

10-20-29  
SERVICE 34099  
Sewer permit 24899

NEW BEDFORD WATER WORKS  
APPLICATION FOR SERVICE AND METER  
NEW BEDFORD 9-28-2020

I HEREBY ACKNOWLEDGE the receipt of a copy of the Regulations prescribed in the Ordinance of the City, for the use of Water, and I request that the water may be furnished through a

1 inch copper meter at Farland Circle (W.S.) S x  
Phillips Rd Lot #19

at such rates as may from time to time be established by the City.

I hereby agree to pay promptly the bill for the Service pipe laid down for my premises, and to pay all dues for water, and I agree to conform to the said Regulations and to all provisions of the Water Ordinances, until written notice is given by me or my agent to cut off the supply.

P 1300  
1 444

single Family X

TELEPHONE

508 441 8606

Eddie Lopez 29 Waldo St  
NB MA 018745

Service laid

Size and kind of pipe

1" copper

From

New Construction

St.

Turned on

Contractor KJ CAMASSA

Meter Set

Reading

Location

Building rates \$

500.00 r# 459

Paid

Cost of Service

Paid

9/28/2020

31-727

10/20/2020 - Installed by RJ Canessa. Inspected  
by Manny Rose.

S X SL Phillips Rd 123.9'  
E X WL Farland Circle Wst. 5.0'  
S X NL - Corner of building 6'10"  
N X SL - Corner of building 40.0'  
E X EL - House to box 28.10'  
E X WL Farland Circl. Wst - Main to property  
line 14.0'  
Pipe inside property line 24.0'

*Coupling picked up*

X



SERVICE 34099  
Sewer permit 24899

NEW BEDFORD WATER WORKS  
APPLICATION FOR SERVICE AND METER  
NEW BEDFORD

EX 9-28-2021

9-28-2020

I HEREBY ACKNOWLEDGE the receipt of a copy of the Regulations prescribed in the Ordinance of the City, for the use of Water, and I request that the water may be furnished through a

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P 130  
1 444

single Family

X  
Eddie Lopez 29 Walcott St  
NB MA 018745

TELEPHONE 508 441 8606

Service laid \_\_\_\_\_ Size and kind of pipe 1" copper

From New Construction \_\_\_\_\_ St.

Turned on \_\_\_\_\_ Meter Set \_\_\_\_\_

Reading \_\_\_\_\_ Location \_\_\_\_\_

Building rates 500<sup>00</sup> # 459 Paid \_\_\_\_\_

Cost of Service \_\_\_\_\_ Paid 9/28/2020

31-727

SERVICE 34099  
Sewer Permit 24899

NEW BEDFORD WATER WORKS  
APPLICATION FOR SERVICE AND METER  
NEW BEDFORD 9-28-2020

I HEREBY ACKNOWLEDGE the receipt of a copy of the Regulations prescribed in the Ordinance of the City, for the use of Water, and I request that the water may be furnished through a

1 inch Copper meter at Farland Circle/W.S. 5 x  
Phillips Rd Lot # 19

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P 130  
1 444

single Family

TELEPHONE 508 441 8606

Eddie Lopez 29 Walcott St  
NB MA 01874

Service laid \_\_\_\_\_ Size and kind of pipe 1" copper  
From New Construction \_\_\_\_\_ St.  
Turned on \_\_\_\_\_ Meter Set \_\_\_\_\_  
Reading \_\_\_\_\_ Location \_\_\_\_\_  
Building rates of 500<sup>00</sup> ✓ # 459 Paid \_\_\_\_\_  
Cost of Service 500<sup>00</sup> ✓ # 459 Paid 9/28/2020  
31-727

**DISPLAY PERMIT IN A CONSPICUOUS PLACE ON THE PREMISES**



Commonwealth of Massachusetts

**City of New Bedford**

133 William Street New Bedford, MA 02740

**WATER SERVICE PERMIT**



Date: 12/15/2020

No. **W-20-29**

Permit Fee: \$500.00

Service Location: WS- STONEY BROOK LN

Owner Name: MIH1 LLC

Owner Phone #: \_\_\_\_\_

Type of Occupancy: Residential

Type of Work: Water - Domestic New 1"

Work Description: Water Service#34099  
P.130D L.444

**Farland Circle WS S x Phillips Rd**  
**Builders Lot #19**

**NEw COnsutrction Single Family**

**sewer#24899**  
**09-28-2021 expires**

**Contractor**

Name: \_\_\_\_\_ Certificate #: \_\_\_\_\_ Type of Business : \_\_\_\_\_

Address: \_\_\_\_\_ City/Town/State: \_\_\_\_\_ Phone #: \_\_\_\_\_

Type of Service \_\_\_\_\_ Pipe Size \_\_\_\_\_ Trench Length: **0.00**

Fire Service \_\_\_\_\_

Domestic Service \_\_\_\_\_

**Estimated consumption of water**

Estimated average daily consumption 0.00 gallons

Cross Connection? **No**

Estimated maximum day consumption 0.00 gallons

Right of Way? **No**

Are lawn sprinklers and/or lawn irrigation proposed on site? **No**

Meter Impact? **No**

Estimated fire flows required for the project site: 0.00

Street Opening Permit Required? **No**

Does the project require a fire supression system? **No**

Required minimum static pressure for the proposed project site \_\_\_\_\_

**Call Phone: (781) 942-9077 For Inspection**

<< Hide Panel

Search by Address

Temporary Address

Street: AIRPORT RD House #: 1569

Merge w/ Assessors

Permits 14 of 14 Record(s) Found

FM-20-345

E-20-1065

B-20-748

E-20-143

TB-19-3016

FM-19-853

B-19-2601

FM-19-408

FM-18-311

FM-17-108

FM-16-715

FM-15-1304

FM-15-265

E-12-927

Legend

Permit Select

Show All Types

Community Dev.

