

SERVICE 34112

Sewer # 24914

NEW BEDFORD WATER WORKS

APPLICATION FOR SERVICE AND METER

NEW BEDFORD 01-08-2020 - 01-08-2021

I HEREBY ACKNOWLEDGE the receipt of a copy of the Regulations prescribed in the Ordinance of the City, for the use of Water, and I request that the water may be furnished through a

1 inch Copper meter at Fauland Circle (S.S.) S. x Phillips Rd
p. BOD, L 470 (Build lot 11)

at such rates as may from time to time be established by the City.

I hereby agree to pay promptly the bill for the Service pipe laid down for my premises, and to pay all dues for water, and I agree to conform to the said Regulations and to all provisions of the Water Ordinances, until written notice is given by me or my agent to cut off the supply.

Single family home

Manuel Treiter, 21 Seth Davis Way, Dartmouth, MA 01928
* See attached for signature

TELEPHONE 508-989-2673

Service laid Fauland Corp

Size and kind of pipe 1" Copper

From Existing 1 copper service placed on 8" DI water main on Fauland Circle

Turned on

Meter Set

Reading

Location

Building rates

Paid

Cost of Service

\$500.00

Paid

10035

31-727

Contractor Farland Corp. 3.5.2021 Inspect. Percy

1" copper

E x E line Farland Circle(w) 96'

N x S line Farland Circle 5'

W x E line garage 8'

e X W line house 48'

N X N line house 37'

main to prop. line 18'

pipe inside prop. 28'

10-18-2021

picked up couplings

Clayton Cabral

install appt, Oct 21, 2021

8:30-11:30

DISPLAY PERMIT IN A CONSPICUOUS PLACE ON THE PREMISES



Commonwealth of Massachusetts

City of New Bedford

133 William Street New Bedford, MA 02740

WATER SERVICE PERMIT



Estimated consumption of water

Estimated average daily consumption 0.00 gallons

Estimated maximum day consumption 0.00 gallons

Are lawn sprinklers and/or lawn irrigation proposed on site? **No**

Estimated fire flows required for the project site: 0.00

Does the project require a fire suppression system? **No**

Required minimum static pressure for the proposed project site 0.00

Cross Connection? **No**

Right of Way? **No**

Meter Impact? **No**

Street Opening Permit Required? **No**

GRANTED WITH THE USUAL CONDITIONS

COMMISSIONER

Call Phone: (781) 942-9077 For Inspection

DISPLAY PERMIT IN A CONSPICUOUS PLACE ON THE PREMISES



Commonwealth of Massachusetts

City of New Bedford

133 William Street New Bedford, MA 02740

WATER SERVICE PERMIT



Date: 1/15/2021

No. **W-21-3**

Permit Fee: \$500.00

Service Location: WS- FARLAND CRC

Owner Name: MIH1 LLC

Owner Phone #: (508) 989-2673

Type of Occupancy: Residential

Type of Work: Water - Domestic New 1"

Work Description: Water Service#34112
Sewer #24914
P.130D L.470
1" COPPER SERVICE

Builders Lot 11
Single Family Home

1-08-2020 to
1-08-2021

NEW OWNER Per Permit
Manuel Freitas

Existing 1 copper service placed on 8" DI WATER MAIN on Farland Circle

Permit

Contractor

Name: FARLAND CORPORATION INC Certificate #: 47544 Type of Business : DPI - Other

Address: 21 VENTURA DRIVE City/Town/State: DARTMOUTH MA Phone #: (508) 717-

Type of Service Pipe Size Trench Length: 0.00

Fire Service

Domestic Service

Call Phone: (781) 942-9077 For Inspection

Farland Corporation Inc.

21 Ventura Drive
Dartmouth, MA 02747
508-717-3479

Baycoast Bank

10035

53-7223/2113
9613

12-23-2020

PAY TO THE
ORDER OF

City of New Bedford

\$ 500.00

Five Hundred $\frac{00}{100}$

DOLLARS

Security features included. Details on back.

