

W-20-19:
SERVICE 34100

Sewer # 24901

NEW BEDFORD WATER WORKS

APPLICATION FOR SERVICE AND METER

NEW BEDFORD 10-2-2000 to 10-2-2001

I HEREBY ACKNOWLEDGE the receipt of a copy of the Regulations prescribed in the Ordinance of the City, for the use of Water, and I request that the water may be furnished through a

1" inch Copper meter at Farland Circle (SW.S.) #26
S. x Phillips Road (aka Builders Lot 21)

at such rates as may from time to time be established by the City.

I hereby agree to pay promptly the bill for the Service pipe laid down for my premises, and to pay all dues for water, and I agree to conform to the said Regulations and to all provisions of the Water Ordinances, until written notice is given by me or my agent to cut off the supply.

Single family home
P. BOD L. 488

RJZ LLC, 172 Sawyer St. Swansea, MA, 01907
* See attached for signature

TELEPHONE 508-840-0189

Service laid RJ Conessa Size and kind of pipe 1" Copper

From Existing 8" DI water main on Farland Circle St.

Turned on Meter Set

Reading Location

Building rates Paid

Cost of Service \$500.00 Paid Check # 117

31-727

E	X	EL R FARLAND CIRCLE	195'
E	X	WL FARLAND CIRCLE	4.5'
S	X	NL	12.0'
N	X	SL	42.8'
E	X	EL	31.5'
E	X	WL FARLAND CIRCLE	14.0'

PIPE TO INSIDE CELLAR 27 . 2'

ELECTRIC CABLE DUCTS 5.0' x w x cs

RJ CANESSA CONTRACTOR

INSPECTED BY PERCY REYNOLDS

*couplings
picked
up
x 101
1-26-2021*

DISPLAY PERMIT IN A CONSPICUOUS PLACE ON THE PREMISES



Commonwealth of Massachusetts

City of New Bedford

133 William Street New Bedford, MA 02740

WATER SERVICE PERMIT



Date: 11/9/2020

No. **W-20-19**

Permit Fee: \$500.00

Service Location: _____

Owner Name: FARLAND ESTATES, LLC

Owner Phone #: (508) 840-0189

Type of Occupancy: Residential

Type of Work: Water - Domestic New 1"

Work Description: WATER SERVICE#34100
P.130d
L.488

FARLAND CIRCLE SWS S X PHILLIPS RD
BUILDERS LOT 21

EXPIRES 10/2/2021
EXISTING 8' DI WATER MAIN ON FARLAND CIRCLE
1" COPPER

Contractor

Name: Robert J. Canessa Certificate #: _____ Type of Business: DPI - Other

Address: P. O. Box 51643 City/Town/State: New Bedford MA Phone #: (508) 998-

Type of Service Pipe Size Trench Length: 0.00

Fire Service _____

Domestic Service _____

Estimated consumption of water

Estimated average daily consumption 0.00 gallons

Cross Connection? No

Estimated maximum day consumption 0.00 gallons

Right of Way? No

Are lawn sprinklers and/or lawn irrigation proposed on site? No

Meter Impact? No

Estimated fire flows required for the project site: 0.00

Street Opening Permit Required? No

Does the project require a fire suppression system? No

Required minimum static pressure for the proposed project site _____

Call Phone: (781) 942-9077 For Inspection

SERVICE 34100
Sewer # 24901

NEW BEDFORD WATER WORKS
APPLICATION FOR SERVICE AND METER

NEW BEDFORD

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Single family home
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RJZ LLC, 172 Sawyer St, Swansea, MA, 02777

* [Signature]

TELEPHONE 508-840-0189

Service laid _____ Size and kind of pipe 1" Copper

From Existing 8" DI Water main on Farland Circle

Turned on _____ Meter Set _____

Reading _____ Location _____

Building rates _____ Paid _____

Cost of Service \$500.00 Paid _____

31-727

Not a valid permit until processed and
DPI 10.01.2020

Property Address: Lot 21, Farland Estates Subdivision I, Farland Circle, New Bedford, MA

MASSACHUSETTS EXCISE TAX
Bristol ROD South 001
Date: 07/27/2020 01:06 PM
Ctrl# 031131 10684 Doc# 00017289
Fee: \$364.80 Cons: \$80,000.00



2020 00017289
Bk: 13316 Pg: 224 Pg: 1 of 1 BS
Doc: DEED 07/27/2020 01:06 PM

Return to:
Jordan J. Rodrigues, Esq.
251 Bank Street
Fall River, MA 02720

QUITCLAIM DEED

MIH1, LLC, a Massachusetts limited liability company, with a mailing address of 401 County Street, New Bedford, MA, in consideration of EIGHTY THOUSAND and 00/100 (\$80,000.00) DOLLARS, paid, grants to RJZ, LLC, a Massachusetts limited liability company with a mailing address of 172 Sawyer Avenue, Swansea, MA, with quitclaim covenants,

The land in New Bedford, Bristol County, Commonwealth of Massachusetts, described as follows:

BEING shown as LOT 21 on Subdivision plan of land entitled "DEFINITIVE SUBDIVISION PLAN-FARLAND ESTATES I", Assessors Map 130D, Lots 388-406, 412-419, New Bedford, Massachusetts, prepared for: MIH1, LLC, 401 County Street, New Bedford, MA 02740, dated December 15, 2017, latest revision, June 25, 2018, prepared by Farland Corp. and recorded in the Bristol County (SD) Registry of Deeds in Plan Book 178, Page 35.

