

Expires 12-9-2021

W-20-33  
SERVICE 34107  
Sewer # 24908

NEW BEDFORD WATER WORKS  
APPLICATION FOR SERVICE AND METER  
NEW BEDFORD 12-9-2020

I HEREBY ACKNOWLEDGE the receipt of a copy of the Regulations prescribed in the Ordinance of the City, for the use of Water, and I request that the water may be furnished through a

1" inch Copper meter at Folland Circle (ES) Sx Phillips Rd

at such rates as may from time to time be established by the City.

I hereby agree to pay promptly the bill for the Service pipe laid down for my premises, and to pay all dues for water, and I agree to conform to the said Regulations and to all provisions of the Water Ordinances, until written notice is given by me or my agent to cut off the supply.

P. 1307 Builders Lot \* 20\*

L. 481

TELEPHONE 508-441-8606

X. Sealed

129 Hattleston Ave

Fairhaven MA, 02719

Service laid

JVES LLC

Size and kind of pipe

1" Copper

From

Existing 1" copper stub connected to 8" Dmain located on Folland Circle

Turned on

Single Family - New Build

Meter Set

Reading

Sewer #

Location

Building rates

Paid

Cost of Service

\$500.00

CHK # 1261

Paid

31-727

S	x	s	line farland circle north	64'
w	x	e	linefarland circle	7'
S	x	s	line house	13'
S	x	n	line house	40'
w	x	w	line house	37'

Percy inspected 8-26-2021

9-8-2021  
8:30

W. M. V.  
OK Black 8/30/2021

Expires 12-9-2021

SERVICE 34107

SEWER 24908

# NEW BEDFORD WATER WORKS

## APPLICATION FOR SERVICE AND METER

NEW BEDFORD 12-9-2020

I HEREBY ACKNOWLEDGE the receipt of a copy of the Regulations prescribed in the Ordinance of the City, for the use of Water, and I request that the water may be furnished through a

1" inch Copper meter at Forked Circle (ES) S x Phillips Rd

at such rates as may from time to time be established by the City.

I hereby agree to pay promptly the bill for the Service pipe laid down for my premises, and to pay all dues for water, and I agree to conform to the said Regulations and to all provisions of the Water Ordinances, until written notice is given by me or my agent to cut off the supply.

P. 1308 Builders Lot \* 20\*

L. 481

TELEPHONE 508-441-8606

129 Huttons Cwe  
Rathven MA, 02119

Service laid

Jives, LLC

Size and kind of pipe

1" Copper

From

Existing 1" Copper stub connected to 8" di main located on Forked Circle

Turned on

Single Family - New Build

Meter Set

Reading

SEWER #

Location

Building rates

\$500.00

CHK # 1261

Paid

Cost of Service

Paid

31-727



DISPLAY PERMIT IN A CONSPICUOUS PLACE ON THE PREMISES



Commonwealth of Massachusetts

# City of New Bedford

133 William Street New Bedford, MA 02740

## WATER SERVICE PERMIT



Date: 1/4/2021

No. **W-20-33**

Permit Fee: \$500.00

Service Location: WS- FARLAND CRC

Owner Name: LOPEZ DEVELOPMENT, LLC

Owner Phone #: (508) 441-8606

Type of Occupancy: Residential

Type of Work: Water - Domestic New 1"

Work Description: WATER SERVICE# 34107  
SEWER PERMIT# 24908

130D-481  
FARLAND CIRCLE ES S X PHILLIPS RD

BUILDERS LOT 20  
EXPIRES 12-9-2021

EXISTING 1" COPPER STUB CONNECTED TO 8" di MAIN LOCATED ON FARLAND CIRCLE

### Contractor

Name: \_\_\_\_\_ Certificate #: \_\_\_\_\_ Type of Business: \_\_\_\_\_

Address: \_\_\_\_\_ City/Town/State: \_\_\_\_\_ Phone #: \_\_\_\_\_

Type of Service \_\_\_\_\_ Pipe Size \_\_\_\_\_ Trench Length: **0.00**

Fire Service \_\_\_\_\_

Domestic Service \_\_\_\_\_

### Estimated consumption of water

Estimated average daily consumption 0.00 gallons

Estimated maximum day consumption 0.00 gallons

Are lawn sprinklers and/or lawn irrigation proposed on site? **No**

Estimated fire flows required for the project site: 0.00

Cross Connection? **No**

Right of Way? **No**

Meter Impact? **No**

Street Opening Permit Required? **No**

**Call Phone: (781) 942-9077 For Inspection**



**DISPLAY PERMIT IN A CONSPICUOUS PLACE ON THE PREMISES**



Commonwealth of Massachusetts

# City of New Bedford

133 William Street New Bedford, MA 02740

## WATER SERVICE PERMIT



Does the project require a fire suppression system? No

Required minimum static pressure for the proposed project site 0.00

**GRANTED WITH THE USUAL CONDITIONS**

\_\_\_\_\_  
COMMISSIONER

**Call Phone: (781) 942-9077 For Inspection**

34108

APPLICATION No.:

LOCATION: Farland Circle NS S x Phillips Rd

OWNER:

31-313

MEASURES:

P.130D L.485

1" COPPER New Service

E x E Line Farland Circle West 150.0'

S x N Line Farland Circle 6.3'

E x W line house 21.0'

W x E line house 40.0'

S x S line house 30.0'

Main to property line 34.0'

Pipe inside property 27.0'

8-27-2021: Service intalled by Jives

Inspector: P. Reynolds

## TAP CLEARED

DATE	BEF.	AFT.	REMARKS
------	------	------	---------

[illegible]

X 1/30/2021 PU 10/10/21



1264

53-7064/2113

**Lopez Development LLC**  
Quality, Integrity, Trust  
129 Huttleston Ave  
Fairhaven, MA 02719

**Lopez Development LLC**  
Quality, Integrity, Trust

PAY TO THE ORDER OF City of New Bedford

Five hundred and 0/100

DATE 12/07/2020

\$ 500.00

FOR Lot 25 Farland Cir Water

BankFive  
FALL RIVER, MA 02722

DOLLARS

Security Features

Details on back

1100126411 21137064219020305511

cliff

EXPIRES 12-9-2021

**NEW BEDFORD WATER WORKS**  
APPLICATION FOR SERVICE AND METER  
NEW BEDFORD 12-9-2020

SERVICE 34108  
Sewer # 24909

I HEREBY ACKNOWLEDGE the receipt of a copy of the Regulations prescribed in the Ordinance of the City, for the use of Water, and I request that the water may be furnished through a

1" inch COPPER meter at Farland Circle (NS)

S x Phillips Rd. Single Family

at such rates as may from time to time be established by the City.

I hereby agree to pay promptly the bill for the Service pipe laid down for my premises, and to pay all dues for water, and I agree to conform to the said Regulations and to all provisions of the Water Ordinances, until written notice is given by me or my agent to cut off the supply.

p. 1307.

2.485

Buildings Lot 24\* TELEPHONE 508-441-8660

Service laid Jives Size and kind of pipe 1" Copper

From Existing 1" copper stub connected to 8" di main located on Farland Circle

Turned on Single Family - New Build Meter Set

Reading Sewer # Location

Building rates

Cost of Service \$500 CH# 1264

31-727

Eddie Lopez  
129 Huttleston Ave  
Fairhaven MA 02719

cont bind original  
Cord.  
C.T.



ASR-DPI Engrg.

RE: TB-20-834

Farland Circle (E.S.) S. x Phillips Rd. (a/k/a Builder's Lot 20)

Plot 130D Lot 481

Reviewed 6/23/2020

PLEASE NOTE:

It is the responsibility of the applicant and the contractors to be familiar with DPI procedures/ regulations and ascertain that all proposed work which falls under DPI jurisdiction, whether shown on the submitted site plan or not, is identified and executed in accordance with City of New Bedford DPI Construction Standards/Specifications. The Certificate of Occupancy (CO) will not be signed for any work performed that is non-compliant and/or if any of the following conditions are not met.

The following conditions are to be met by the applicant (being the owner and/or their representative) as part of this permit approval:

- 1.) The site plan submitted via the View Permit system to DPI, titled: "Site Plan, Farland Circle, Assessors Map 130D Lot 481, New Bedford, Massachusetts", having a date of 4/21/2020 (last revised date of 6/23/2020), as prepared by Farland Corp. and stamped/signed by Christian A. Farland, P.E. (Civil), was approved as the "final" site plan and conditionally approved by DPI, as follows:
  - a. The plan indicates that there may be a sump pump tie-in at this location. The recharge system calculations must incorporate sump pump discharge, and the conditions stipulated by the City Engineer regarding sump pump installations will apply, as follows:
    - i. The sump pump tie in will require a letter stamped and signed by a registered professional engineer in the Commonwealth of Massachusetts along with the supporting calculations and plans stamped and signed by the same engineer documenting the design and standards. These documents are needed before DPI signs off on the CO.
    - ii. A concrete lip should be constructed around the sump pump and pit (6-in high) so that if there is a spill in the basement, it cannot flow into the pit and be pumped to the infiltrator unit thereby contaminated the groundwater and site. This needs to be inspected and signed off by our inspector prior to signing of the CO.

iii. A release of liability form will need to be signed by the homeowner documenting that if he/she is identified as dumping pollutants into the pit and causes contamination of the site they are the responsible party for any and all cleanup and the City is not responsible. This is not needed by the CO but will be needed 30 days following execution of any property ownership documents.

b. The parcel must be developed in accordance with the conditions set forth in the approved Subdivision Plans.

c. The applicant is responsible for ensuring that Inspectional Services is provided with the "final" site plan (or any modifications approved by DPI thereafter) to be placed on file in the View Permit system.