MEMO

Water permit
Job #

20-787.11SW



[Signature]
AUTHORIZED SIGNATURE

⑈010035⑈ ⑆211372239⑆ 840979803⑈



LOT # 11

Department of Public Infrastructure

Jamie Ponte
Commissioner

Water
Wastewater
Highways
Engineering
Cemeteries
Park Maintenance
Forestry
Energy

CITY OF NEW BEDFORD

Jonathan F. Mitchell, Mayor

To Whom It May Concern:

I Manoel Freitas 44 Whitewood Dr, being
(Name) (Mailing Address)

Owner of property located at

Plot 130D, Lot 470, hereby agree to allow Farland Corp
(Name)

21 Ventura Drive Dartmouth to act on my behalf including affixing my
(Mailing Address)

signature in securing permit for:

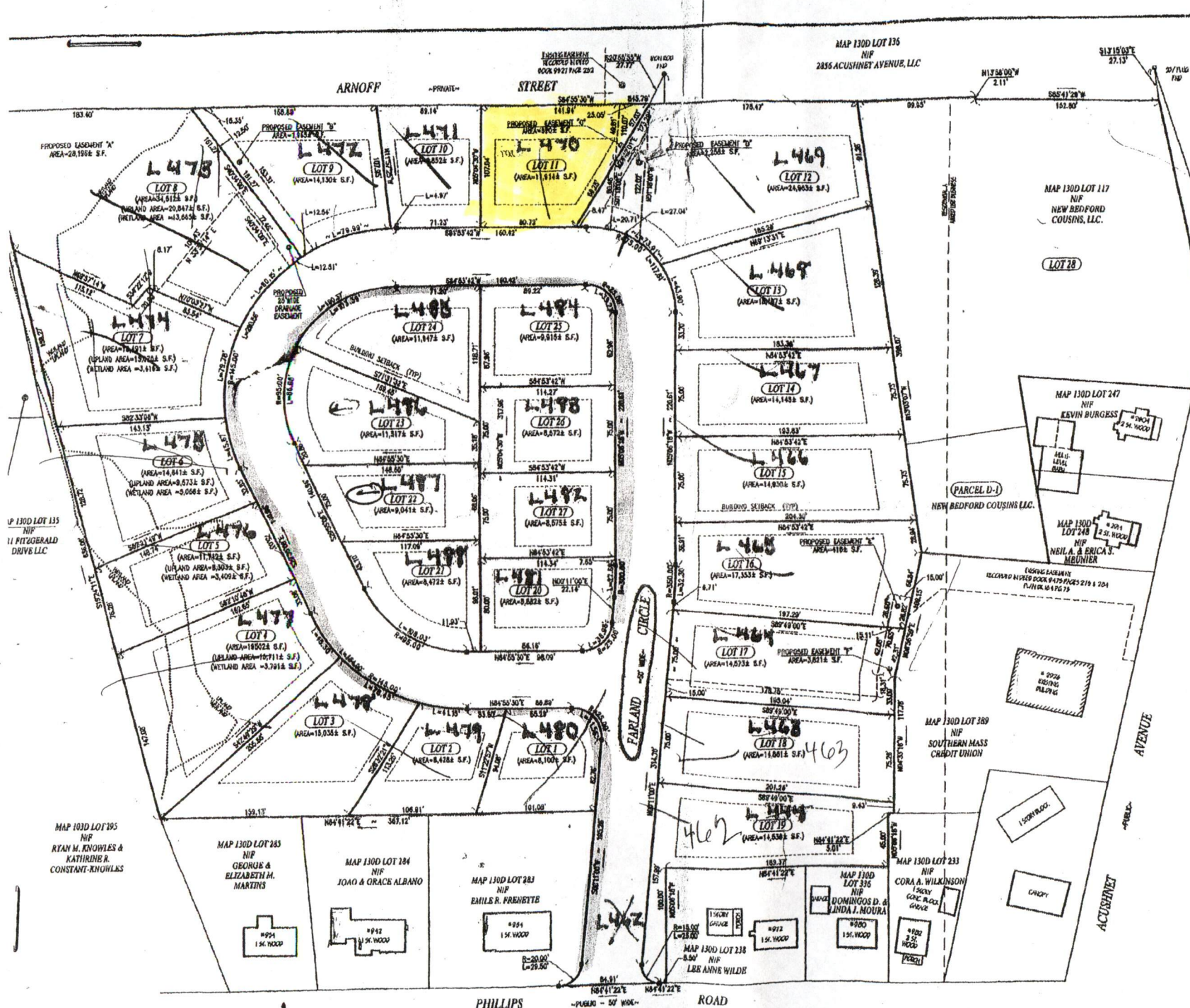
- ☒ Sewer/Drain Service Permits
- ☒ Water Service Permits
- ☒ Driveway Installation Permits
- ☒ Sidewalk Installation Permits

I further agree to conform to, and abide by, All City rules and ask regulations applicable to the permit (s) being applied for:

Name M. Davis
Signature

21 Seth Davis Way
Dartmouth MA 01928
Address

12-23-20 508 989-2673
Date Telephone Number



SEE LAST
SIDE OF
SHEET.