This conveyance does not constitute all or substantially all of the assets of the corporation, being a sale in the ordinary course of business.

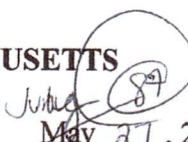
WITNESS the execution and corporate seal of said company this 27 day of July, 2020.

MIH1, LLC

By: 
Name: Christian A. Farland, Manager

COMMONWEALTH OF MASSACHUSETTS

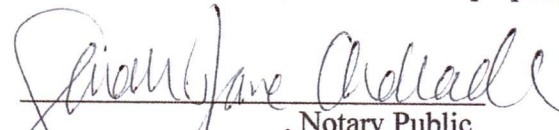
Bristol, ss.


May 27, 2020

On this 27 day of July, 2020, before me, the undersigned notary public, personally appeared the above named Christian A. Farland, Manager of MIH1, LLC, and proved to me through satisfactory evidence of identification, which was a MA driver's license, to be the person whose name is subscribed to the within instrument and acknowledged to me that he executed the same in his authorized capacity and that by his signature on the instrument the person or the entity upon behalf of which the person acted, executed the instrument voluntarily, for its stated purpose.



Sarah Jane Andrade
NOTARY PUBLIC
Commonwealth of Massachusetts
My Commission Expires
November 13, 2026


_____, Notary Public
My Commission Expires:

Maraline

1-308-858-9586

ASR-DPI Engrg.

* RSZ, LLC *

RE: TB-20-936

Farland Circle (SW.S.) S. x Phillips Rd. (a/k/a Builder's Lot 21)

Plot 130D Lot 488

Reviewed 6/18/2020

PLEASE NOTE:

It is the responsibility of the applicant and the contractors to be familiar with DPI procedures/ regulations and ascertain that all proposed work which falls under DPI jurisdiction, whether shown on the submitted site plan or not, is identified and executed in accordance with City of New Bedford DPI Construction Standards/Specifications. The Certificate of Occupancy (CO) will not be signed for any work performed that is non-compliant and/or if any of the following conditions are not met.

The following conditions are to be met by the applicant (being the owner and/or their representative) as part of this permit approval:

1.) The site plan submitted via the View Permit system to DPI, titled: "Site Plan, Farland Circle, Assessors Map 130D Lot 488, New Bedford, Massachusetts", having a date of 2/3/2020 (last revised date of 6/16/2020*), as prepared by Farland Corp. and stamped/signed by Christian A. Farland, P.E. (Civil), was approved as the "final" site plan and conditionally approved by DPI, as follows:

a. The plan indicates that there may be a sump pump tie-in at this location. The recharge system calculations must incorporate sump pump discharge, and the conditions stipulated by the City Engineer regarding sump pump installations will apply, as follows:

i. The sump pump tie in will require a letter stamped and signed by a registered professional engineer in the Commonwealth of Massachusetts along with the supporting calculations and plans stamped and signed by the same engineer documenting the design and standards. These documents are needed before DPI signs off on the CO.

ii. A concrete lip should be constructed around the sump pump and pit (6-in high) so that if there is a spill in the basement, it cannot flow into the pit and be pumped to the infiltrator unit thereby contaminated the groundwater and site. This needs to be inspected and signed off by our inspector prior to signing of the CO.

iii. A release of liability form will need to be signed by the homeowner documenting that if he/she is identified as dumping pollutants into the pit and causes contamination of the site they are the responsible party for any and all cleanup and the City is not responsible. This is not needed by the CO but will be needed 30 days following execution of any property ownership documents.

b. The parcel must be developed in accordance with the conditions set forth in the approved Subdivision Plans.

c. The applicant is responsible for ensuring that Inspectional Services is provided with the "final" site plan (or any modifications approved by DPI thereafter) to be placed on file in the View Permit system.

2.) Must provide 6 stamped/signed copies of the "final" site plan approved by DPI when applying for the water, sewer/drain and sidewalk/driveway permits for the proposed structure. In addition, a copy of the foundation permit and of the stamped/signed foundation as-built plan must also be submitted.

Please Note: Any representative pulling permits on behalf of the owner must provide DPI with a permission slip. If the property was acquired within the past 3 months, then a copy of the recorded deed showing property ownership must also be provided.

3.) Must contact DPI-Engineering to measure for an address number once the front door is framed. The CO will not be signed unless the legal address issued by the City is permanently affixed to, above, or next to, the main door entrance to which it was assigned such that it is highly visible from the street.

Please be advised that any and all future modifications to the site plan that was reviewed/approved for the above project and placed on file at DPI as the "final" site plan must be resubmitted for review/approval if said changes entail work that falls under the jurisdiction of DPI.

