.
- ROOF RECHARGE SYSTEMS HAVE BEEN OVER DESIGNED TO WITHSTAND THE 100-YEAR STORM EVENT AND THE TIE-IN OF A SUMP PUMP SYSTEM, IF NECESSARY.
- IF SUMP PUMP IS INSTALLED, A CONCRETE LIP MUST BE INSTALLED AROUND THE SUMP PUMP.

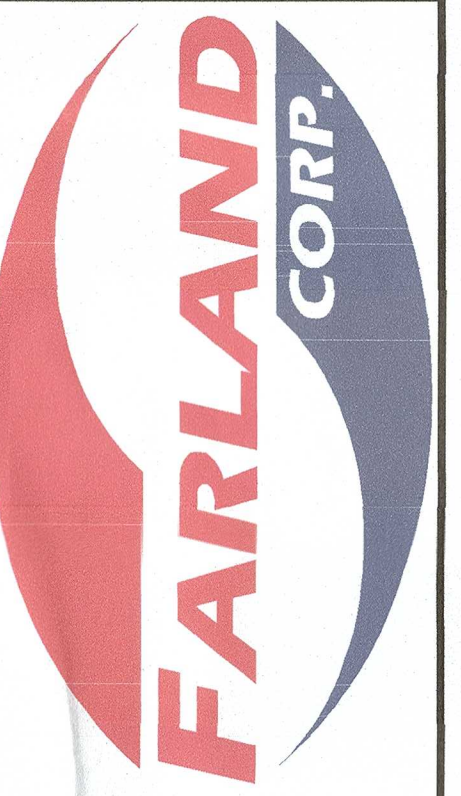


STAKED HAY BALES
NOT TO SCALE



REVISIONS

NO.	DATE	DESCRIPTION
1	8/28/19	CONSERVATION COMMISSION
2	10/15/20	CLIENT REQUEST
3	12/8/20	DPY COMMENTS



www.FarlandCorp.com

401 COUNTY STREET
NEW BEDFORD, MA 02740
P.508.717.3479
OFFICES IN:
•TAUNTON
•MARLBOROUGH
•WARWICK, RI

DRAWN BY: JT
DESIGNED BY: JT
CHECKED BY: CAF

SITE PLAN

FARLAND CIRCLE
ASSESSORS MAP 130D LOT 472
NEW BEDFORD, MASSACHUSETTS

PREPARED FOR:
VAZ CONSTRUCTION
51 BRIGHAM STREET
NEW BEDFORD, MA 02740

FEBRUARY 5, 2018
SCALE: 1"=10'
JOB NO. 20-421.09
LATEST REVISION:
DECEMBER 8, 2020

SHEET 1 OF 1