FOR REGISTRY USE ONLY:



I CERTIFY THAT THIS PLAN COMPLIES WITH THE RULES AND REGULATION OF THE REGISTRY OF DEEDS.
Brian J. Murphy
BRIAN J. MURPHY, P.L.S. #38367

NEW BEDFORD PLANNING BOARD
APPROVAL IS REQUIRED UNDER THE SUBDIVISION CONTROL LAW.

[Signature]
[Signature]
[Signature]

DATE APPROVED: 2/14/2019
DATE ENDORSED: 7/11/2018

I CERTIFY THAT 20 DAYS HAVE PASSED SINCE PLANNING BOARD APPROVAL AND NO APPEAL HAS BEEN FILED IN THIS OFFICE.
DATE: 8/2/18
[Signature]
CITY CLERK OF NEW BEDFORD

RECORD OWNER:
ASSESSORS MAP 1300
LOTS 388-408 & 412-419
MH1, LLC
401 COUNTY STREET
NEW BEDFORD, MA 02740
BOOK 12304 PAGE 200

- NOTES:
1. SURVEY PERFORMED BY FARLAND CORP. IN NOVEMBER, 2017.
 2. ZONING DISTRICT: RESIDENTIAL "A" & MIXED USE BUSINESS.
 3. THIS PLAN MODIFIES AN UNRECORDED DEFINITIVE SUBDIVISION PLAN OF "STONE BROOK FARM" PREVIOUSLY APPROVED BY NEW BEDFORD PLANNING BOARD ON JULY 12, 2017.
 4. WETLAND DELINEATION FROM RECORD PLAN OF "STONE BROOK FARM".

-- ZONING DATA --		
DISTRICT: RESIDENTIAL A		
DESCRIPTION		REQUIRED
LOT AREA		8,000 S.F.
LOT FRONTAGE		75 FT
FRONT SETBACK		20 FT
SIDE SETBACK		10/12 FT
REAR SETBACK		30 FT
BUILDING COVERAGE (MAXIMUM)		40 %



INDICATES GRANITE BOUND W/ DRILL HOLE TO BE SET

TB-20-2969

Farland Circle (S.S.) S. x Phillips Rd. (a/k/a Builder's Lot 11)

Plot 130D Lot 470

Reviewed 11/30/2020

PLEASE NOTE:

It is the responsibility of the applicant and the contractors to be familiar with DPI procedures/ regulations and ascertain that all proposed work which falls under DPI jurisdiction, whether shown on the submitted site plan or not, is identified and executed in accordance with City of New Bedford DPI Construction Standards/Specifications. The Certificate of Occupancy (CO) will not be signed for any work performed that is non-compliant and/or if any of the following conditions are not met.

The following conditions are to be met by the applicant (being the owner and/or their representative) as part of this permit approval:

1.) The site plan submitted via email to DPI, titled: "Site Plan, Farland Circle, Assessors Map 130D Lot 470, New Bedford, Massachusetts", having a date of 10/23/2020 (last revised 11/25/2020), as prepared by Farland Corp. and stamped/signed by Christian A. Farland, P.E. (Civil), was accepted as the "final" site plan and conditionally approved by DPI, as follows:

a. The site plan submitted calls out the street to the south of the subject parcel (Arnoff St.) to be a private/paper street. Said street is a Board of Survey St., 25' wide, and should have been labeled accordingly. Also, there is another street that intersects said Arnoff St. (Monson St., which is a Board of Survey St., 50' wide), which remains unlabeled and depicted incorrectly (with dashed lines) on said plan. All future site plans submitted by the engineer will not be accepted unless the abutting streets/parcels are shown correctly.