2.) Must provide 6 stamped/signed copies of the "final" site plan approved by DPI when applying for the water, sewer/drain and sidewalk/driveway permits for the proposed structure. In addition, a copy of the foundation permit and of the stamped/signed foundation as-built plan must also be submitted.

Please Note: Any representative pulling permits on behalf of the owner must provide DPI with a permission slip. If the property was acquired within the past 3 months, then a copy of the recorded deed showing property ownership must also be provided.

3.) Must contact DPI-Engineering to measure for an address number once the front door is framed. The CO will not be signed unless the legal address issued by the City is permanently affixed to, above, or next to, the main door entrance to which it was assigned such that it is highly visible from the street.

Please be advised that any and all future modifications to the site plan that was reviewed/approved for the above project and placed on file at DPI as the "final" site plan must be resubmitted for review/approval if said changes entail work that falls under the jurisdiction of DPI.

Note to Inspectional Services:

Please provide a copy of the DPI review comments to the applicant at the time they are issued the foundation permit. It is imperative that the applicants receive these comments so that they are aware of the conditions under which their permit was approved.



  
Lopez Development LLC  
Quality, Integrity, Trust

Lopez Development LLC  
Quality, Integrity, Trust  
129 Huttleston Ave  
Fairhaven, MA 02719

1261

DATE 12/07/2020 53-7064/2113

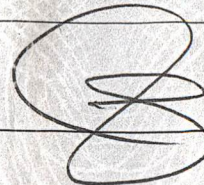
PAY TO THE ORDER OF CITY of New Bedford  
FIVE hundred and 0/100

\$ 500.00

DOLLARS

FOR Lot 20 Farland Cir water

BankFive  
FALL RIVER, MA 02722





⑈001261⑈ ⑈211370642⑈902030551⑈

Expires 12-9-2021

SERVICE 34107  
SEWER 24908

NEW BEDFORD WATER WORKS  
APPLICATION FOR SERVICE AND METER  
NEW BEDFORD 12-9-2020

I HEREBY ACKNOWLEDGE the receipt of a copy of the Regulations prescribed in the Ordinance of the City, for the use of Water, and I request that the water may be furnished through a

1 inch Copper meter at Farland Circle (ES) Sx Phillips Rd

at such rates as may from time to time be established by the City.

I hereby agree to pay promptly the bill for the Service pipe laid down for my premises, and to pay all dues for water, and I agree to conform to the said Regulations and to all provisions of the Water Ordinances, until written notice is given by me or my agent to cut off the supply.

P. 1307 Buidas Lot # 20\*

L. 481

TELEPHONE 508-441-8606 129 Huttleston Ave  
Fairhaven MA, 02719

Service laid Jives, LLC

Size and kind of pipe 1" Copper

From Existing 1" Copper stub connected to 8" di main located on Farland Circle

Turned on Single Family - New Build

Meter Set

Reading SEWER #

Location

Building rates

Paid

Cost of Service

Paid

31-727

\$ 500.00

CHK # 1261





Lopez Development LLC  
Quality, Integrity, Trust

Lopez Development LLC  
Quality, Integrity, Trust  
129 Huttleston Ave  
Fairhaven, MA 02719

1261

DATE 12/07/2020

53-7064/2113

PAY  
TO THE  
ORDER OF

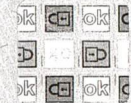
CITY of New Bedford  
Five hundred and 0/100

\$ 500.00

DOLLARS

BankFive  
FALL RIVER, MA 02722

FOR Lot 20 Farland Cir Water



Details on back

Security Features



⑈001261⑈ ⑆211370642⑆902030551⑈







Commonwealth of Massachusetts

# CITY OF NEW BEDFORD

City Hall, Room 308, 133 William Street New Bedford, MA 02740 (508) 979-1540



## FOUNDATION PERMIT

8/7/2020

No. **B-20-834**

MSBC Sect. 111.8 - Any permit issued shall be deemed abandoned and invalid unless the work authorized by it shall have been commenced within six (6) months after its issuance

FEE PAID \$100.00

This certifies that **Eddie Lopez**

owner/contractor has permission to:

ES-

STONE BROOK LN

on:

130D  
-481

Foundations Only 1-2 Family - 100.00

Providing that the person accepting this permit shall in every respect conform to the terms of application therefore on file in this office; to the provisions of the statute of the Commonwealth and to the by-laws of the City of New Bedford relating to the inspection, erection, enlarging, altering, raising, moving, repairing, or tearing down of a building.