*Note: Revised plan dated 6/16/2020 was submitted to DPI for review by Jack Tabares of Farland Corp. via e-mail 6/17/2020. Additional minor revisions were required, which were made. However, there should have been another revision date of 6/17/2020 added to the drawing before the final was resubmitted to Inspectional Services.

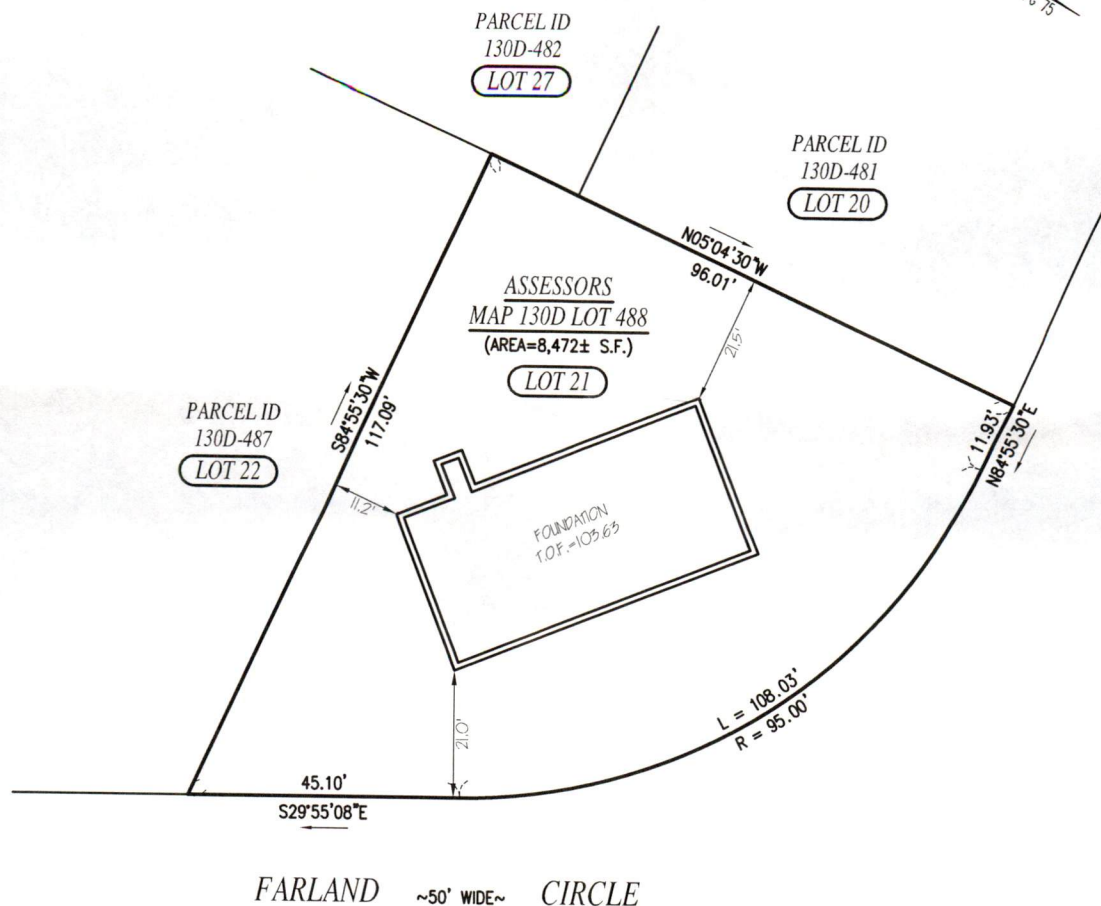
Note to Inspectional Services:

Please provide a copy of the DPI review comments to the applicant at the time they are issued the foundation permit. It is imperative that the applicants receive these comments so that they are aware of the conditions under which their permit was approved.

— ZONING DATA —

DISTRICT: RESIDENTIAL A

DESCRIPTION	REQUIRED
FRONT SETBACK	20 FT
SIDE SETBACK	10/12 FT
REAR SETBACK	30 FT



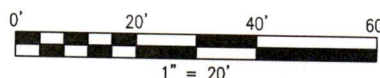
FARLAND ~50' WIDE~ CIRCLE

RECORD OWNER:

ASSESSORS MAP 130D LOT 488
RIZ, LLC
172 SAWYER AVENUE
SWANSEA, MA
DEED BOOK 13316 PAGE 224
PLAN BOOK 178 PAGE 35

NOTES:

- FOUNDATION AS-BUILT SURVEY PERFORMED BY FARLAND CORP. IN AUGUST OF 2020.
- VERTICAL ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM (NAVD) OF 1988 (NAVD 88).



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NO PART OF THIS DOCUMENT MAY BE REPRODUCED, STORED IN A RETRIEVAL SYSTEM, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC, MECHANICAL, PHOTOCOPYING, RECORDING OR OTHERWISE, WITHOUT THE EXPRESS WRITTEN CONSENT OF FARLAND CORP. ANY MODIFICATIONS MADE TO THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF FARLAND CORP. SHALL RENDER IT INVALID AND UNUSABLE.