b. The plan indicates that there may be a sump pump tie-in at this location. The recharge system calculations must incorporate sump pump discharge, and the conditions stipulated by the City Engineer regarding sump pump installations will apply, as follows:

i. The sump pump tie in will require a letter stamped and signed by a registered professional engineer in the Commonwealth of Massachusetts along with the supporting calculations and plans stamped and signed by the same engineer documenting the design and standards. These documents are needed before DPI signs off on the CO.

ii. A concrete lip should be constructed around the sump pump and pit (6-in high) so that if there is a spill in the basement, it cannot flow into the pit and be pumped to the infiltrator unit thereby contaminated the groundwater and site. This needs to be inspected and signed off by our inspector prior to signing of the CO.

iii. A release of liability form will need to be signed by the homeowner documenting that if he/she is identified as dumping pollutants into the pit and causes contamination of the site they are the

responsible party for all cleanup and the City is not responsible. This is not needed by the CO but will be needed 30 days following execution of any property ownership documents.

c. The parcel must be developed in accordance with the conditions set forth in the approved Subdivision Plans.

d. The applicant is responsible for ensuring that Inspectional Services is provided with the "final" site plan (or any modifications approved by DPI thereafter) to be placed on file in the View Permit system.

2.) Must provide 1 stamped/signed copies of the "final" site plan approved by DPI for each of the permits being sought (i.e. water, sewer/drain and sidewalk/driveway permits) for the proposed structure. In addition, a copy of the foundation permit and of the stamped/signed foundation as-built plan must also be submitted.

Please Note: Any representative pulling permits on behalf of the owner must provide DPI with a permission slip. If the property was acquired within the past 6 months, then a copy of the recorded deed showing property ownership must also be provided.

3.) Must contact DPI-Engineering to measure for an address number once the front door is framed. The CO will not be signed unless the legal address issued by the City is permanently affixed to, above, or next to, the main door entrance to which it was assigned such that it is highly visible from the street.

Please be advised that any and all future modifications to the site plan that was reviewed/approved for the above project and placed on file at DPI as the "final" site plan must be resubmitted for review/approval if said changes entail work that falls under the jurisdiction of DPI.

Please provide a copy of the DPI review comments to the applicant at the time they are issued the foundation permit. It is imperative that the applicants receive these comments so that they are aware of the conditions under which their permit was approved.



Commonwealth of Massachusetts

CITY OF NEW BEDFORD

City Hall, Room 308, 133 William Street New Bedford, MA 02740 (508) 979-1540



No. **B-20-2969**

FOUNDATION PERMIT

12/8/2020

MSBC Sect. 111.8 - Any permit issued shall be deemed abandoned and invalid unless the work authorized by it shall have been commenced within six (6) months after its issuance.

FEE PAID \$100.00

This certifies that **MICHAEL CORREIA**

owner/contractor has permission to:

on:

ES-

STONEY BROOK LN

130D

-470

Foundations Only 1-2 Family - 100.00

Providing that the person accepting this permit shall in every respect conform to the terms of application therefore on file in this office; to the provisions of the statute of the Commonwealth and to the by-laws of the City of New Bedford relating to the inspection, erection, enlarging, altering, raising, moving, repairing, or tearing down of a building.

Permit is issued subject to the following special requirements: (Restrictions)



Wiring Inspector



Plumbing Inspector



Building Inspector

YOUR AREA INSPECTOR IS: **Thomas Welch**

Tel. (508) 979-1540 Between 8:00am - 9:00am

NOTICE: NOTIFY INSPECTOR 48 HOURS IN ADVANCE OF APPLYING SHEATHING OR LATHING

OCCUPANCY PERMIT REQUIRED BEFORE OCCUPANCY

No Building or Structure shall be used or occupied until the Certificate of Use and Occupancy shall have been issued by the Building Commissioner - MSBC, Sect. 120.1

This Card Must Be Displayed in a Conspicuous Place on the Premises and Not Torn Down or Removed Until Completion of Work