Permit is issued subject to the following special requirements: (Restrictions)



Wiring Inspector

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_



Plumbing Inspector

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_



Building Inspector

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

YOUR AREA INSPECTOR IS: **Thomas Welch**

Tel. (508) 979-1540 Between 8:00am - 9:00am

**NOTICE: NOTIFY INSPECTOR 48 HOURS IN  
ADVANCE OF APPLYING SHEATHING OR LATHING**

**OCCUPANCY PERMIT REQUIRED BEFORE OCCUPANCY**

No Building or Structure shall be used or occupied until the Certificate of Use and Occupancy shall have been issued by the Building Commissioner - MSBC, Sect. 120.1

This Card Must Be Displayed in a Conspicuous Place on the Premises and Not Torn Down or Removed Until Completion of Work

SUBJECT TO MASSACHUSETTS  
STATE BUILDING CODE

*Danny W. Hennessey*



Expires 12-9-2021

SERVICE 34107

sewer #24908

# NEW BEDFORD WATER WORKS

APPLICATION FOR SERVICE AND METER

NEW BEDFORD 12-9-2020

I HEREBY ACKNOWLEDGE the receipt of a copy of the Regulations prescribed in the Ordinance of the City, for the use of Water, and I request that the water may be furnished through a

1" inch copper meter at Foxland Circle (ES) Sx Philip Rd

at such rates as may from time to time be established by the City.

I hereby agree to pay promptly the bill for the Service pipe laid down for my premises, and to pay all dues for water, and I agree to conform to the said Regulations and to all provisions of the Water Ordinances, until written notice is given by me or my agent to cut off the supply.

P. 1307 Buicous lot x 20\*

L. 481

TELEPHONE 508-441-8606 129 Hutton Ave  
Fall River MA 02719

Service laid

Size and kind of pipe

From Contractor: JLVES LLC

St.