REVISED DATE: SEPTEMBER 30, 2020

FOUNDATION AS-BUILT PLAN

LOT 21 - FARLAND CIRCLE

ASSESSORS MAP 130D LOT 488
NEW BEDFORD, MASSACHUSETTS



www.FarlandCorp.com

401 COUNTY STREET
NEW BEDFORD, MA 02740
P.508.717.3479

OFFICES IN:
• TAUNTON
• MARLBOROUGH
• WARWICK, RI

PREPARED FOR:

MANUEL SILVA
172 SAWYER AVENUE
SWANSEA, MA 02777



SCALE: 1"=20'

AUGUST 24, 2020

JOB NO: 18-765.21



Commonwealth of Massachusetts

CITY OF NEW BEDFORD

City Hall, Room 308, 133 William Street New Bedford, MA 02740 (508) 979-1540



FOUNDATION PERMIT

7/23/2020

No. **B-20-936**

MSBC Sect. 111.8 - Any permit issued shall be deemed abandoned and invalid unless the work authorized by it shall have been commenced within six (6) months after its issuance.

FEE PAID \$100.00

This certifies that Tony Ferreira

owner/contractor has permission to:

ES-

STONE BROOK LN

on:

130D

-488

Foundations Only 1-2 Family - 100.00

Providing that the person accepting this permit shall in every respect conform to the terms of application therefore on file in this office; to the provisions of the statute of the Commonwealth and to the by-laws of the City of New Bedford relating to the inspection, erection, enlarging, altering, raising, moving, repairing, or tearing down of a building.

Permit is issued subject to the following special requirements: (Restrictions)

 Wiring Inspector



Plumbing Inspector



Building Inspector

YOUR AREA INSPECTOR IS: Thomas Welch

Tel. (508) 979-1540 Between 8:00am - 9:00am

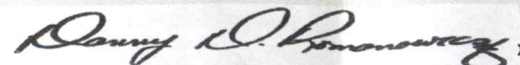
**NOTICE: NOTIFY INSPECTOR 48 HOURS IN
ADVANCE OF APPLYING SHEATHING OR LATHING**

OCCUPANCY PERMIT REQUIRED BEFORE OCCUPANCY

No Building or Structure shall be used or occupied until the Certificate of Use and Occupancy shall have been issued by the Building Commissioner - MSBC, Sect. 120.1

This Card Must Be Displayed in a Conspicuous Place on the Premises and Not Torn Down or Removed Until Completion of Work

SUBJECT TO MASSACHUSETTS
STATE BUILDING CODE

 **Danny O. Donohue Jr.**

Plan Review Comments: :

: Follow all state and local fire codes

: ERECT A FOUNDATION 54' X 27' 6" AS PER PLANS SUBMITTED

: NOTE: MODULAR HOME,,, WILL NEED ELECTRICIAN AND ELECTRICAL PERMIT FOR ANY ELECTRICAL WORK ASSOCIATED WITH THIS NEW MODULAR HOME.

: Any changes, alterations, removal, or installation of any plumbing or gas fixture will require a permit

- : 1. Sewer service to be 10 ft away from water service.
- 2. Water curb stop (shut -off) to be 1.5ft from face of curb/pavement.
- 3. Install water meter at point of entry to building
- 4. Owner to apply for water and sewer permits.

: A copy of the e-mail sent to Christian Farland of Farland Corp. on 5/19/2020 11:26 a.m. by DPI has been attached in the documents section for Permit TB-20-936. This permit is denied until the issues presented in said e-mail have been resolved.

: ASR-DPI Engrg.

RE: TB-20-936

Farland Circle (SW.S.) S. x Phillips Rd. (a/k/a Builder's Lot 21)

Plot 130D Lot 488

Reviewed 6/18/2020

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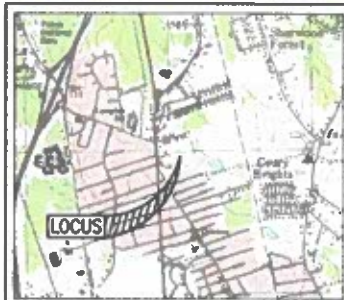
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LOCUS MAP SCALE: 1"=2,000'±

SURFACE ROOF RECHARGE UNIT SIZING CALCULATIONS:

INFLOW AREA = 743 SF, 100.00% IMPERVIOUS, INFLOW DEPTH = 6.76" FOR 100-YEAR STORM EVENT
INFLOW = 0.11 CFS @ 12.00 HRS, VOLUME = 419 CF
OUTFLOW = 0.01 CFS @ 12.70 HRS, VOLUME = 419 CF, ATTEN = 88%, LAG = 36.8 MIN
DISCARDED = 0.01 CFS @ 11.55 HRS, VOLUME = 419 CF

ROUTING BY STOR-IMP METHOD, TIME SPAN = 0.00-30.00 HRS, DT = 0.05 HRS
PEAK ELEV = 101.30' @ 12.72 HRS SURF AREA = 66 SF REQUIRED STORAGE = 132 CF

