

Expires 12-9-2021

W-20-30
SERVICE 34109

Sewer 24910

NEW BEDFORD WATER WORKS

APPLICATION FOR SERVICE AND METER

NEW BEDFORD 12-9-2020

I HEREBY ACKNOWLEDGE the receipt of a copy of the Regulations prescribed in the Ordinance of the City, for the use of Water, and I request that the water may be furnished through a

1 inch COPPER meter at Farland Circle (E.S.) x Phillips Rd.
Single Family Builders lot #1 & 2

at such rates as may from time to time be established by the City.

I hereby agree to pay promptly the bill for the Service pipe laid down for my premises, and to pay all dues for water, and I agree to conform to the said Regulations and to all provisions of the Water Ordinances, until written notice is given by me or my agent to cut off the supply.

P. 130D

L. 484

Builders lot #1 & 2

TELEPHONE 508-441-8606

X See attached for signature

Eddie Lopez

129 Holliston Ave

Fairhaven, MA 00719

Service laid

Size and kind of pipe

From Contractor Jives LLC, 8" DI water main in Farland Circle

Turned on

Single Family - New Build

Meter Set

Reading

Location

Building rates

Paid

Cost of Service

\$ 500

CHK # 1267

Paid

31-727

69'
8' "
26'
33'
34'

8-26-2021 Inspected Percy R

8
 P/V Mark 8/30/2007
 Apt 9/8/2007
 @ 8:30

DISPLAY PERMIT IN A CONSPICUOUS PLACE ON THE PREMISES



Commonwealth of Massachusetts

City of New Bedford

133 William Street New Bedford, MA 02740

WATER SERVICE PERMIT



Date: 12/23/2020

No. **W-20-30**

Permit Fee: \$500.00

Service Location: ES- STONEY BROOK LN

Owner Name: LOPEZ DEVELOPMENT LLC

Owner Phone #: (508) 441-8606

Type of Occupancy: Residential

Type of Work: Water - Domestic New 1"

Work Description: Water Service#34109
P.130D L.484

Farland Circle ES S x Phillips

expires 12-9-2021
new single family

sewer#24910

Contractor

Name: _____ Certificate #: _____ Type of Business : _____

Address: _____ City/Town/State: _____ Phone #: _____

Type of Service _____ Pipe Size _____ Trench Length: **0.00**

Fire Service _____

Domestic Service _____

Estimated consumption of water

Estimated average daily consumption 0.00 gallons

Estimated maximum day consumption 0.00 gallons

Are lawn sprinklers and/or lawn irrigation proposed on site? **No**

Estimated fire flows required for the project site: 0.00

Does the project require a fire suppression system? **No**

Cross Connection? **No**

Right of Way? **No**

Meter Impact? **No**

Street Opening Permit Required? **No**

Call Phone: (781) 942-9077 For Inspection

DISPLAY PERMIT IN A CONSPICUOUS PLACE ON THE PREMISES

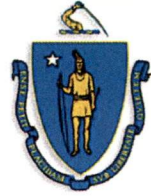


Commonwealth of Massachusetts

City of New Bedford

133 William Street New Bedford, MA 02740

WATER SERVICE PERMIT



Required minimum static pressure for the proposed project site 0.00

GRANTED WITH THE USUAL CONDITIONS

Water

COMMISSIONER

Call Phone: (781) 942-9077 For Inspection



Commonwealth of Massachusetts

CITY OF NEW BEDFORD

City Hall, Room 308, 133 William Street New Bedford, MA 02740 (508) 979-1540



FOUNDATION PERMIT

No. **B-20-2218**

10/19/2020

MSBC Sect. 111.8 - Any permit issued shall be deemed abandoned and invalid unless the work authorized by it shall have been commenced within six (6) months after its issuance.

FEE PAID \$100.00

This certifies that **Eddie Lopez**

owner/contractor has permission to:

ES- STONEY BROOK LN

on:

130D
-484

Foundations Only 1-2 Family - 100.00

Providing that the person accepting this permit shall in every respect conform to the terms of application therefore on file in this office; to the provisions of the statute of the Commonwealth and to the by-laws of the City of New Bedford relating to the inspection, erection, enlarging, altering, raising, moving, repairing, or tearing down of a building.

