

10-20-28.  
SERVICE 34106

Sewer # 24907

## NEW BEDFORD WATER WORKS

APPLICATION FOR SERVICE AND METER

NEW BEDFORD 11/30/2020 - 11/30/2021

I HEREBY ACKNOWLEDGE the receipt of a copy of the Regulations prescribed in the Ordinance of the City, for the use of Water, and I request that the water may be furnished through a

3/4" 1" inch Copper

meter at Shelburne St (N.S.) 391' W x

P. 130 B. Lot 381

Acushnet Ave.

at such rates as may from time to time be established by the City.

I hereby agree to pay promptly the bill for the Service pipe laid down for my premises, and to pay all dues for water, and I agree to conform to the said Regulations and to all provisions of the Water Ordinances, until written notice is given by me or my agent to cut off the supply.

Single family

\* Lou Kalife. 5 Kalife Dr. Falmouth, MA

\* See attached for signature 02719

TELEPHONE 508-789-9293

Service laid W.C. Smith & Sons Size and kind of pipe 3/4" Copper

From Connect to 10" water main on Shelburne St. St.

Turned on Meter Set

Reading Location

Building rates Paid

Cost of Service \$500.00 Paid 11/05/2020 # 2619

31-727

New Water Service Inspection 12.21.2020

Contractor WC Smith & Sons

Shelburne St

size 1" copper

ExE line Adelaide St

95'

SxN line Shelburne St

5.6'

WxE line House

2'

ExW line House

50'

SxS line House

27.6'

main to property line

33'

pipe inside property

24'

investigator Percy

**DISPLAY PERMIT IN A CONSPICUOUS PLACE ON THE PREMISES**



Commonwealth of Massachusetts

# City of New Bedford

133 William Street New Bedford, MA 02740

## WATER SERVICE PERMIT



Date: 12/9/2020

No. **W-20-28**

Permit Fee: \$500.00

Service Location: NS-130 SHELBURNE ST

Owner Name: WHALEN STEPHANIE L

Owner Phone #: (508) 789-9293

Type of Occupancy: Residential

Type of Work: Water - Domestic New 3/4"

Work Description: WATER SERVICE#34106  
SEWER#24907

**NEW SINGLE FAMILY**  
**3/4" COPPER**

**CONNECT TO 10" WATER MAIN ON SHELBURNE ST**

### Contractor

Name: Smith, W.C. & Sons, Inc.

Certificate #: HE 039659

Type of Business : Hoisting

Address: 148 Westview Street

City/Town/State: New Bedford

MA

Phone #: (508) 995-

Type of Service

Pipe Size

Trench Length:

0.00

Fire Service

Domestic Service

### Estimated consumption of water

Estimated average daily consumption 0.00 gallons

Estimated maximum day consumption 0.00 gallons

Are lawn sprinklers and/or lawn irrigation proposed on site? No

Estimated fire flows required for the project site: 0.00

Does the project require a fire suppression system? No

Required minimum static pressure for the proposed project site 0.00

Cross Connection? No

Right of Way? No

Meter Impact? No

Street Opening Permit Required? No

**Call Phone: (781) 942-9077 For Inspection**



This is not a valid permit until it has been completed by City of New Bedford DPI - 11.25.2020 AJ

**SERVICE 34106**

Sewer # 24907

**NEW BEDFORD WATER WORKS**

**APPLICATION FOR SERVICE AND METER**

NEW BEDFORD

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Single family

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\* Lou Kalife 02719

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Turned on \_\_\_\_\_ Meter Set \_\_\_\_\_

Reading \_\_\_\_\_ Location \_\_\_\_\_

Building rates \_\_\_\_\_ Paid \_\_\_\_\_

Cost of Service \$500.00 Paid 11/25/2020 # 2619

31-727

**LOU KALIFE'S BUILDING PRODUCTS  
CONSTRUCTION ACCOUNT**

5 KALIFE DR  
FAIRHAVEN, MA 02719

2619

53-7064/2113  
11

11/27/20 Date

CHECK ARMOR  
TRAUD PROTECTION

Pay to the  
Order of

CITY OF NEW BEDFORD

\$ 500.00

FIVE HUNDRED

00  
100

Dollars



Photo  
Safe  
Deposit®  
Details on back

Bank

For

WATER

P. J. King

MP

⑆ 211370642⑆901049842⑆

2619

Harland Clarke

INTOUCH® CUSTOM CREATIONS®





Commonwealth of Massachusetts

# CITY OF NEW BEDFORD

City Hall, Room 308, 133 William Street New Bedford, MA 02740 (508) 979-1540



## FOUNDATION PERMIT

11/4/2020

No. **B-20-2981**

MSBC Sect. 111.8 - Any permit issued shall be deemed abandoned and invalid unless the work authorized by it shall have been commenced within six (6) months after its issuance.

FEE PAID \$100.00

This certifies that Lou Kalife

owner/contractor has permission to:

NS- SHELBURNE ST

on:

130-  
381

Foundations Only 1-2 Family - 100.00

Providing that the person accepting this permit shall in every respect conform to the terms of application therefore on file in this office; to the provisions of the statute of the Commonwealth and to the by-laws of the City of New Bedford relating to the inspection, erection, enlarging, altering, raising, moving, repairing, or tearing down of a building.

Permit is issued subject to the following special requirements: (Restrictions)



Wiring Inspector

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_



Plumbing Inspector

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_



Building Inspector

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

YOUR AREA INSPECTOR IS: Thomas Welch

Tel. (508) 979-1540 Between 8:00am - 9:00am

**NOTICE: NOTIFY INSPECTOR 48 HOURS IN  
ADVANCE OF APPLYING SHEATHING OR LATHING**

**OCCUPANCY PERMIT REQUIRED BEFORE OCCUPANCY**

No Building or Structure shall be used or occupied until the Certificate of Use and Occupancy shall have been issued by the Building Commissioner - MSBC, Sect. 120.1

**This Card Must Be Displayed in a Conspicuous Place on the Premises and Not Torn Down or Removed Until Completion of Work**

SUBJECT TO MASSACHUSETTS  
STATE BUILDING CODE

*Donny R. Romanowicz Jr.*



: ASR-DPI Engrg.