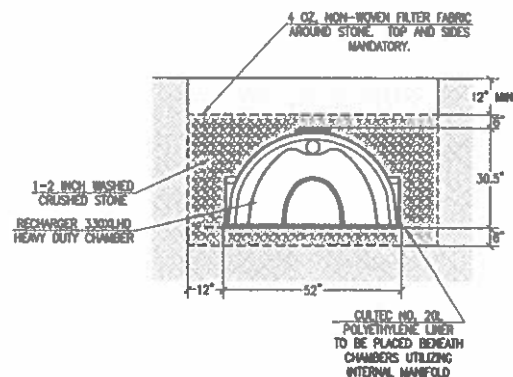
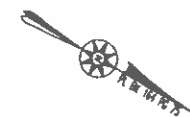
VOLUME	INVERT	AVAIL STORAGE	STORAGE DESCRIPTION
#1	95.95'	66 CF	6.33'W X 10.50' L 3.54' H PRISMATOID X 1 236 CF OVERALL - 63 CF EMBEDDED = 172 CF X 40.0% Voids
#2	96.45'	63 CF	47.8'W X 30.0' H X 7.00' L PARABOLIC ARCH X 1 INSIDE #1
#3	96.50'	1 CF	0.33' D X 10.0' H VERTICAL CONE/CYLINDER-IMPERVIOUS

TOTAL AVAILABLE STORAGE = 133 CF >>> 132 CF

*PLEASE NOTE: THESE CALCULATIONS ARE PER UNIT. THERE ARE 2 UNITS ONSITE.

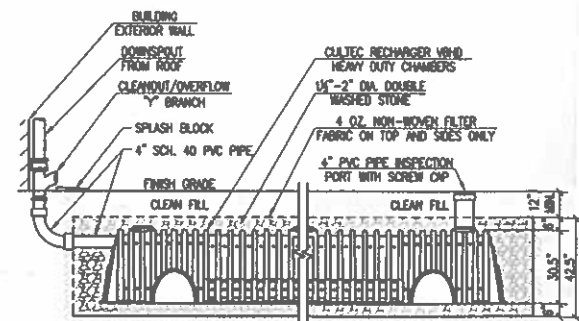
ZONING DATA - DISTRICT: RA - RESIDENTIAL A

DESCRIPTION	REQUIRED	PROVIDED
LOT AREA	8,000 S.F.	8,472± S.F.
LOT FRONTAGE	75 FT	105.06 FT
FRONT SETBACK	20 FT	21.0± FT
SIDE SETBACK	10/12 FT	11.2±/21.4± FT
REAR SETBACK	30 FT	N/A FT
BUILDING HEIGHT (MAXIMUM)	45 FT	30± FT
BUILDING COVERAGE (MAXIMUM)	30 %	17.5± %
LOT COVERAGE (MAXIMUM)	65 %	30.2± %