Turned on Single Family - New Build

Meter Set

Reading Sewer #

Location

Building rates

Paid

Cost of Service

\$500.00

CHK # 1261

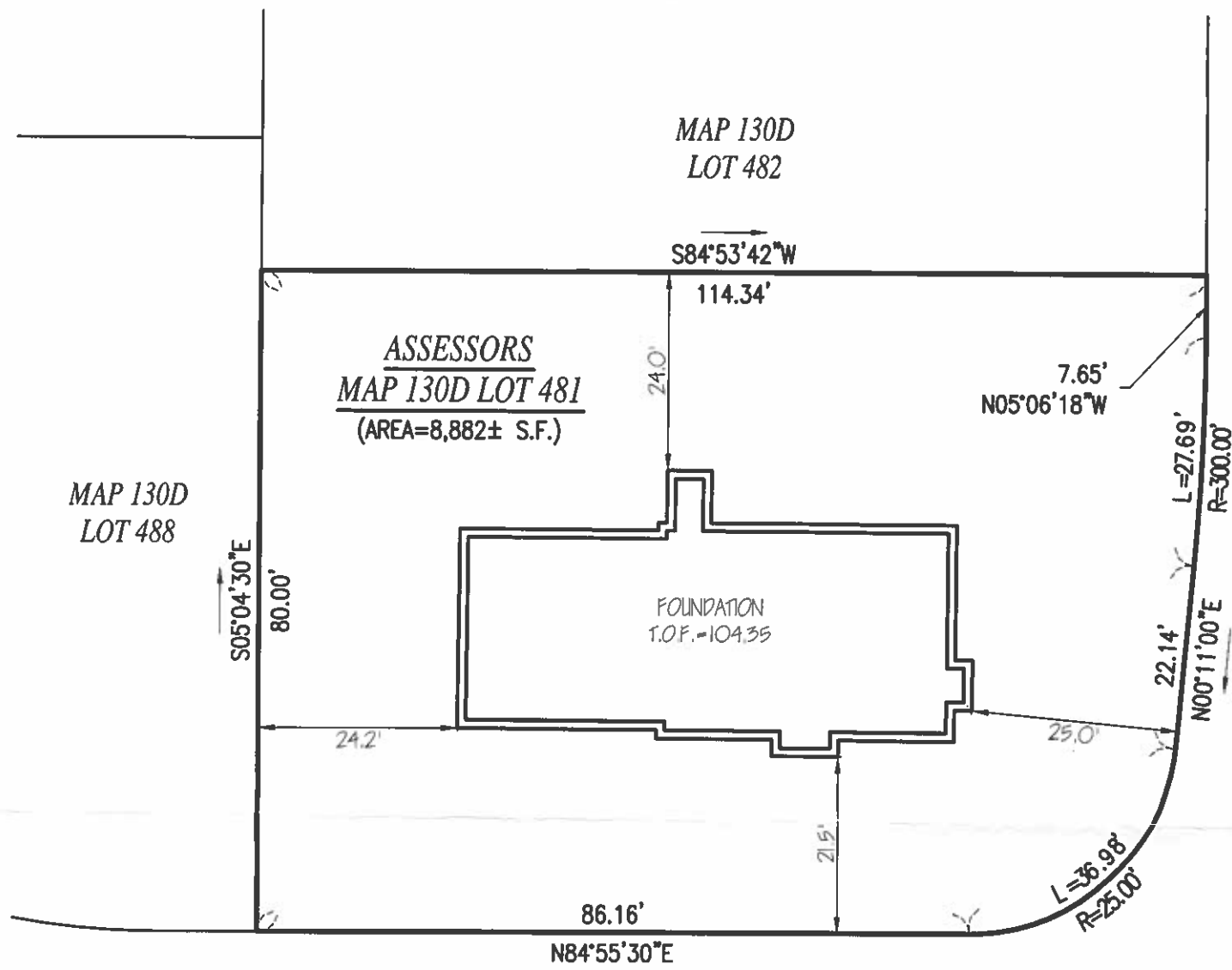
Date



— ZONING DATA —

DISTRICT: RA — RESIDENTIAL A

DESCRIPTION	REQUIRED
FRONT SETBACK	20 FT
SIDE SETBACK	10/12 FT
REAR SETBACK	30 FT



FARLAND ~PRIVATE — 50' WIDE~ CIRCLE

RECORD OWNER:

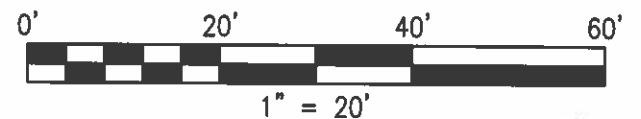
ASSESSORS MAP 130D LOT 481  
LOPEZ DEVELOPMENT, LLC  
129 HUTTLESTON AVENUE  
FAIRHAVEN, MA 02719  
DEED BOOK 12989 PAGE 18  
PLAN BOOK 178 PAGE 35

NOTES:

- FOUNDATION AS-BUILT SURVEY PERFORMED BY FARLAND CORP. IN NOVEMBER 2020.
- VERTICAL ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88)

COPYRIGHT © 2020 FARLAND CORP. ALL RIGHTS RESERVED

NO PART OF THIS DOCUMENT MAY BE REPRODUCED, STORED IN A RETRIEVAL SYSTEM, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC, MECHANICAL, PHOTOCOPYING, RECORDING OR OTHERWISE, WITHOUT THE EXPRESS WRITTEN CONSENT OF FARLAND CORP. ANY MODIFICATIONS MADE TO THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF FARLAND CORP. SHALL RENDER IT INVALID AND UNUSABLE.



FOUNDATION AS-BUILT

FARLAND CIRCLE

ASSESSORS MAP 130D LOT 481  
NEW BEDFORD, MASSACHUSETTS



[www.FarlandCorp.com](http://www.FarlandCorp.com)

21 VENTURA DRIVE  
DARTMOUTH, MA 02747

P.508.717.3479

- ENGINEERING
- SITEWORK
- LAND SURVEYING
- DEVELOPMENT

PREPARED FOR:

LOPEZ DEVELOPMENT  
129 HUTTLESTON AVENUE  
FAIRHAVEN, MA 02719

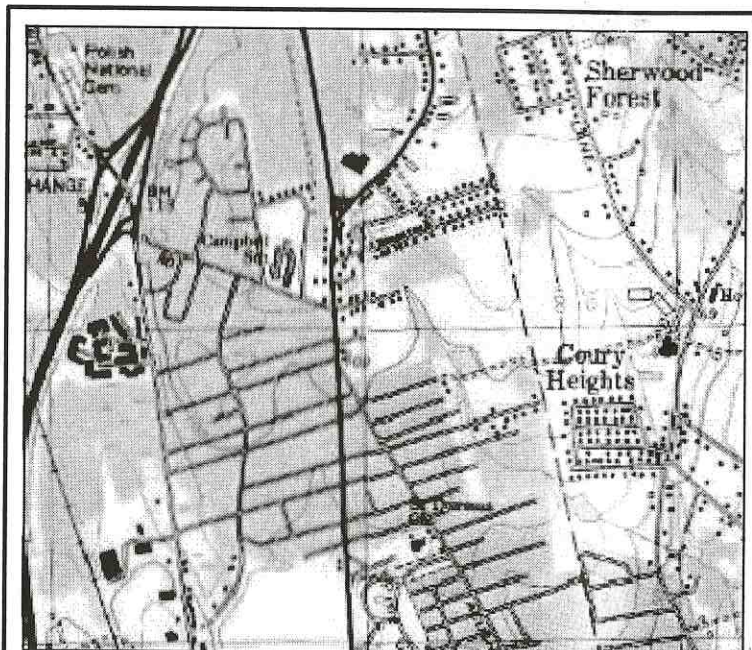


SCALE: 1"=20'