RE: TB-20-2981

Shelburne St. (N.S.) 391' W. x Acushnet Ave.

Plot 130B Lot 381

Reviewed 10/23/2020

PLEASE NOTE:

It is the responsibility of the applicant and the contractors to be familiar with DPI procedures/regulations and ascertain that all proposed work which falls under DPI jurisdiction, whether shown on the submitted site plan or not, is identified and executed in accordance with City of New Bedford DPI Construction Standards/Specifications. The Certificate of Occupancy (CO) will not be signed for any work performed that is non-compliant and/or if any of the following conditions are not met.

The following conditions are to be met by the applicant (being the owner and/or their representative) as part of this permit approval:

- 1.) The revised site plan submitted via e-mail by Kevin J. Silva (which has been uploaded by DPI into the View Permit system under Engineering) titled: "Building Permit Plan, Lou Kalife's Building Products, Inc., Shelburne Street, Assessors Map 130, Lot 381, New Bedford, MA", having a date of 9/30/2020 (last revised date of 10/22/2020), as prepared by S & K Engineering, LLC and stamped/signed by Kevin J. Silva, P.E. (Civil), was approved as the "final" site plan and conditionally approved by DPI, as follows:
  - a. Compliance with the City of New Bedford Stormwater Rules & Regulations/Ordinances is required for all project sites, regardless of size. All sites must implement sediment and erosion control measures and will be subject to the required construction site and sediment control inspections. Any project that involves disturbing 1 or more acres will require an EPA NPDES Construction General Permit (refer to Section 3.1.C of the Stormwater Rules & Regulations).
  - b. The applicant is responsible for ensuring that Inspectional Services is provided with the "final" site plan (or any modifications approved by DPI thereafter) to be placed on file in the View Permit system for reference/review by other City Departments.
- 2.) Must provide 1 stamped/signed copies of the "final" site plan approved by DPI for each of the permits being sought (i.e. water, sewer/drain and sidewalk/driveway permits) for the proposed structure. In addition, a copy of the foundation permit and of the stamped/signed foundation as-built plan must also be submitted.

Please Note: Any representative pulling permits on behalf of the owner must provide DPI with a permission slip. If the property was acquired within the past 6 months, then a copy of the recorded deed showing property ownership must also be provided.

- 3.) Must contact DPI-Engineering to measure for an address number once the front door is framed. The CO will not be signed unless the legal address issued by the City is permanently affixed to, above, or next to, the main door entrance to which it was assigned such that it is highly visible from the street.

Please be advised that any and all future modifications to the site plan that was reviewed/approved for the above project and placed on file at DPI as the "final" site plan must be resubmitted for review/approval if said changes entail work that falls under the jurisdiction of DPI.

- : 1. Sewer service to be 10 ft away from water service.
2. Water service to be perpendicular (90 degrees) from main to inside building.
3. Water curb stop (shut -off) to be 1.5ft from face of curb/pavement.
4. Install water meter at point of entry to building
5. Owner to apply for water and sewer permits.





## City of New Bedford, MA

### Building Division

City Hall, Room 308, 133 William Street  
New Bedford, MA 02740

# RECEIPT

### APPLICATION TO CONSTRUCTION, REPAIR, RENOVATE, CHANGE THE USE OR OCCUPANCY OF, OR DEMOLISH A DWELLING

Permit No #: <b>B-20-2981</b>	Date Received: <b>10/5/2020</b>
Signature: <b>Lou Kalife</b>	Date
Building Commissioner/Inspector of Buildings:	

#### SECTION 1 : SITE INFORMATION

1.1 Property Address <b>NS-130-381 SHELBURNE ST</b>	1.2 Assessors Map & Parcel Number <b>130-381</b>
1.3 Zoning Information <b>RA</b> Zoning District	1.4 Property Dimensions <b>9986</b> Lot Area
Proposed Use	Frontage (ft)

1.5 Building Setbacks (ft)					
Front Yard		Side Yard		Rear Yard	
Required	Provided	Required	Provided	Required	Provided
<b>20.00</b>	<b>22.00</b>	<b>8.00</b>	<b>12.00</b>	<b>30.00</b>	<b>10.00</b>
1.6 Water Supply	<b>False</b>	1.7 Flood Zone Information		1.8 Sewage Disposal <b>False</b>	

#### SECTION 2: PROPERTY AUTHORIZED AGENT

Agent of Record			
<b>Lou Kalife</b>	<b>5 Kalife Drive</b>	<b>Fairhaven</b>	<b>Ma. 02719</b>
Name	Address		

#### SECTION 3: Description of Proposed Work

Permit For: <b>Foundations Only 1-2 Family - 100.00</b>
Brief Description of Proposed Work: <b>Construct a 52' x 30' foundation for a single family dwelling</b>  <b>m.s.</b>

#### SECTION 4: Estimated Construction Costs / Permit Fees

Total Project Cost :	<b>\$10,000.00</b>	Payment Date	Amount Paid	Check No
Total Permit Fee Paid:	<b>\$100.00</b>	11/4/2020	\$100.00	
Account Number : 02401200-453010 ISPBPM				

## THIS IS NOT A PERMIT



ASR-DPI Engrg.

RE: TB-20-2981

Shelburne St. (N.S.) 391' W. x Acushnet Ave.