SUBJECT TO MASSACHUSETTS
STATE BUILDING CODE

Dan O'Donoghue



Commonwealth of Massachusetts
Division of Professional Licensure

Hoisting Engineer

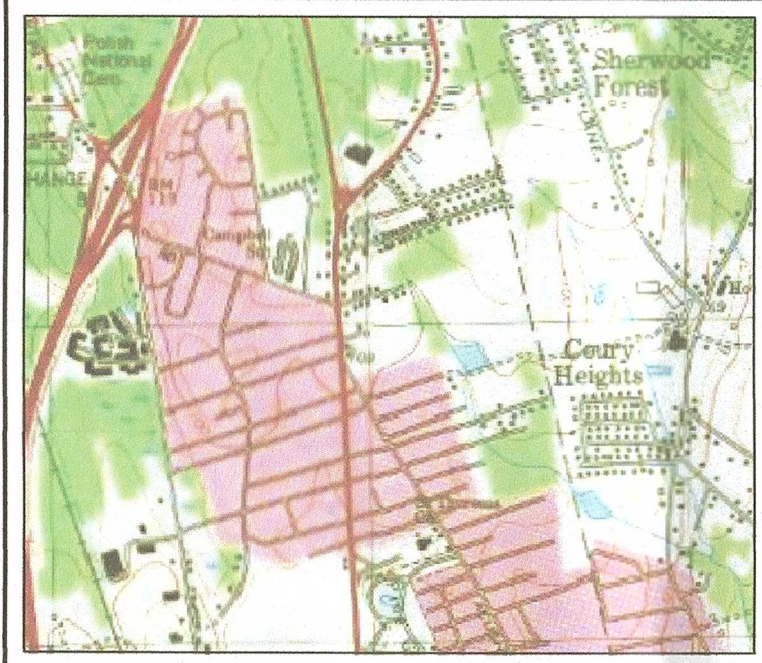
IE-166212

Expires: 03/16/2021

MICHAEL ATKINSON
647 HIGHLAND AVENUE
NORTH DARTMOUTH MA 02747



Commissioner



LOCUS MAP SCALE: 1"=2,000'±

SUBSURFACE ROOF RECHARGE UNIT SIZING CALCULATIONS:

INFLOW AREA = 695 SF, 100.00% IMPERVIOUS, INFLOW DEPTH = 6.76" FOR 100-YEAR STORM EVENT
INFLOW = 0.11 CFS @ 12.09 HRS, VOLUME= 392 CF
OUTFLOW = 0.01 CFS @ 11.60 HRS, VOLUME= 392 CF, ATTN= 88%, LAG= 0.0 MIN
DISCARDED = 0.01 CFS @ 11.60 HRS, VOLUME= 392 CF

ROUTING BY STOR-IND METHOD, TIME SPAN= 0.00-30.00 HRS, DT= 0.05 HRS
PEAK ELEV= 97.60' @ 12.68 HRS SURF AREA= 66 SF REQUIRED STORAGE= 121 CF

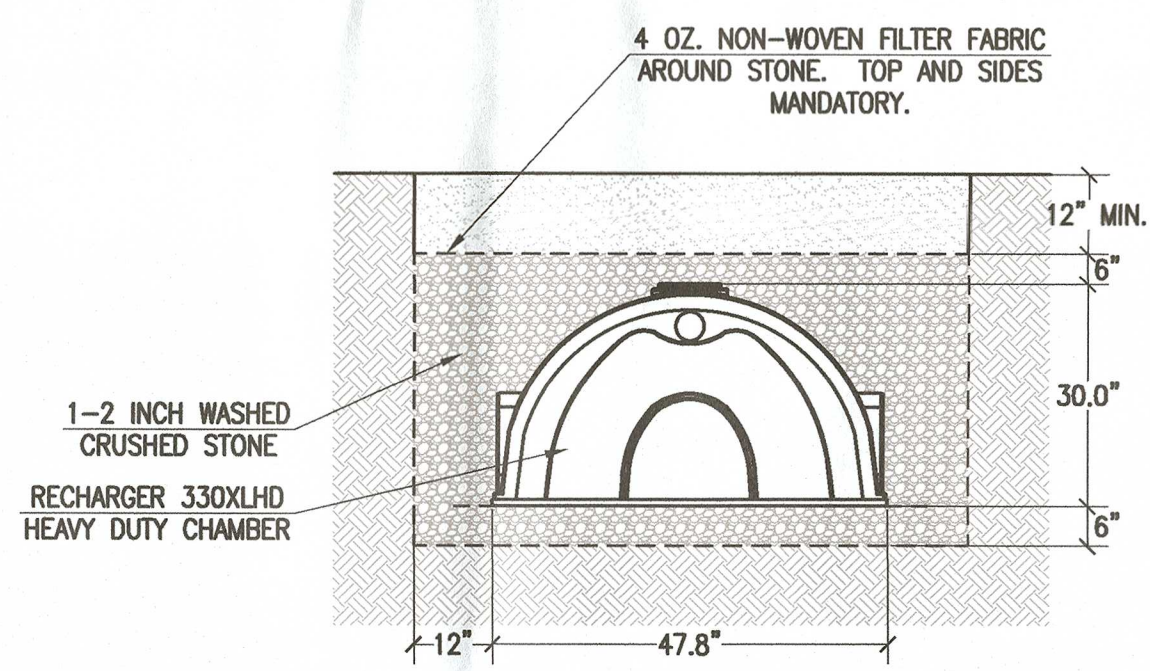
VOLUME	INVERT	AVAIL STORAGE	STORAGE DESCRIPTION
#1	94.50'	69 CF	6.33'W X 10.50'L X 3.54'H PRISMATOID X 1 236 CF OVERALL - 63 CF EMBEDDED = 172 CF X 40.0% VOIDS
#2	95.00'	63 CF	47.8'W X 30.0'H X 7.00'L PARABOLIC ARCH X 1 INSIDE #1
#3	97.00'	1 CF	0.33'D X 10.0'H VERTICAL CONE/CYLINDER-IMPERVIOUS