NOVEMBER 10, 2020

JOB NO: 19-744





LOCUS MAP SCALE: 1"=2,000'±

#### SUBSURFACE ROOF RECHARGE UNIT SIZING CALCULATIONS:

INFLOW AREA = 770 SF, 100.00% IMPERVIOUS, INFLOW DEPTH = 6.76" FOR 100-YEAR STORM EVENT  
INFLOW = 0.12 CFS @ 12.08 HRS, VOLUME= 434 CF  
OUTFLOW = 0.03 CFS @ 12.49 HRS, VOLUME= 434 CF, ATTN= 71%, LAG= 24.4 MIN  
DISCARDED = 0.01 CFS @ 11.50 HRS, VOLUME= 427 CF

ROUTING BY STOR-IND METHOD, TIME SPAN= 0.00-30.00 HRS, DT= 0.05 HRS  
PEAK ELEV= 102.08' @ 12.50 HRS SURF AREA= 66 SF REQUIRED STORAGE= 132 CF

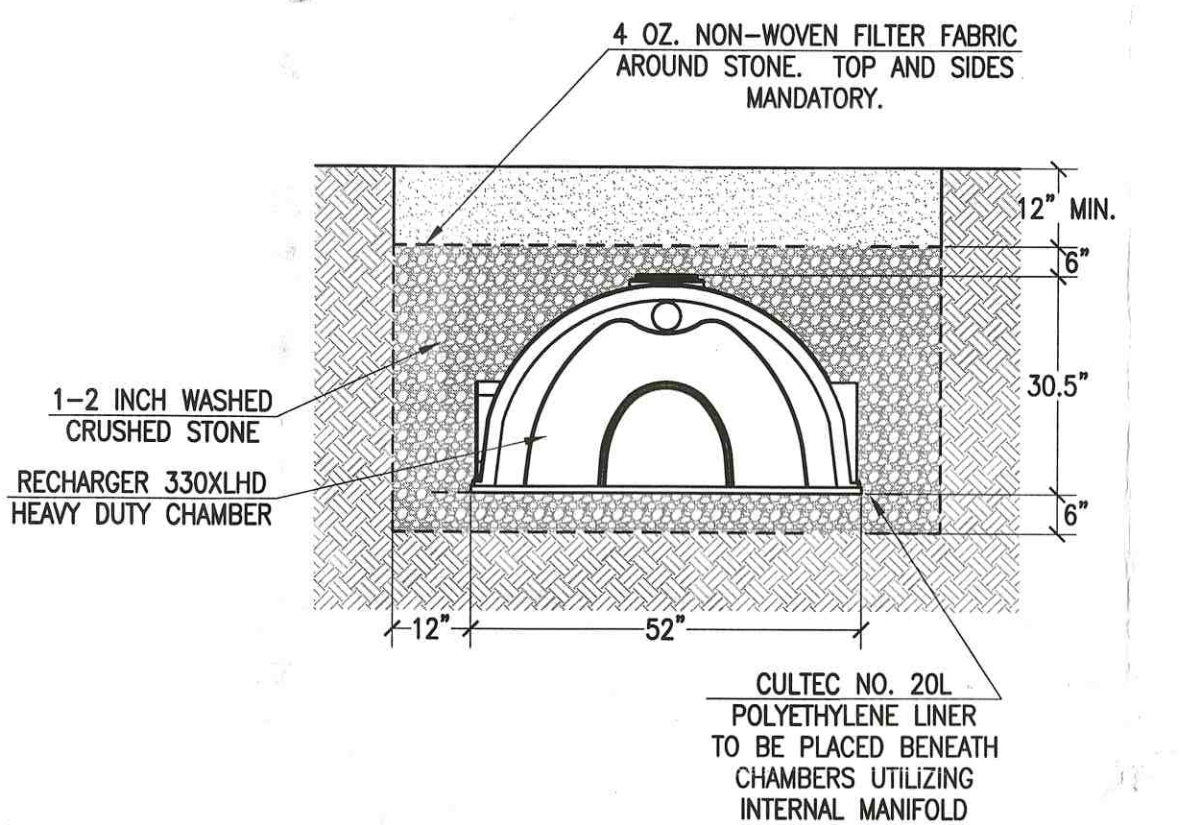
VOLUME	INVERT	AVAIL STORAGE	STORAGE DESCRIPTION
#1	96.85'	69 CF	6.33'W X 10.50'L X 3.54'H PRISMATOID X 1 236 CF OVERALL - 63 CF EMBEDDED = 172 CF X 40.0% VOIDS
#2	97.35'	63 CF	47.8'W X 30.0'H X 7.00'L PARABOLIC ARCH X 1 INSIDE #1
#3	99.50'	1 CF	0.33'D X 10.0'H VERTICAL CONE/CYLINDER-IMPERVIOUS