Plot 130B Lot 381

Reviewed 10/23/2020

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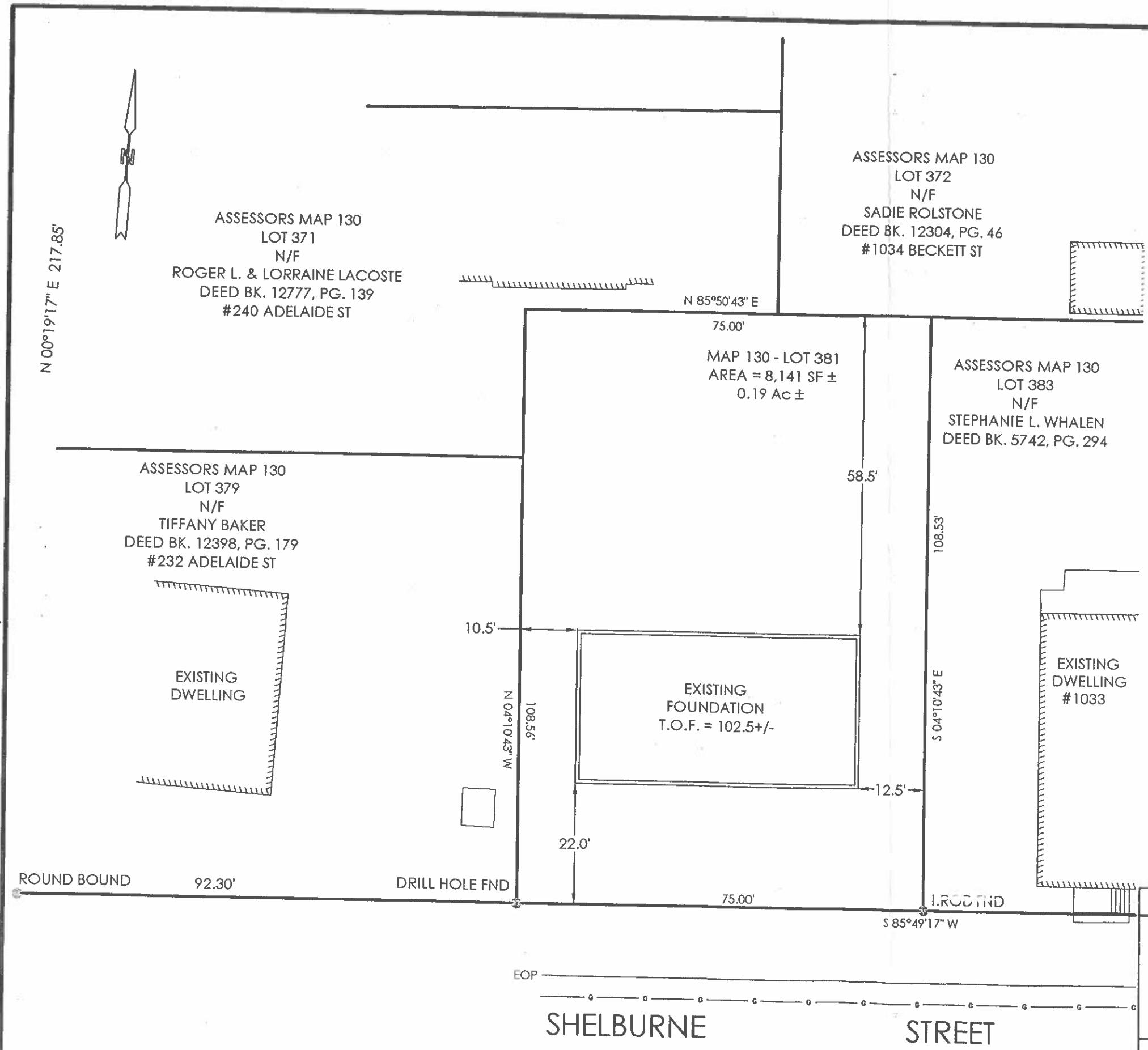
Please be advised that any and all future modifications to the site plan that was reviewed/approved for the above project and placed on file at DPI as the "final" site plan must be resubmitted for review/approval if said changes entail work that falls under the jurisdiction of DPI.

Note to Inspectional Services:

Please kindly print the DPI comments for the applicant at the time they pick up their foundation permit. It is imperative that the applicants receive these comments when they are issued the foundation permit so that they are aware of the conditions under which it was approved.



1. Sewer service to be 10 ft away from water service.
2. Water service to be perpendicular (90 degrees) from main to inside building.
3. Water curb stop (shut -off) to be 1.5ft from face of curb/pavement.
4. Install water meter at point of entry to building
5. Owner to apply for water and sewer permits.



GENERAL NOTES.

1. SITE IS SHOWN AS LOT 381 ON NEW BEDFORD ASSESSORS MAP 130.
2. REFER TO DEED BOOK 13144, PAGE 266.  
REFER TO ANR PLAN AS FILED IN PLAN BOOK 180. PAGE 50.
3. PROPERTY LINES DEFINED BY MONUMENTATION AS PREPARED BY ROMANELLI ASSOCIATES.