TOTAL AVAILABLE STORAGE = 133 CF >>> 121 CF

*PLEASE NOTE: THESE CALCULATIONS ARE PER UNIT. THERE ARE 2 UNITS ONSITE.

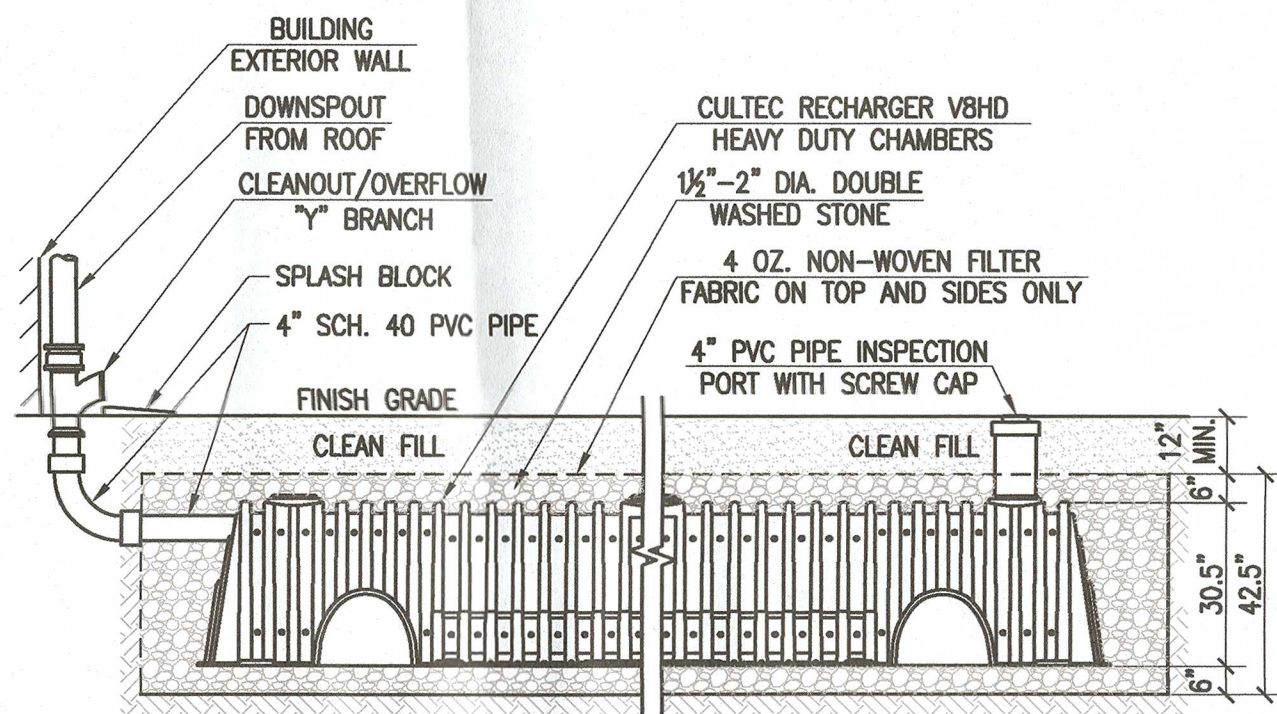
- ZONING DATA -
DISTRICT: RA - RESIDENTIAL A