Permit is issued subject to the following special requirements: (Restrictions)



Wiring Inspector



Plumbing Inspector



Building Inspector

YOUR AREA INSPECTOR IS: **Thomas Welch**

Tel. (508) 979-1540 Between 8:00am - 9:00am

**NOTICE: NOTIFY INSPECTOR 48 HOURS IN
ADVANCE OF APPLYING SHEATHING OR LATHING**

OCCUPANCY PERMIT REQUIRED BEFORE OCCUPANCY

No Building or Structure shall be used or occupied until the Certificate of Use and Occupancy shall have been issued by the Building Commissioner - MSBC, Sect. 120.1

This Card Must Be Displayed in a Conspicuous Place on the Premises and Not Torn Down or Removed Until Completion of Work

SUBJECT TO MASSACHUSETTS
STATE BUILDING CODE

Donny O. O'Rourke

Expires 12-9-2021

SERVICE 34109
Sewer 24910

NEW BEDFORD WATER WORKS
APPLICATION FOR SERVICE AND METER

NEW BEDFORD 12-9-2020

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1 inch COPPER meter at Farland Circle (E.S.) 5 x Phillips Rd.
Single family Builders lot # 24

at such rates as may from time to time be established by the City.
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P. 130D

L. 484

Builders lot # 24

TELEPHONE 508-441-8606

Eddie Lopez

129 Hattleston Ave

Fairhaven, MA 01919 11" Copper