TOTAL AVAILABLE STORAGE = 133 CF >>> 132 CF

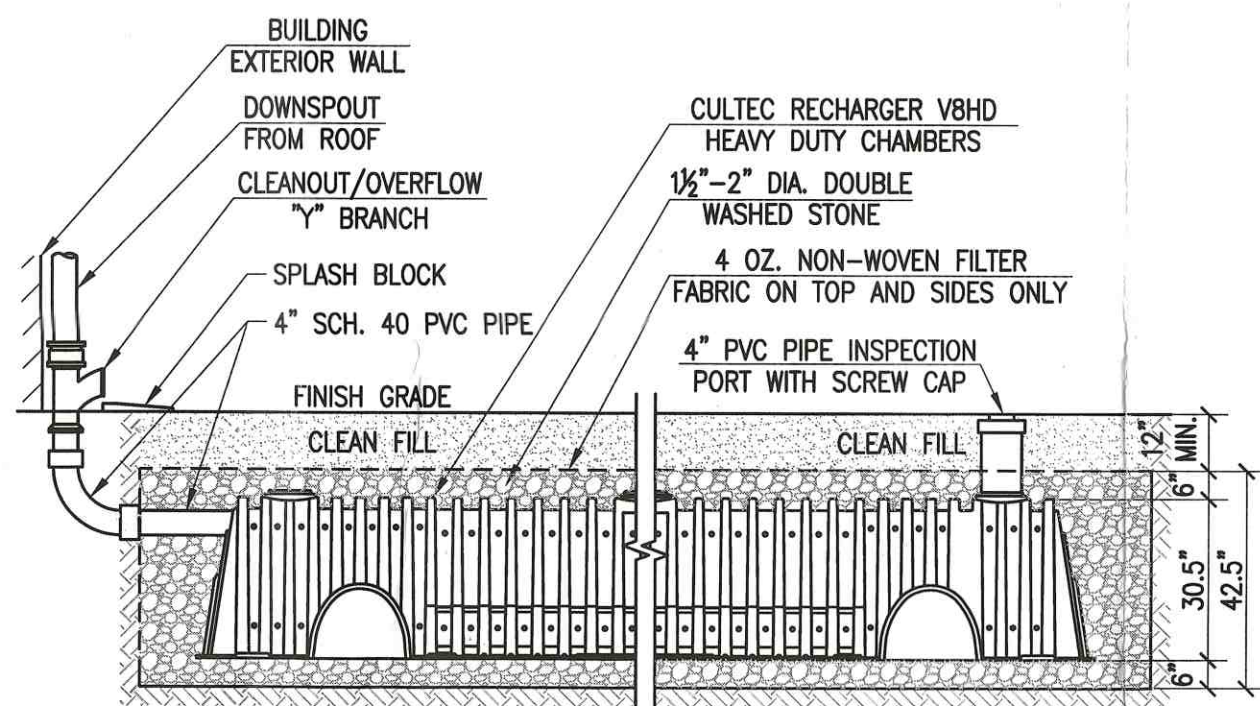
\*PLEASE NOTE: THESE CALCULATIONS ARE PER UNIT. THERE ARE 2 UNITS ONSITE.

#### - ZONING DATA - DISTRICT: RA - RESIDENTIAL A

DESCRIPTION	REQUIRED	PROVIDED
LOT AREA	8,000 S.F.	8,882± S.F.
LOT FRONTAGE	75 FT	159.6 FT
FRONT SETBACK	20 FT	21.0± FT
SIDE SETBACK	10/12 FT	24.1± FT
REAR SETBACK	30 FT	31.0± FT
BUILDING HEIGHT (MAXIMUM)	45 FT	30± FT
BUILDING COVERAGE (MAXIMUM)	30 %	17.3± %
LOT COVERAGE (MAXIMUM)	65 %	22.6± %