DESCRIPTION	REQUIRED	PROVIDED
LOT AREA	8,000 S.F.	11,914± S.F.
LOT FRONTAGE	75 FT	80.7 FT
FRONT SETBACK	20 FT	21.0± FT
SIDE SETBACK	10/12 FT	12.0±/23.3± FT
REAR SETBACK	30 FT	52.5± FT
BUILDING HEIGHT (MAXIMUM)	45 FT	30± FT
BUILDING COVERAGE (MAXIMUM)	30 %	11.6± %
LOT COVERAGE (MAXIMUM)	65 %	16.5± %



CULTEC RECHARGER 330XLHD STANDARD CROSS SECTION

NOT TO SCALE

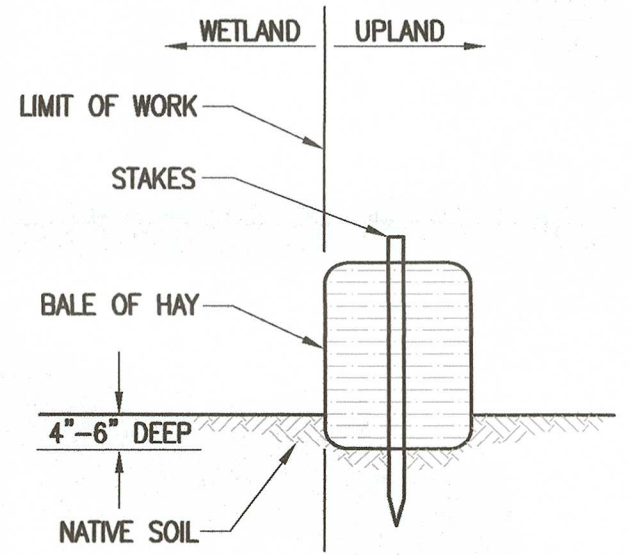


ROOF RECHARGE SYSTEM

NOT TO SCALE

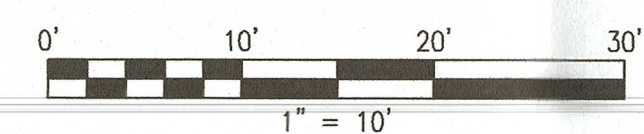
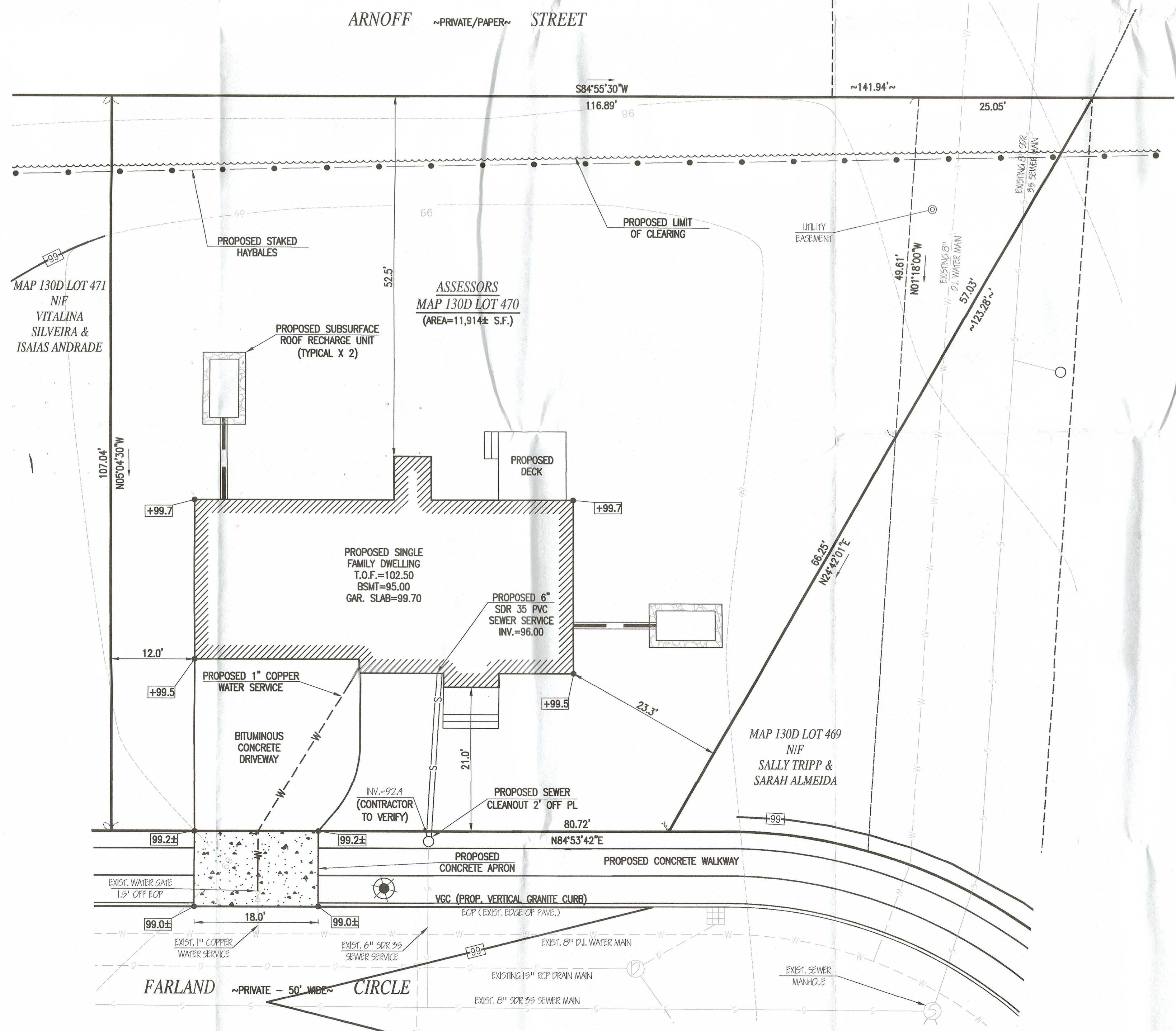
RECORD OWNER:
ASSESSORS MAP 130D LOT 470
MIH1, LLC
21 VENTURA DRIVE
DARTMOUTH, MA 02747
DEED BOOK 12304 PAGE 200