CULTEC RECHARGER 330XLHD STANDARD CROSS SECTION

NOT TO SCALE



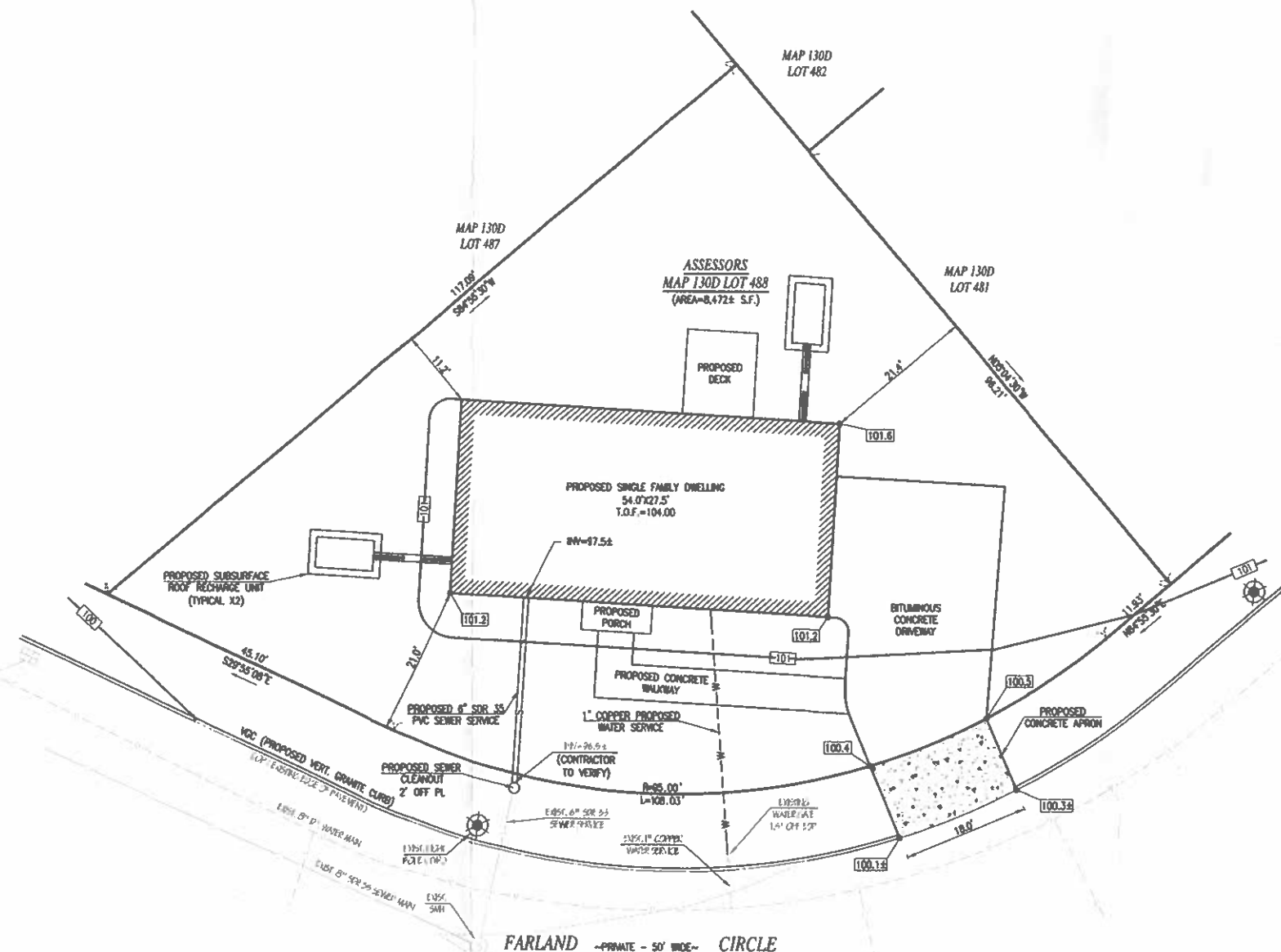
ROOF RECHARGE SYSTEM

NOT TO SCALE

RECORD OWNER:
ASSESSORS MAP 1300 LOT 488
MH1, LLC
401 COUNTY STREET
NEW BEDFORD, MA 02740
DEED BOOK 12304 PAGE 200

NOTES:

- TOPOGRAPHIC AND PROPERTY LINE SURVEY PERFORMED BY FARLAND CORP. IN NOVEMBER OF 2017.
- PORTION OF DRIVEWAY BETWEEN EDGE OF ROADWAY AND PROPERTY LINE SHALL BE CONCRETE.
- ROOF RECHARGE SYSTEMS HAVE BEEN OVER DESIGNED TO WITHSTAND THE 100-YEAR STORM EVENT AND THE TIE-IN OF A SUMP PUMP SYSTEM, IF NECESSARY.
- IF SUMP PUMP IS INSTALLED, A CONCRETE UP MUST BE INSTALLED AROUND THE SUMP PUMP.



REVISIONS

DATE	BY	COMMENTS
1/6/16/20	JT	



www.FarlandCorp.com

401 COUNTY STREET
NEW BEDFORD, MA 02740
P.508.717.3479
OFFICES IN:
•TAUNTON
•MARLBOROUGH
•WARWICK, RI

DRAWN BY: JT
DESIGNED BY: JT/CAF
CHECKED BY: CAF

SITE PLAN
FARLAND CIRCLE
ASSESSORS MAP 1300 LOT 488
NEW BEDFORD, MASSACHUSETTS

PREPARED FOR:
MH1, LLC
401 COUNTY STREET
NEW BEDFORD, MA 02740

FEBRUARY 3, 2020

SCALE: 1"=10'

JOB NO. 18-765.21

LATEST REVISION:
JUNE 16, 2020

SHEET 1 OF 1



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SUBSURFACE ROOF RECHARGE UNIT SIZING CALCULATIONS:

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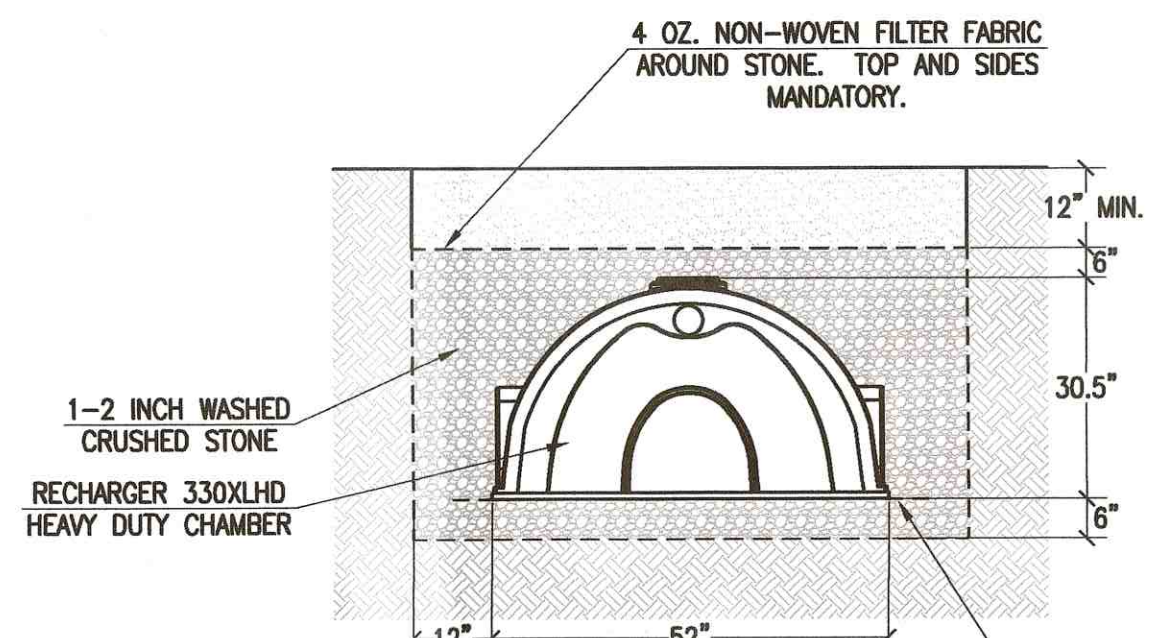
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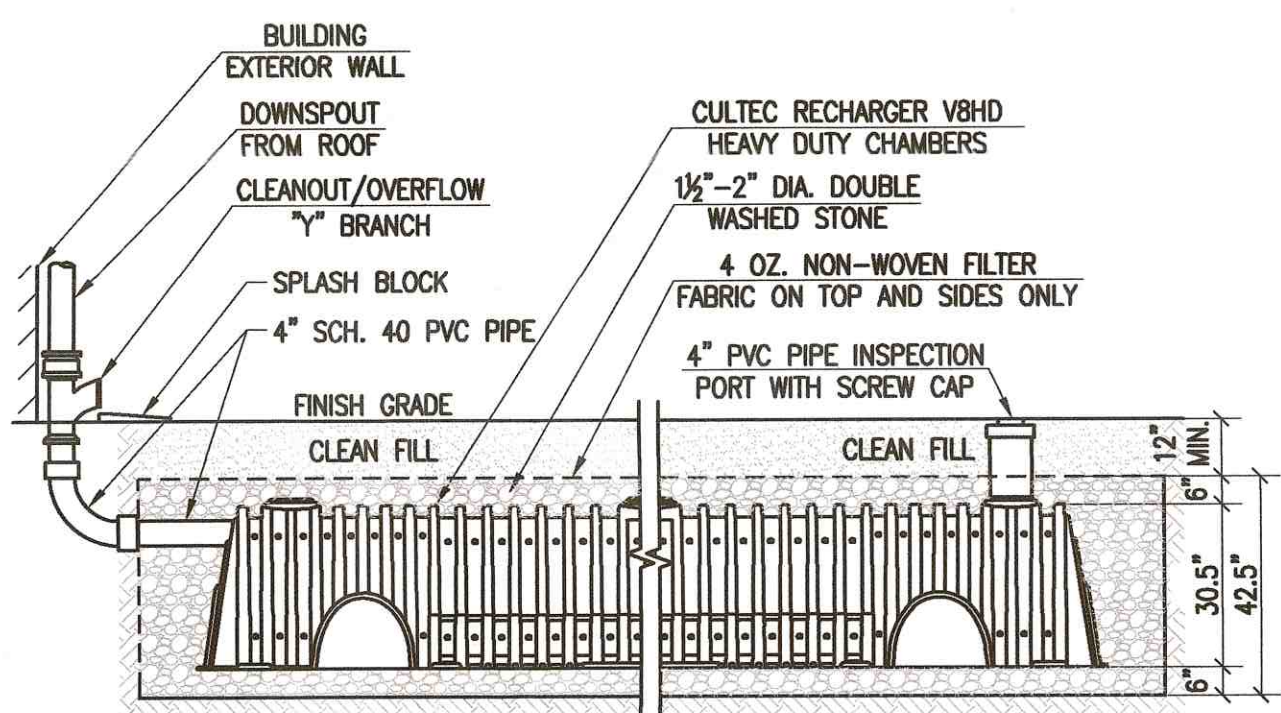
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REAR SETBACK	30 FT	N/A FT
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BUILDING COVERAGE (MAXIMUM)	30 %	17.5± %
LOT COVERAGE (MAXIMUM)	65 %	30.2± %