Service laid

Size and kind of pipe

8" DI Water main in Farland Circle

Turned on Single Family - New Build

Meter Set

Reading

Location

Building rates

Cost of Service

\$ 500

CHK # 1268

Paid

Paid

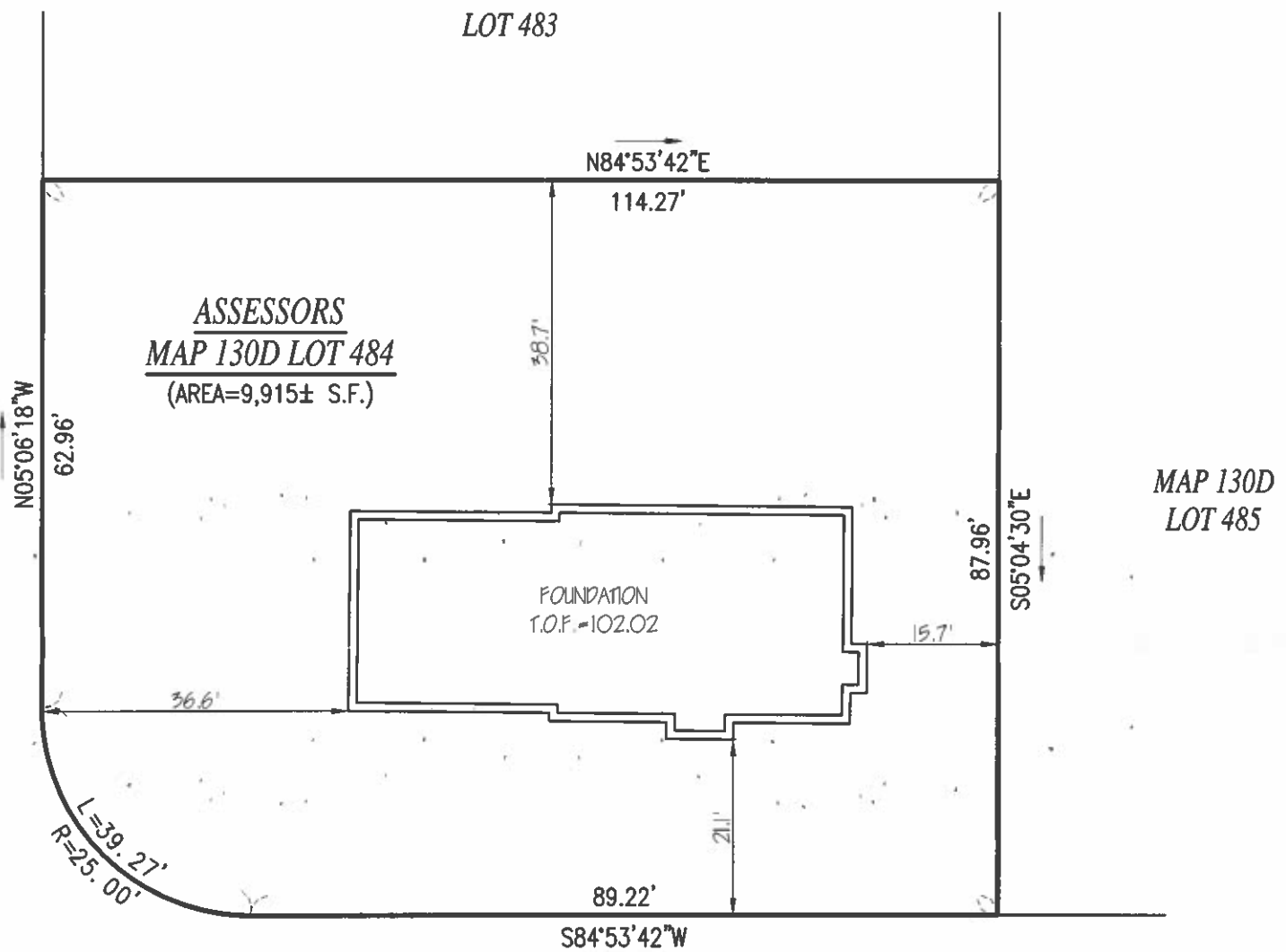


— ZONING DATA —

<u>DISTRICT:</u>	RA — RESIDENTIAL A
<u>DESCRIPTION</u>	<u>REQUIRED</u>
FRONT SETBACK	20 FT
SIDE SETBACK	10/12 FT
REAR SETBACK	30 FT

MAP 130D
LOT 483

FARLAND CIRCLE
~50' WIDE~



FARLAND ~50' WIDE~ CIRCLE

RECORD OWNER:

ASSESSORS MAP 130D LOT 484
LOPEZ DEVELOPMENT, LLC
129 HUTTLESTON AVENUE
FAIRHAVEN, MA 02719
DEED BOOK 12989 PAGE 18
PLAN BOOK 178 PAGE 35

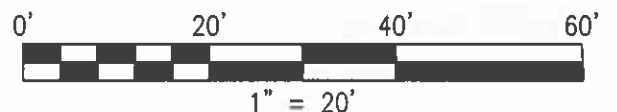
NOTE:

AS-BUILT SURVEY PERFORMED BY FARLAND CORP IN DECEMBER 2020

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ANY MODIFICATIONS MADE TO THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF FARLAND CORP. SHALL RENDER IT INVALID AND UNUSABLE.



FOUNDATION AS-BUILT
LOT 25 FARLAND CIRCLE
ASSESSORS MAP 130D LOT 484
NEW BEDFORD, MASSACHUSETTS



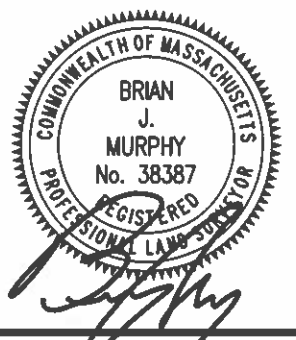
www.FarlandCorp.com

21 VENTURA DRIVE
DARTMOUTH, MA 02747
P.508.717.3479

- ENGINEERING
- SITEWORK
- LAND SURVEYING
- DEVELOPMENT

PREPARED FOR:

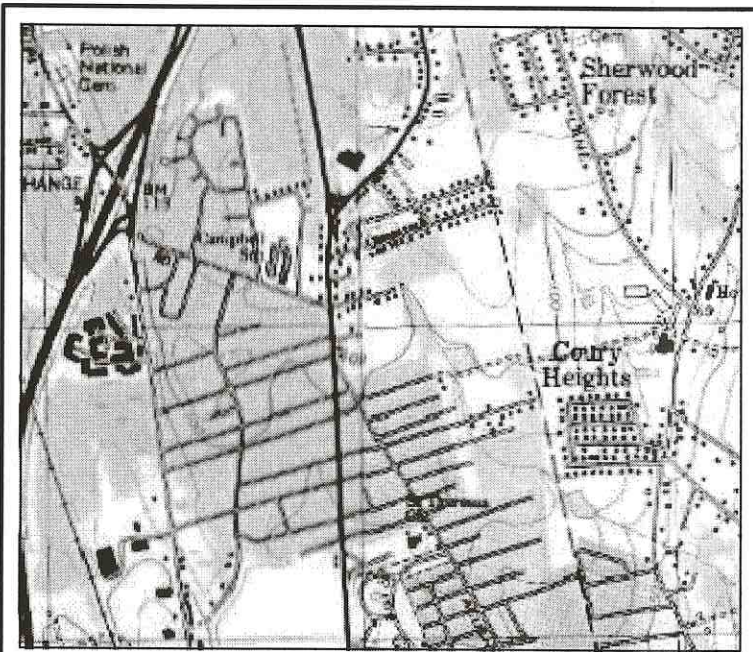
LOPEZ DEVELOPMENT — EDDIE LOPEZ
129 HUTTLESTON AVENUE
FAIRHAVEN, MA 02719



SCALE: 1"=20'

DECEMBER 3, 2020

JOB NO: 19-744.25



LOCUS MAP SCALE: 1"=2,000'±

SUBSURFACE ROOF RECHARGE UNIT SIZING CALCULATIONS:

INFLOW AREA = 770 SF, 100.00% IMPERVIOUS, INFLOW DEPTH = 6.76" FOR 100-YEAR STORM EVENT
 INFLOW = 0.12 CFS @ 12.09 HRS, VOLUME= 434 CF
 OUTFLOW = 0.03 CFS @ 12.49 HRS, VOLUME= 434 CF, ATTN= 71%, LAG= 24.4 MIN
 DISCARDED = 0.01 CFS @ 11.50 HRS, VOLUME= 427 CF

ROUTING BY STOR-IND METHOD, TIME SPAN= 0.00-30.00 HRS, DT= 0.05 HRS
 PEAK ELEV= 99.58' @ 12.50 HRS SURF AREA= 66 SF REQUIRED STORAGE= 132 CF