- NOTES:**
- TOPOGRAPHIC AND PROPERTY LINE SURVEY PERFORMED BY FARLAND CORP. IN NOVEMBER OF 2017.
 - PORTION OF DRIVEWAY BETWEEN EDGE OF ROADWAY AND PROPERTY LINE SHALL BE CONCRETE.
 - ROOF RECHARGE SYSTEMS HAVE BEEN OVER DESIGNED TO WITHSTAND THE 100-YEAR STORM EVENT AND THE TIE-IN OF A SUMP PUMP SYSTEM, IF NECESSARY.
 - IF SUMP PUMP IS INSTALLED, A CONCRETE LIP MUST BE INSTALLED AROUND THE SUMP PUMP.



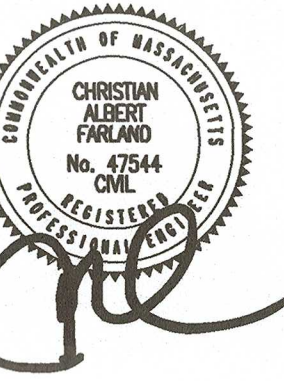
STAKED HAY BALES

NOT TO SCALE



REVISIONS

1	11/17/20	DPI COMMENTS
2	11/19/20	DPI COMMENTS
3	11/24/20	DPI COMMENTS
4	11/25/20	DPI COMMENTS



www.FarlandCorp.com

401 COUNTY STREET
NEW BEDFORD, MA 02740
P.508.717.3479
OFFICES IN:
•TAUNTON
•MARLBOROUGH
•WARWICK, RI

DRAWN BY: JT
DESIGNED BY: JT
CHECKED BY: CAF

SITE PLAN

FARLAND CIRCLE
ASSESSORS MAP 130D LOT 470
NEW BEDFORD, MASSACHUSETTS

PREPARED FOR:
V&Z CONSTRUCTION
51 BRIGHAM STREET
NEW BEDFORD, MA 02740

OCTOBER 23, 2020
SCALE: 1"=10'
JOB NO. 20-631
LATEST REVISION:
NOVEMBER 25, 2020

SHEET 1 OF 1