OWNER OF RECORD:  
LOU KALIFE'S BUILDING PRODUCTS, INC.  
5 KALIFE DRIVE  
FAIRHAVEN, MA 02719



*Leon C. Halle 11/24/20*

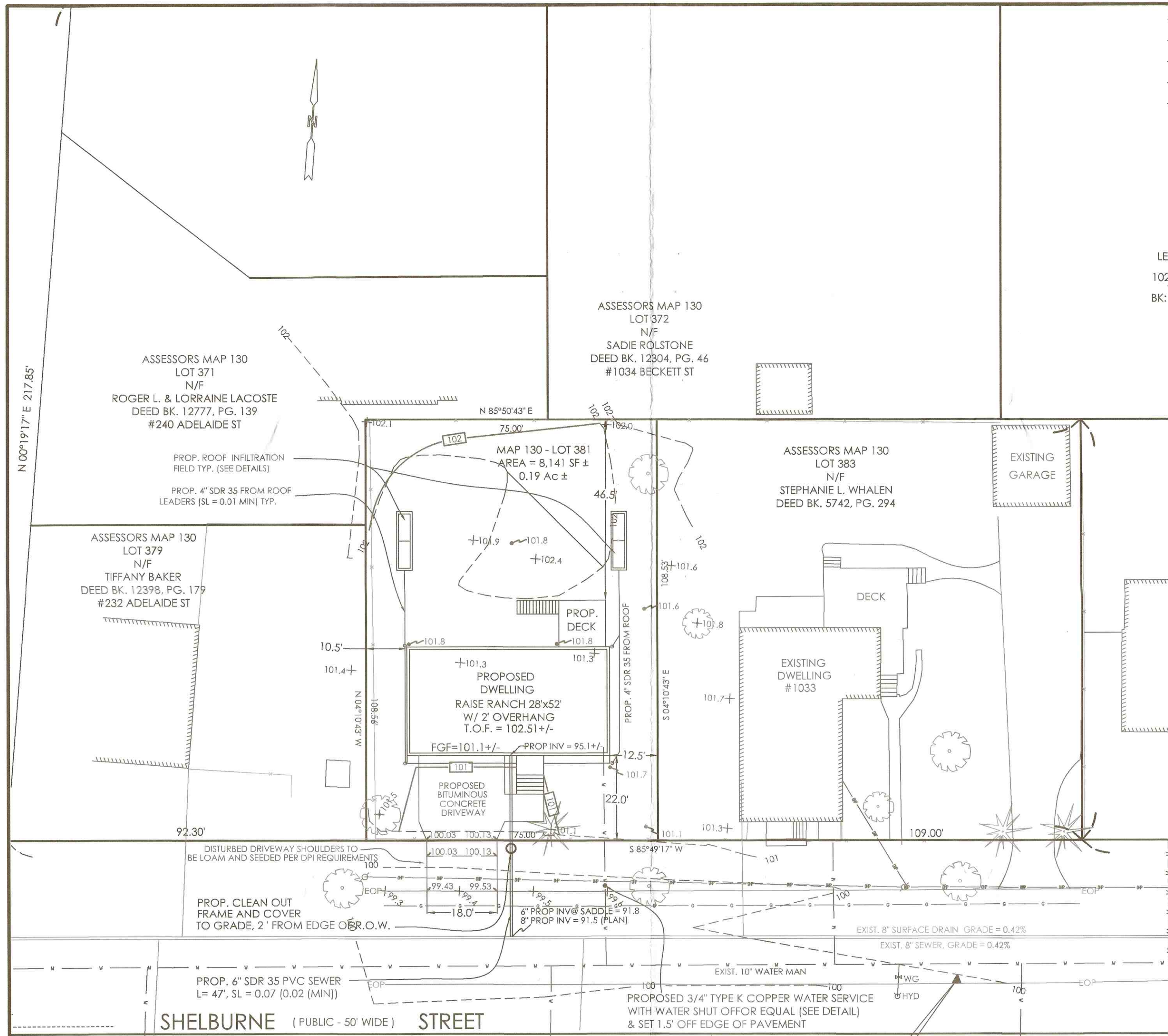
STAMP LEON C. HALLE, R.L.S. DATE

**FOUNDATION AS-BUILT PLAN**  
**LOU KALIFE'S BUILDING PRODUCTS, INC.**  
**SHELBURNE STREET**  
**ASSESSORS MAP 130, LOT 381**  
**NEW BEDFORD, MA**