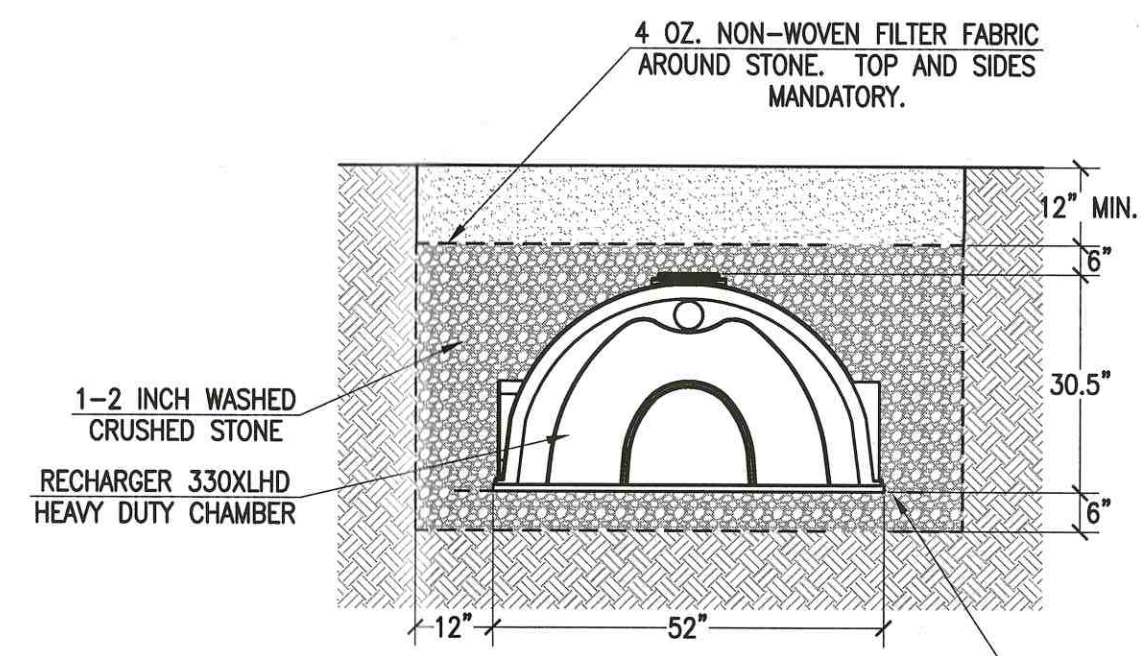
VOLUME INVERT AVAILABLE STORAGE STORAGE DESCRIPTION
 #1 94.90' 69 CF 6.33'W X 10.50'L X 3.54'H PRISMATOID X 1
 236 CF OVERALL - 63 CF EMBEDDED = 172 CF X 40.0% VOIDS
 #2 95.40' 63 CF 47.8'W X 30.0'H X 7.00'L PARABOLIC ARCH X 1 INSIDE #1
 #3 97.50' 1 CF 0.33'D X 10.0'H VERTICAL CONE/CYLINDER-IMPERVIOUS

TOTAL AVAILABLE STORAGE = 133 CF >>> 132 CF

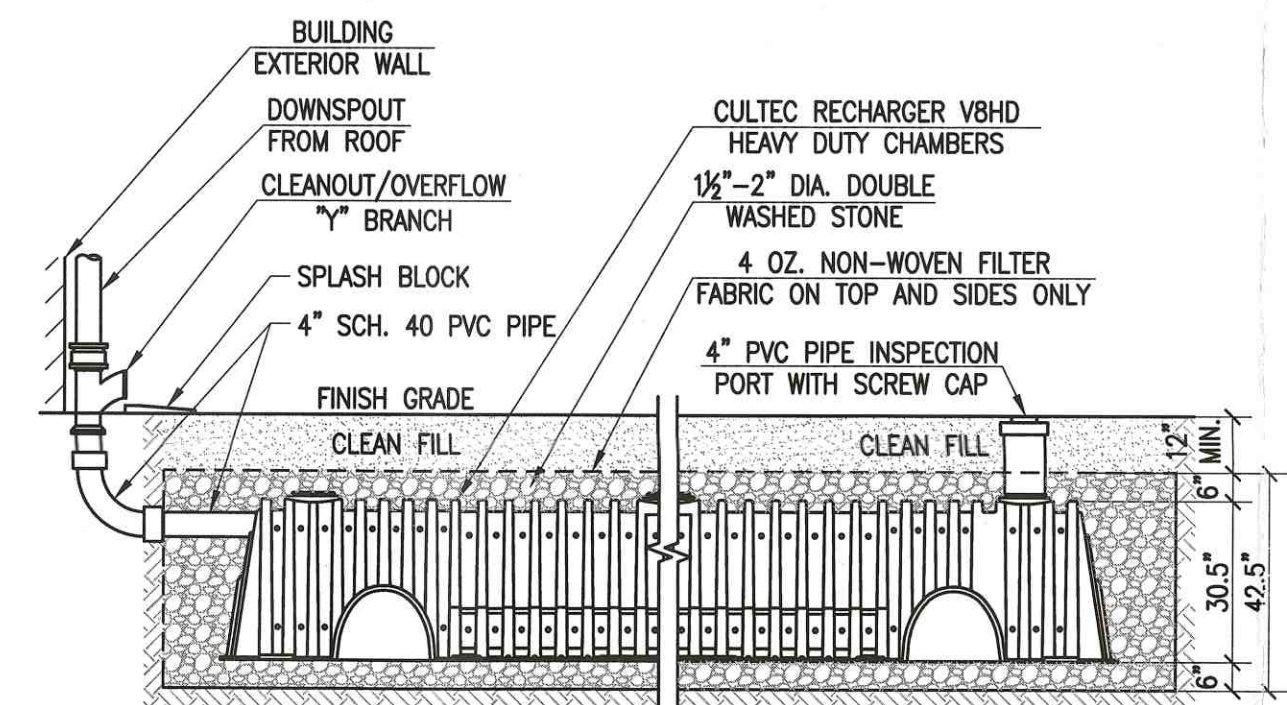
*PLEASE NOTE: THESE CALCULATIONS ARE PER UNIT. THERE ARE 2 UNITS ONSITE.