CULTEC RECHARGER 330XLHD STANDARD CROSS SECTION

NOT TO SCALE



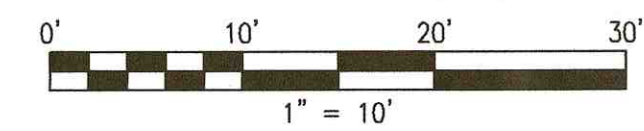
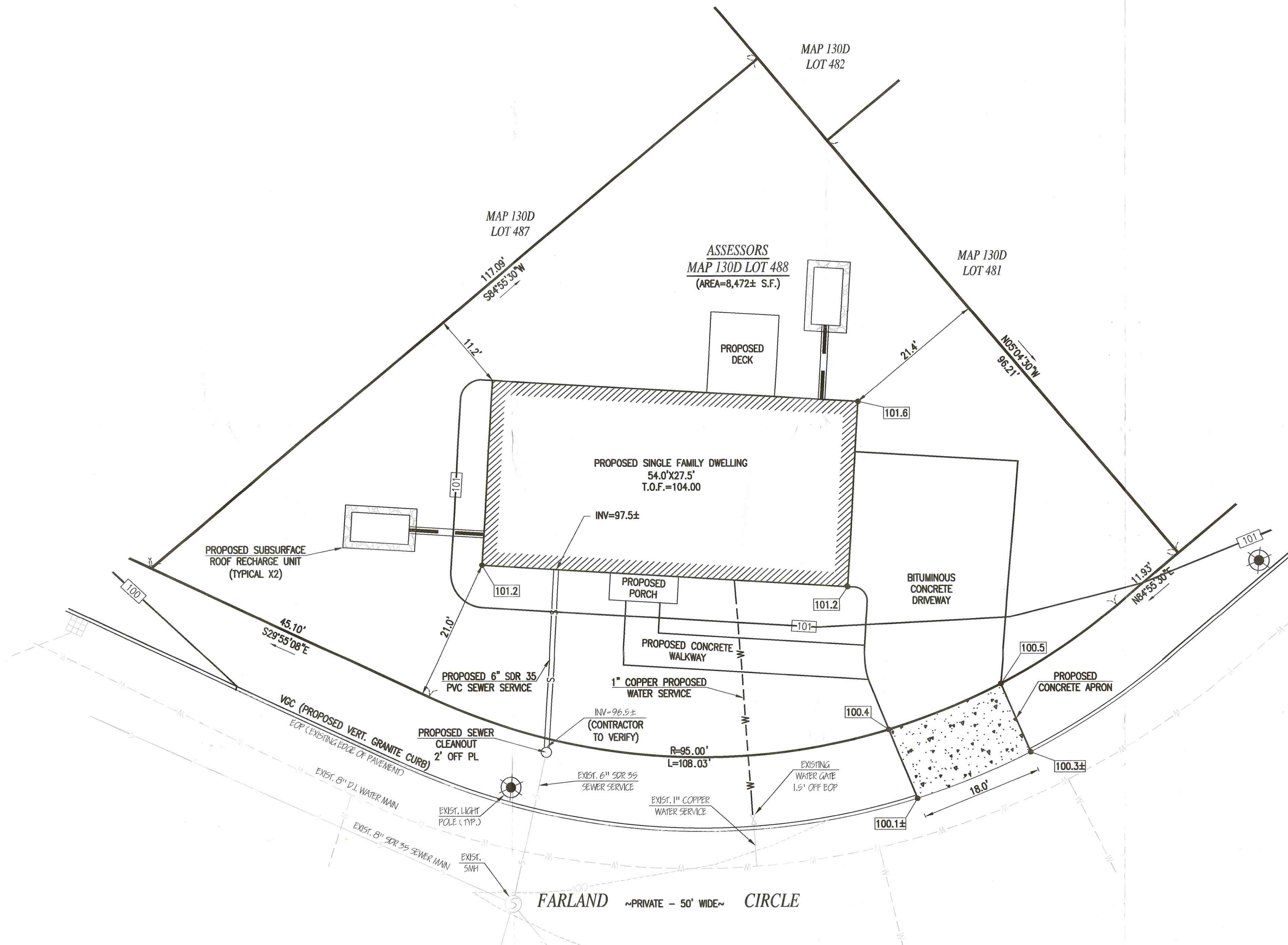
ROOF RECHARGE SYSTEM

NOT TO SCALE

RECORD OWNER:
ASSESSORS MAP 130D LOT 488
MHI, LLC
401 COUNTY STREET
NEW BEDFORD, MA 02740
DEED BOOK 12304 PAGE 200

NOTES:

- TOPOGRAPHIC AND PROPERTY LINE SURVEY PERFORMED BY FARLAND CORP. IN NOVEMBER OF 2017.
- PORTION OF DRIVEWAY BETWEEN EDGE OF ROADWAY AND PROPERTY LINE SHALL BE CONCRETE.
- ROOF RECHARGE SYSTEMS HAVE BEEN OVER DESIGNED TO WITHSTAND THE 100-YEAR STORM EVENT AND THE TIE-IN OF A SUMP PUMP SYSTEM, IF NECESSARY.
- IF SUMP PUMP IS INSTALLED, A CONCRETE LIP MUST BE INSTALLED AROUND THE SUMP PUMP.



REVISIONS

DATE	DESCRIPTION
1/6/16/20	DPI COMMENTS



www.FarlandCorp.com

401 COUNTY STREET
NEW BEDFORD, MA 02740
P.508.717.3479

OFFICES IN:
•TAUNTON
•MARLBOROUGH
•WARWICK, RI

DRAWN BY: JT
DESIGNED BY: JT/CAF
CHECKED BY: CAF

SITE PLAN

FARLAND CIRCLE
ASSESSORS MAP 130D LOT 488
NEW BEDFORD, MASSACHUSETTS

PREPARED FOR:
MHI, LLC
401 COUNTY STREET
NEW BEDFORD, MA 02740

FEBRUARY 3, 2020

SCALE: 1"=10'

JOB NO. 18-765.21

LATEST REVISION:

JUNE 16, 2020

SHEET 1 OF 1