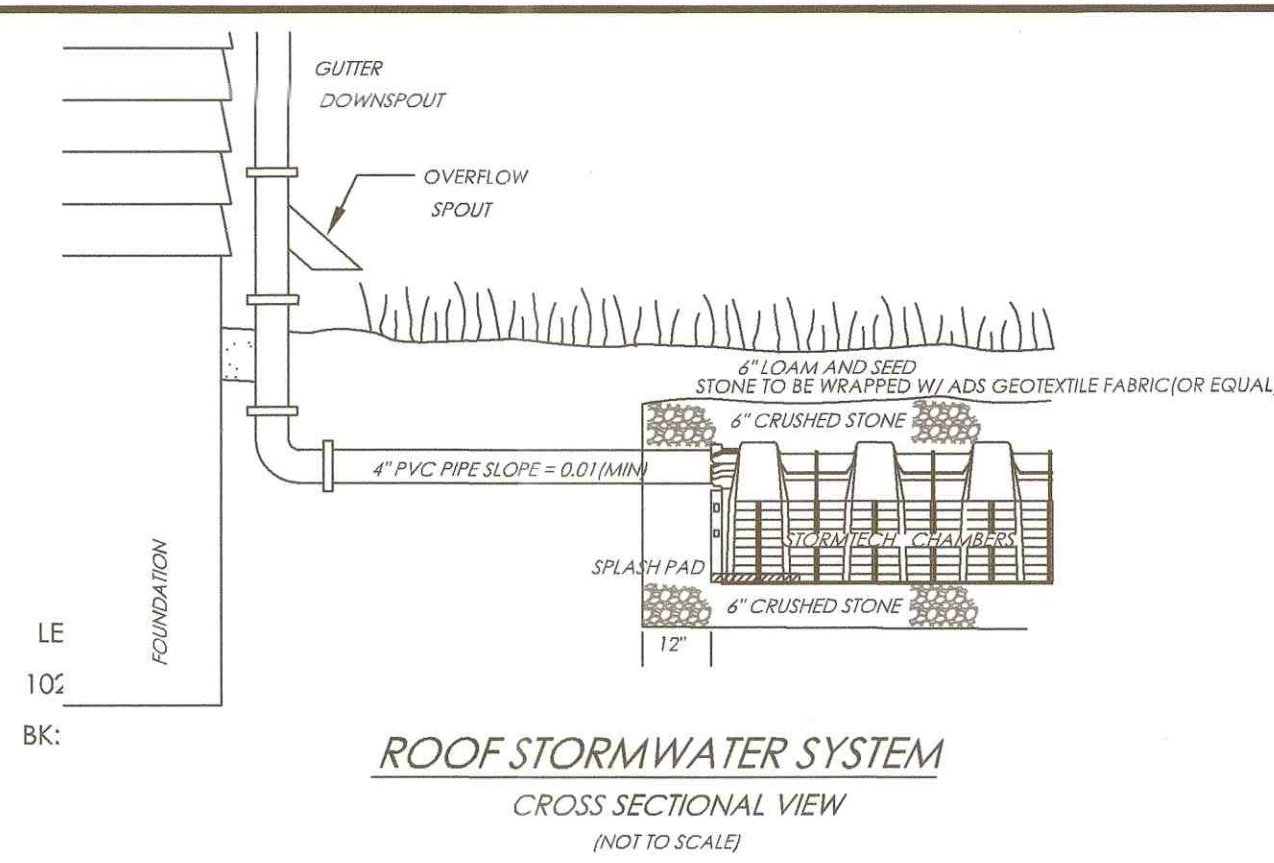
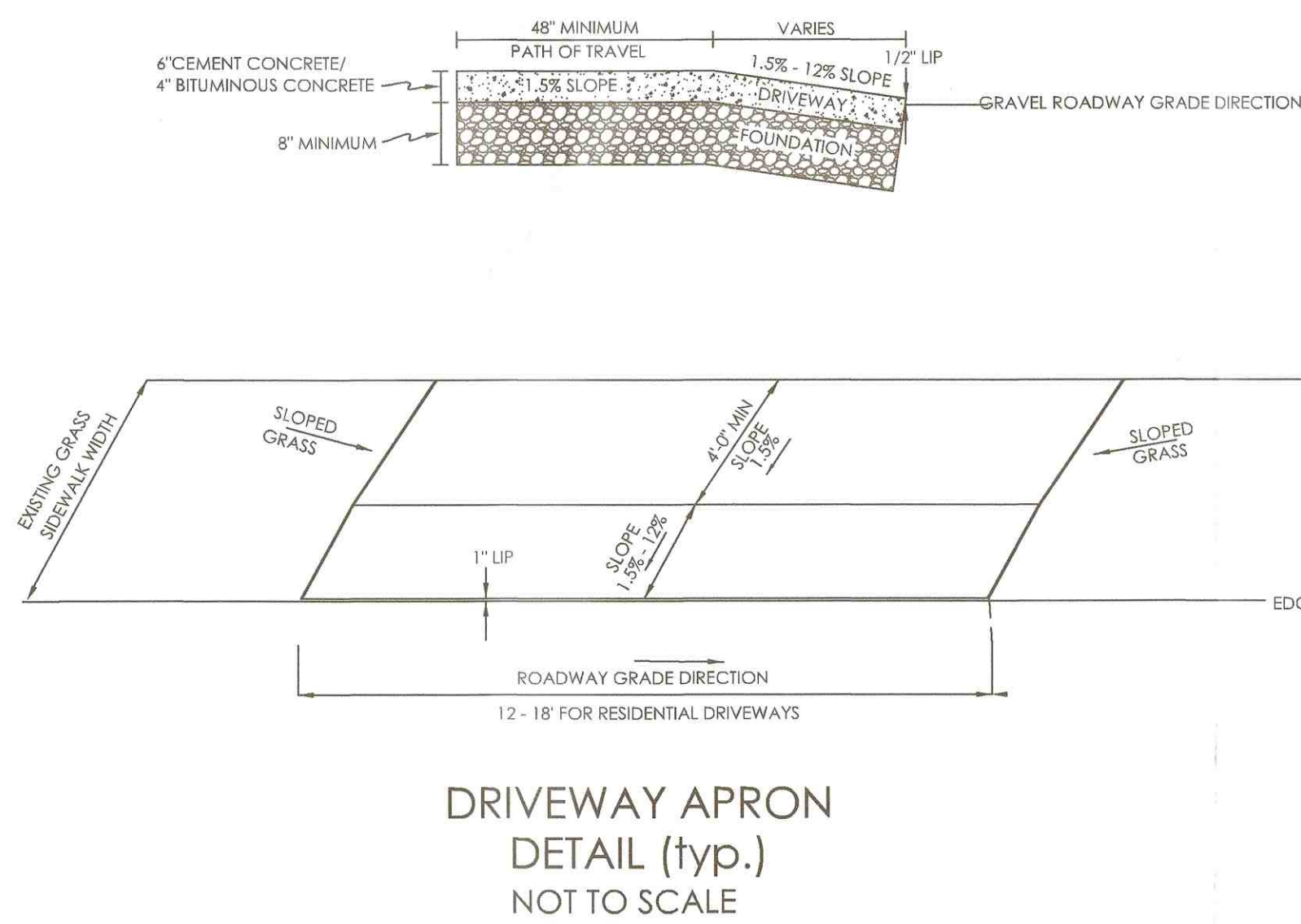
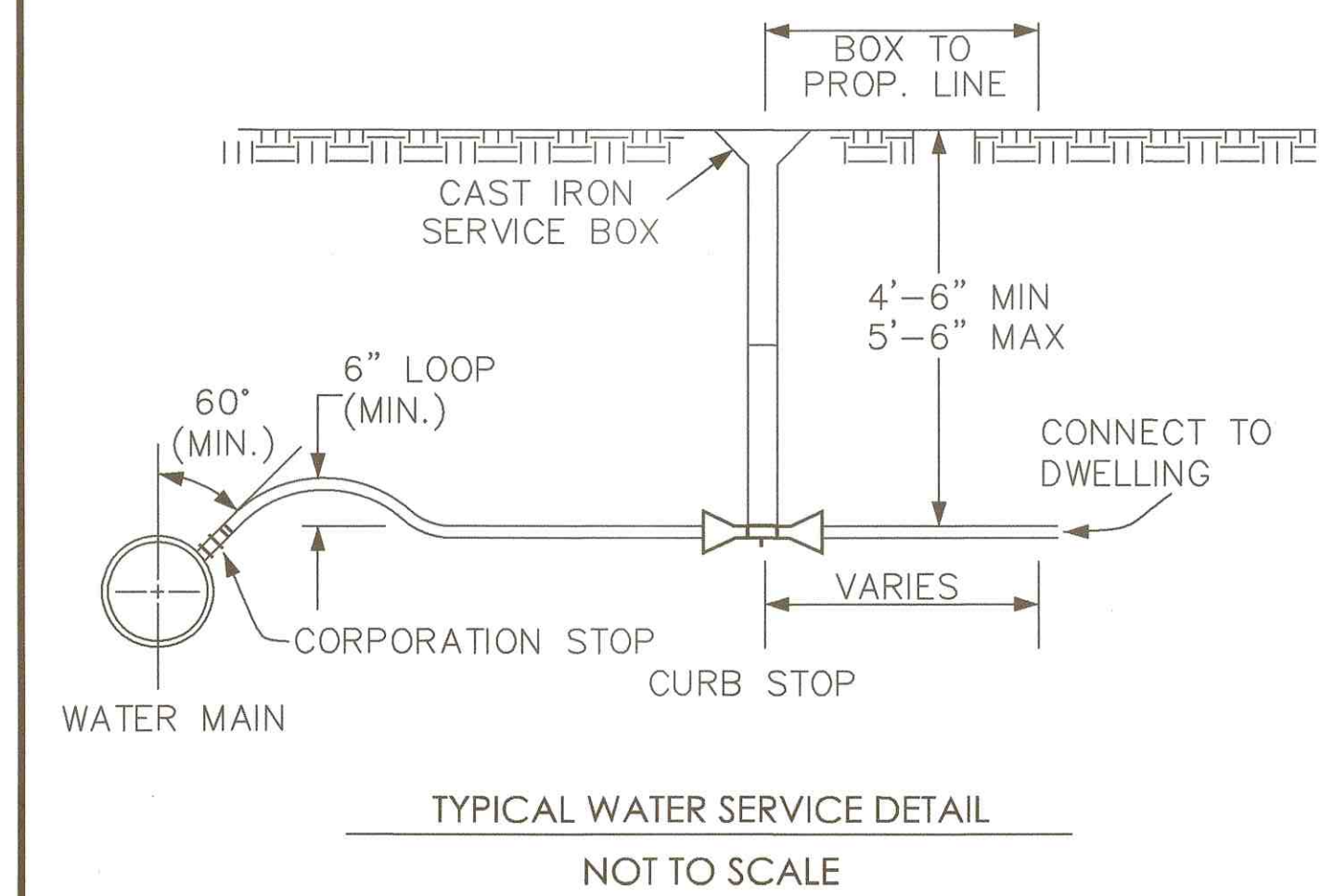
*Alpha Engineering*  
32 Valerie Street  
New Bedford, MA 02740  
Tel. (508) 997-9976