- ZONING DATA - DISTRICT: RA - RESIDENTIAL A

DESCRIPTION	REQUIRED	PROVIDED
LOT AREA	8,000 S.F.	11,947± S.F.
LOT FRONTAGE	75 FT	191.1 FT
FRONT SETBACK	20 FT	21.0± FT
SIDE SETBACK	10/12 FT	15.6± FT
REAR SETBACK	30 FT	39.0± FT
BUILDING HEIGHT (MAXIMUM)	45 FT	30± FT
BUILDING COVERAGE (MAXIMUM)	30 %	12.8± %
LOT COVERAGE (MAXIMUM)	65 %	16.8± %



CULTEC RECHARGER 330XLHD STANDARD CROSS SECTION
NOT TO SCALE

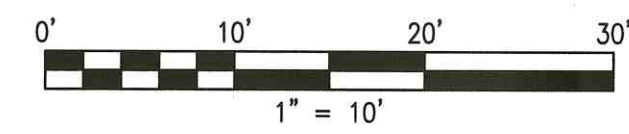
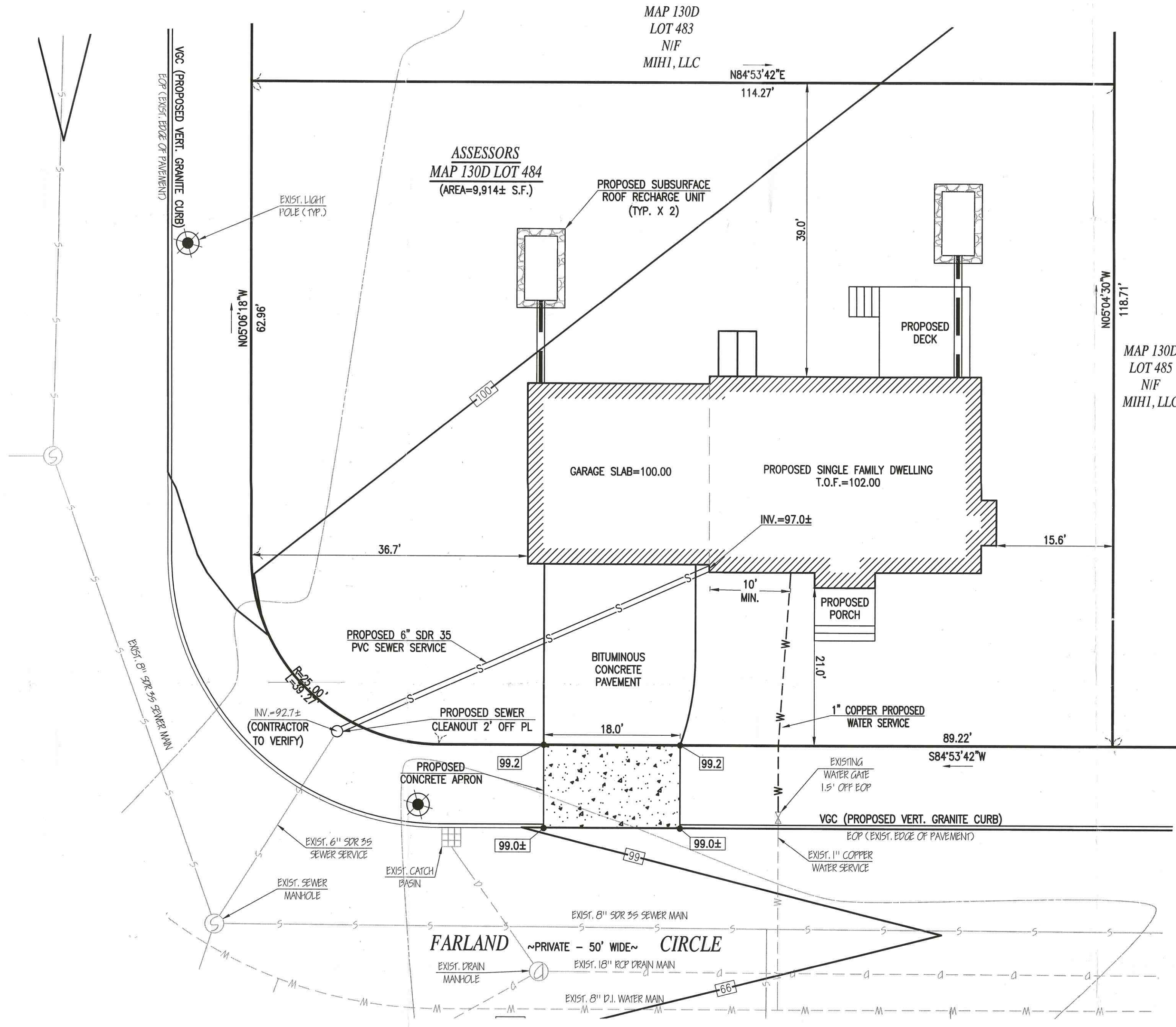