CULTEC RECHARGER 330XLHD STANDARD CROSS SECTION  
NOT TO SCALE

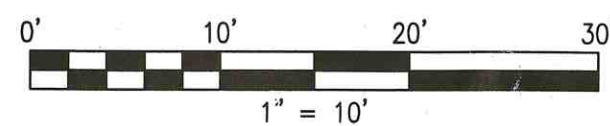
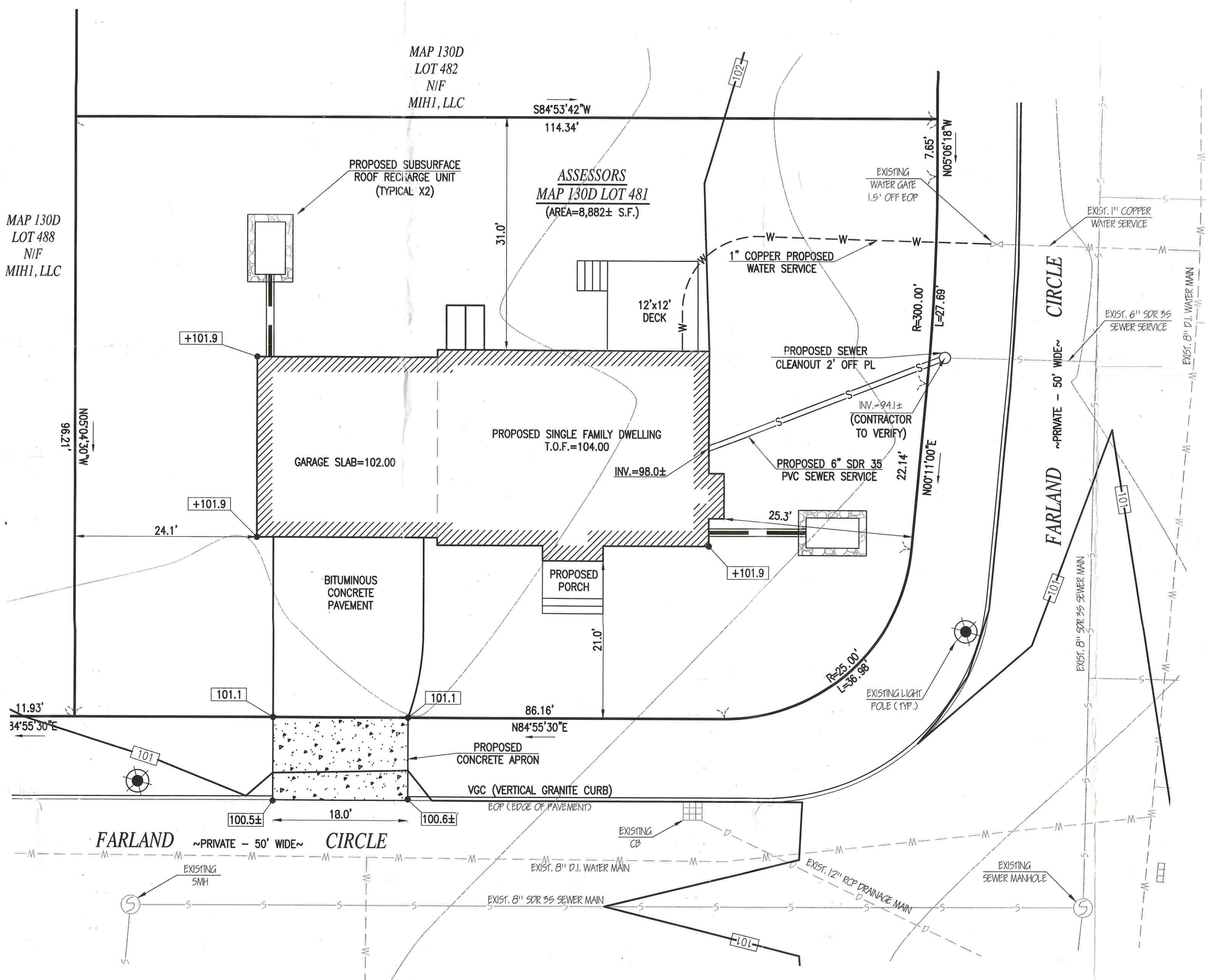


ROOF RECHARGE SYSTEM  
NOT TO SCALE

RECORD OWNER:  
ASSESSORS MAP 1300 LOT 481  
LOPEZ DEVELOPMENT  
129 HUTTLESTON AVE  
FAIRHAVEN, MA 02719  
DEED BOOK 12989 PAGE 18

#### NOTES:

- TOPOGRAPHIC AND PROPERTY LINE SURVEY PERFORMED BY FARLAND CORP. IN NOVEMBER OF 2017.
- PORTION OF DRIVEWAY BETWEEN EDGE OF ROADWAY AND PROPERTY LINE SHALL BE CONCRETE.
- ROOF RECHARGE SYSTEMS HAVE BEEN OVER DESIGNED TO WITHSTAND THE 100-YEAR STORM EVENT AND THE TIE-IN OF A SUMP PUMP SYSTEM, IF NECESSARY.
- IF SUMP PUMP IS INSTALLED, A CONCRETE LIP MUST BE INSTALLED AROUND THE SUMP PUMP.



#### REVISIONS

1	05/15/20	DPI COMMENTS
2	06/17/20	DPI COMMENTS
3	06/23/20	DPI COMMENTS



www.FarlandCorp.com

401 COUNTY STREET  
NEW BEDFORD, MA 02740  
P.508.717.3479

OFFICES IN:

- TAUNTON
- MARLBOROUGH
- WARWICK, RI

DRAWN BY: JT

DESIGNED BY: CAF/JT

CHECKED BY: CAF

#### SITE PLAN

FARLAND CIRCLE  
ASSESSORS MAP 1300 LOT 481  
NEW BEDFORD, MASSACHUSETTS

PREPARED FOR:  
LOPEZ DEVELOPMENT  
129 HUTTLESTON AVE  
FAIRHAVEN, MA 02719

APRIL 21, 2020

SCALE: 1"=10'

JOB NO. 19-744.20

LATEST REVISION:

JUNE 23, 2020

SHEET 1 OF 1