DATE: 11/21/2020	LOCATED BY:
SCALE: 1" = 30'	CHECKED BY: LCH
DRAWN BY: KJS	JOB No: 20-044



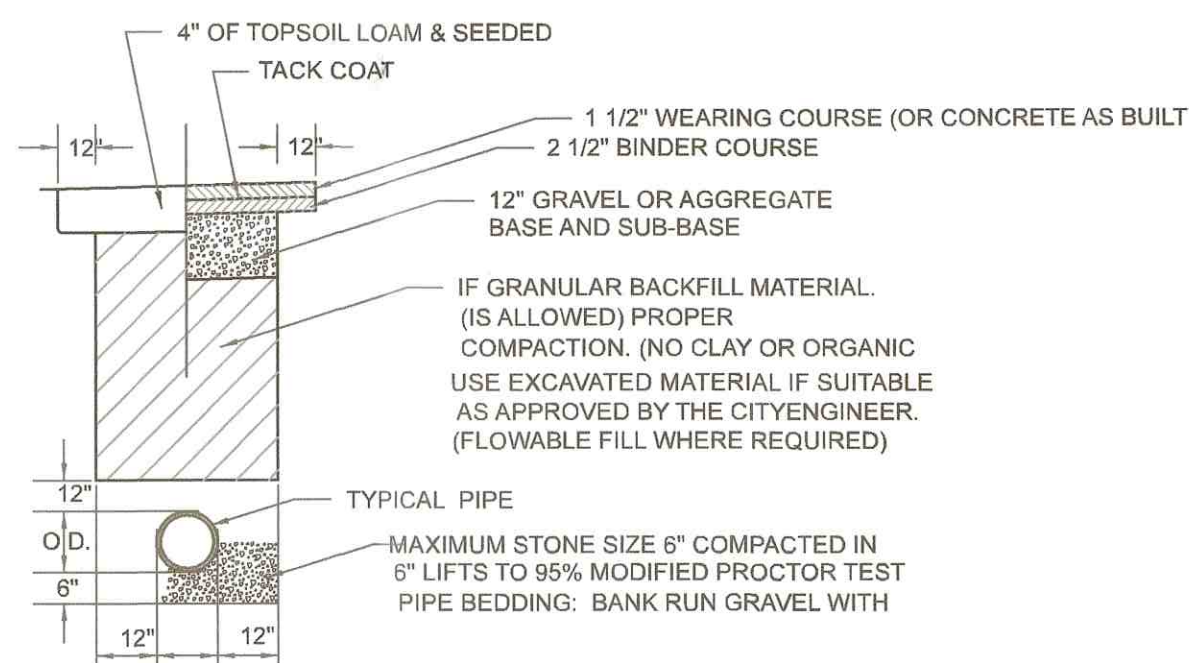


PROPOSED SITE PLAN  
SCALE: 1" = 20'