ROOF RECHARGE SYSTEM
NOT TO SCALE

RECORD OWNER:
 ASSESSORS MAP 130D LOT 484
 LOPEZ DEVELOPMENT
 129 HUTTLESTON AVE
 FAIRHAVEN, MA 02719
 DEED BOOK 12989 PAGE 18

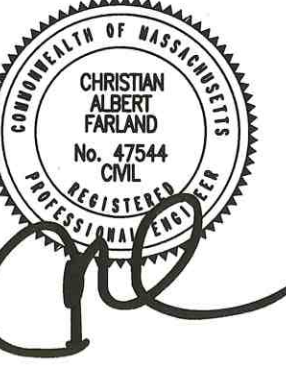
NOTES:

- TOPOGRAPHIC AND PROPERTY LINE SURVEY PERFORMED BY FARLAND CORP. IN NOVEMBER OF 2017.
- PORTION OF DRIVEWAY BETWEEN EDGE OF ROADWAY AND PROPERTY LINE SHALL BE CONCRETE.
- ROOF RECHARGE SYSTEMS HAVE BEEN OVER DESIGNED TO WITHSTAND THE 100-YEAR STORM EVENT AND THE TIE-IN OF A SUMP PUMP SYSTEM, IF NECESSARY.
- IF SUMP PUMP IS INSTALLED, A CONCRETE LIP MUST BE INSTALLED AROUND THE SUMP PUMP.



REVISIONS

NO.	DATE	DESCRIPTION



www.FarlandCorp.com

401 COUNTY STREET
 NEW BEDFORD, MA 02740
 P.508.717.3479

OFFICES IN:

- TAUNTON
- MA:LBOROUGH
- WARWICK, RI

DRAWN BY: JT
 DESIGNED BY: CAF/JT
 CHECKED BY: CAF

SITE PLAN

— FARLAND CIRCLE —
 ASSESSORS MAP 130D LOT 484
 NEW BEDFORD, MASSACHUSETTS

PREPARED FOR:
 LOPEZ DEVELOPMENT
 129 HUTTLESTON AVE
 FAIRHAVEN, MA 02719

AUGUST 11, 2020

SCALE: 1"=10'

JOB NO. 19-744.25

LATEST REVISION:

SHEET 1 OF 1