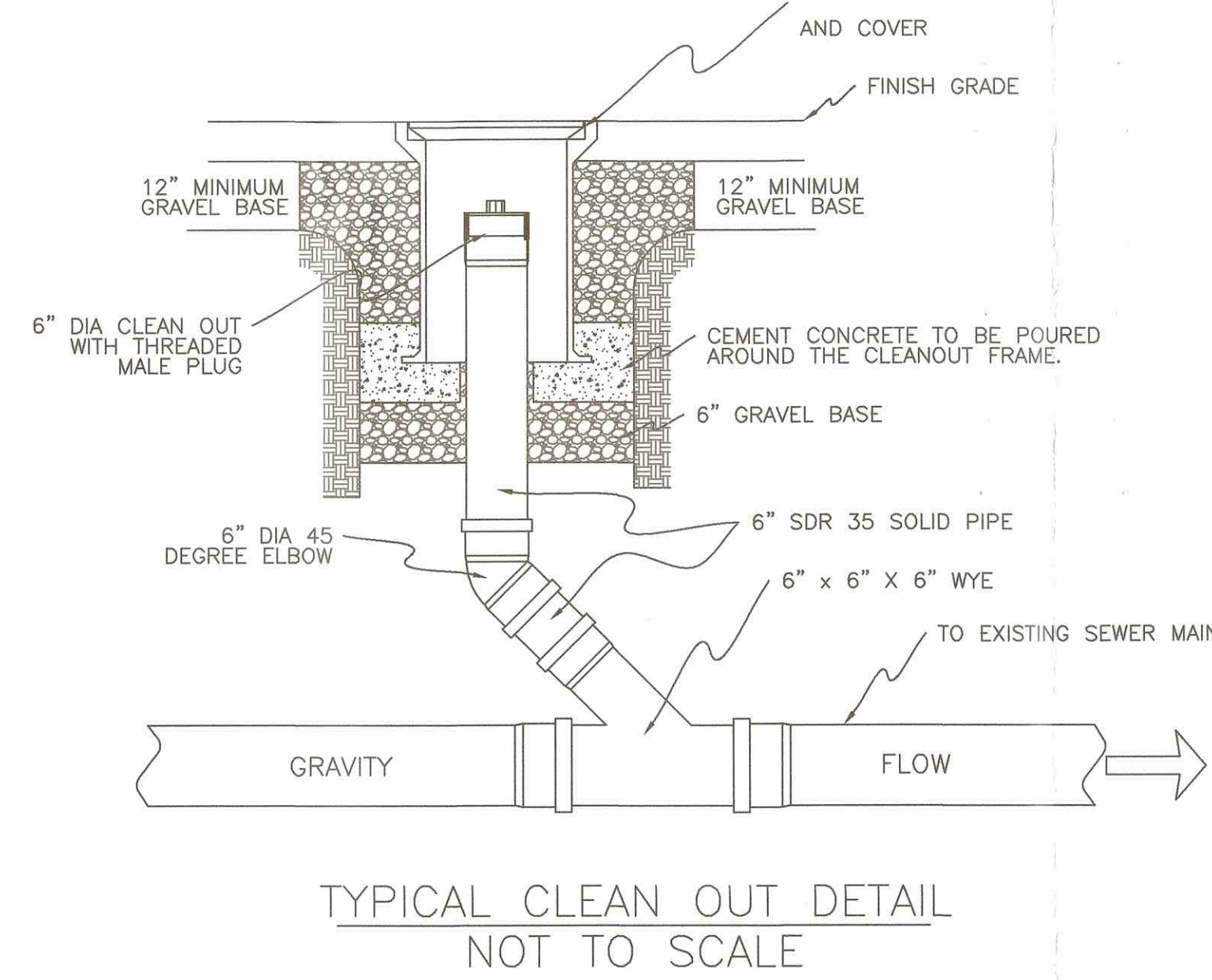


DOWNSPOUT DRAINAGE DESIGN:  
ASSUME 1" OF RAINFALL ON THE ENTIRE ROOF AREA.  
ROOF AREA = 1560 Sq.Ft.  
USE THE HIGH CAPACITY STORMTECH CHAMBER  
SC31 DEPOSIT AS DETAILED (OR EQUAL).  
THEREFORE:  
1560 Sq.Ft. x 1 1/2 inches per foot = 130 Cu.Ft.  
130 Cu.Ft. / 31 Cu.Ft./chamber = 4 Chamber +/-

However if contractor finds location and piping to be unfeasible  
an alternate configuration may be used, with a minimum of 1  
unit per downspout leader if separated and a total of 4 chambers.  
All Gutters downspouts to be equipped w/ overflow Leaf Screens.  
All piping and fittings used to connect to the downspouts are to  
be 4" SDR 35.  
Gutters, downspouts and recharge system to be inspected and  
cleaned twice a year (June and December).  
Not designed for traffic applications (see manual)

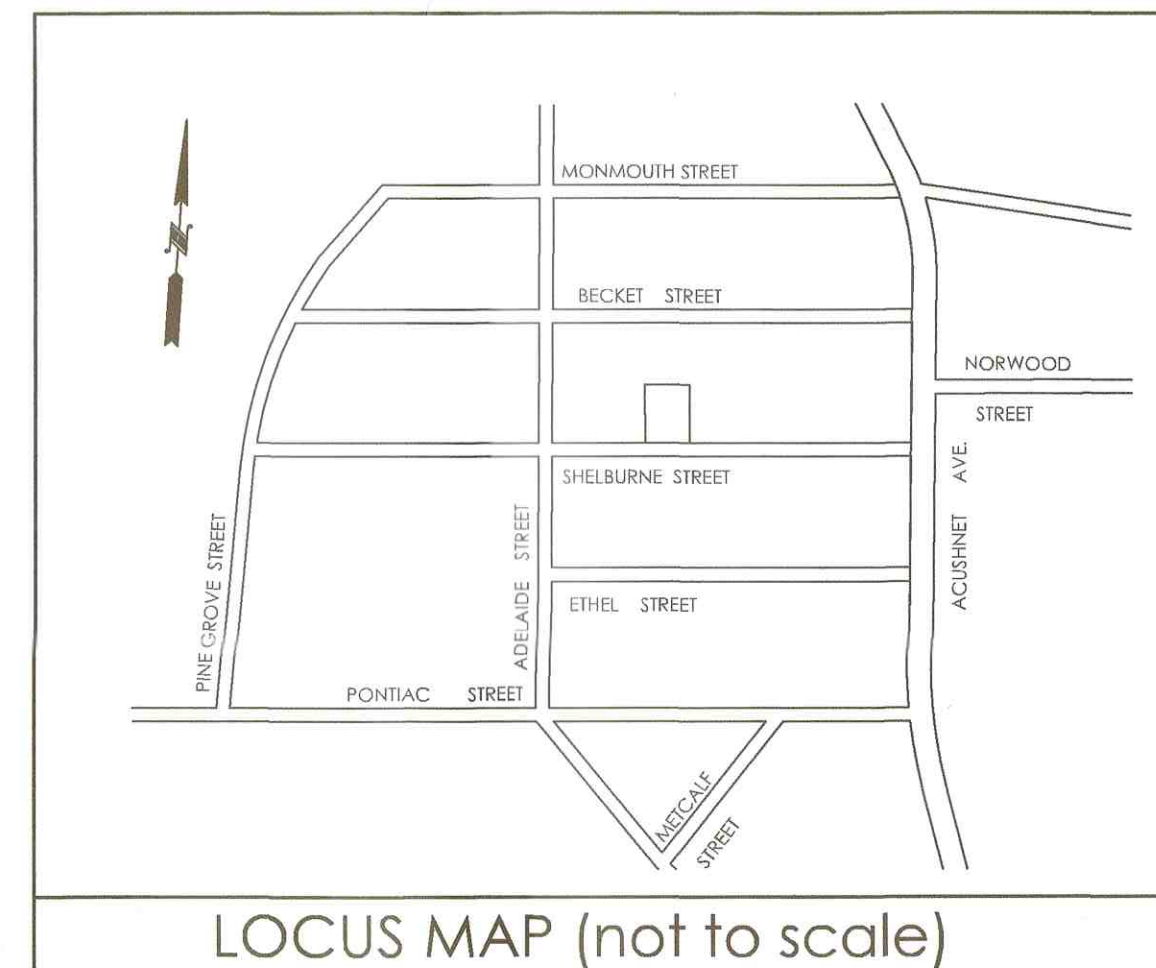


TYPICAL TRENCH DETAILS  
(NOT TO SCALE)



ZONING REQUIREMENTS:		SETBACK REQUIREMENTS:	
ZONING IS RA - RESIDENCE A		MINIMUM FRONT YARD	20.00'
MINIMUM LOT FRONTAGE	75.00'	MINIMUM SIDE YARD	10.0' & 12.0'
MINIMUM TOTAL AREA	8,000 sq. ft.	REAR YARD =	30.00'
MAXIMUM % LOT COVERAGE	30% (Required)		
	28.4 +/- % (PROVIDED INCLUDING DECK)		

- GENERAL NOTES:
- SITE IS SHOWN AS LOT 381 ON NEW BEDFORD ASSESSORS MAP 130.
  - LOCUS IS TO BE SERVICED BY MUNICIPAL WATER AND SEWER, EXISTING STUBS, IF ANY, TO BE EXPOSED, INSPECTED AND UTILIZED IF FEASIBLE. ALL WORK TO BE IN ACCORDANCE WITH THE CITY OF NEW BEDFORD DEPARTMENT OF PUBLIC INFRASTRUCTURE STANDARDS.
  - LOCUS IS NOT LOCATED WITHIN AN AQUIFER PROTECTED DISTRICT.
  - LOCUS IS NOT LOCATED WITHIN A FLOOD HAZARD ZONE AS DELINEATED ON THE FIRM MAP.
  - REFER TO DEED BOOK 13144, PAGE 266.  
REFER TO ANR PLAN AS FILED IN PLAN BOOK 180, PAGE 50.
  - EXISTING CONDITION TOPOGRAPHIC SURVEY AND PROPERTY LINES AS PREPARED BY ROMANELLI ASSOCIATES AND SUPPLIED TO THIS OFFICE FOR THE BUILDING PERMIT.
  - EXISTING UTILITIES SHOWN HAVE BEEN TAKEN FROM RECORD DRAWINGS &/OR ON THE GROUND LOCATIONS VISIBLE AT TIME OF SURVEY. NO REPRESENTATION AS TO THE ACCURACY OR COMPLETENESS OF THE UTILITIES SHOWN IS MADE BY THE SURVEYOR/ENGINEER. VERIFICATION OF UTILITIES AND LOCATIONS ARE THE RESPONSIBILITY OF THE CONTRACTOR WITH THE AID OF DIG SAFE AND OTHER RESPECTIVE UTILITY COMPANIES.
  - ALL CONSTRUCTION MATERIALS AND INSTALLATION METHODS TO CONFORM TO THE CITY OF NEW BEDFORD DEPARTMENT OF PUBLIC INFRASTRUCTURE (DPI) SPECIFICATIONS AND THE COMMONWEALTH OF MASSACHUSETTS DEPARTMENT OF PUBLIC WORKS CONSTRUCTION STANDARDS, AS MOST RECENTLY AMENDED.
  - CONTRACTOR SHALL KEEP RECORDS OF LOCATIONS FOR ALL UNDERGROUND UTILITIES INSTALLED FOR USE IN COMPLETING AN AS-BUILT SITE PLAN.
  - CONTRACTOR TO VERIFY AND CHECK BENCHMARK AND ELEVATIONS AS SHOWN ON THIS PLAN PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL PERMITS, AS MAY BE REQUIRED. CONTRACTOR ALSO REQUIRED TO PAY ALL FEES ASSOCIATED WITH COMPLETION OF THE WORK. AS WELL AS, ENSURE PERMISSION IS GRANTED TO REDIRECT ANY PRIVATE SERVICE LINES PRIOR TO CONSTRUCTION. SEWER DATUM ASSUMED AND INVERT AS SCALED FROM SEWER PLANS OF RECORD. CONTRACTOR TO EXPOSE SEWER TO CONFIRM ELEVATION PRIOR TO START OF CONSTRUCTION.
  - ANY LAWN AREA DISTURBED DURING CONSTRUCTION TO BE LOAM AND SEEDED AFTER PROPER BACKFILLING AND ALL TRENCHES WITHIN THE EXISTING PAVEMENT TO BE REPAIRED PER DPI STANDARDS.
  - SITE IS NOT LOCATED WITHIN AN ESTIMATED HABITAT OF RARE WETLAND WILDLIFE SPECIES.
- OWNER OF RECORD:  
LOU KALIFE'S BUILDING PRODUCTS, INC.  
5 KALIFE DRIVE  
FAIRHAVEN, MA 02719



LOCUS MAP (not to scale)

## BUILDING PERMIT PLAN

LOU KALIFE'S BUILDING PRODUCTS, INC.  
SHELburne STREET  
ASSESSORS MAP 130, LOT 381  
NEW BEDFORD, MA

**S&K ENGINEERING, LLC**  
P.O. BOX 1338  
WESTPORT, MASSACHUSETTS 02790  
(774) 319 - 5305

	10/22/20	REVISION PER D.P.I. REVIEW	KJS
	DATE	REVISION	BY
	DATE: 9/30/2020	SURVEYED BY: RAI	
	SCALE: AS NOTED	CHECKED BY: KJS	
DRAWN BY: KJS		JOB No: 20-044	