Building

All Licenses

Water

Health

Fire

Dashboard

Quit

Permits Project Review Inspections C O O Signoff GIS Personnel Reports Web Schedule

Property Info TAX DELINQUENT

Address: 1569 AIRPORT RD Property Use: 356

Owner: AIRPORT GRILLE, LLC Lot Area: 0

Parcel ID: 123-3M Year Built: 0

Zoning: MUB Book Page:

Water Service

Parent Permit:

Permit Info READ-ONLY

Occupancy Type: Residential Building Type: Service For: Water - Domestic New 3 Date Submitted: 12/ 9/2020

Owner Name: Address: City: State: Zip: Phone No:

Applicant is (select one)

☒ Owner

☐ Contractor

☐ Other

Applicant Email:

Applicant Name: Address: City: State: Zip: Phone No:

Assigned Inspector:

Contractor Info

Available Contractors

Type Name, DBA, or License #(4 letters min.)

Assigned Contractors (0) Assign

Hint: Double click on any license record above to edit contractor information

(License Status Inactive or Revoked)

(Selected License)

Remove from List

Service Info

# of Meters: 0 # of Units: 0

Requirements/Custom Fields

Yes/No	Description	Notes
<input type="checkbox"/>	Water Meter Location	

Edit Mode: Read Only

Edit

Print

Save

Copy To

Change Address

Property Characteristics

☐ Inactive

Work Description

Comments



Commonwealth of Massachusetts

# CITY OF NEW BEDFORD

City Hall, Room 308, 133 William Street New Bedford, MA 02740 (508) 979-1540



## FOUNDATION PERMIT

No. **B-20-833**

8/6/2020

MSBC Sect. 111.8 - Any permit issued shall be deemed abandoned and invalid unless the work authorized by it shall have been commenced within six (6) months after its issuance.

FEE PAID \$100.00

This certifies that **Eddie Lopez**

owner/contractor has permission to:

WS- STONEY BROOK LN

on:

130D  
-444

Foundations Only 1-2 Family - 100.00

Providing that the person accepting this permit shall in every respect conform to the terms of application therefore on file in this office; to the provisions of the statute of the Commonwealth and to the by-laws of the City of New Bedford relating to the inspection, erection, enlarging, altering, raising, moving, repairing, or tearing down of a building.

Permit is issued subject to the following special requirements: (Restrictions)



Wiring Inspector

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_



Plumbing Inspector

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_



Building Inspector

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

YOUR AREA INSPECTOR IS: **Thomas Welch**

Tel. (508) 979-1540 Between 8:00am - 9:00am

**NOTICE: NOTIFY INSPECTOR 48 HOURS IN ADVANCE OF APPLYING SHEATHING OR LATHING**

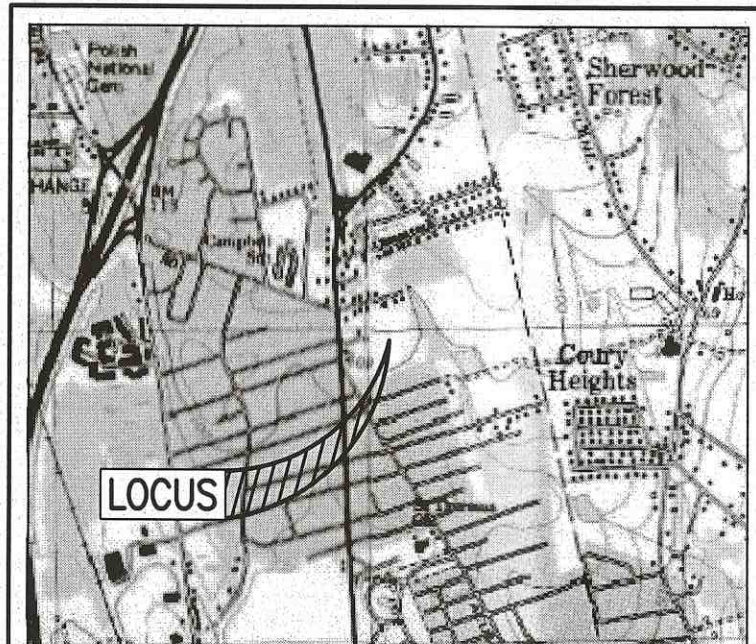
**OCCUPANCY PERMIT REQUIRED BEFORE OCCUPANCY**

No Building or Structure shall be used or occupied until the Certificate of Use and Occupancy shall have been issued by the Building Commissioner - MSBC, Sect. 120.1

**This Card Must Be Displayed in a Conspicuous Place on the Premises and Not Torn Down or Removed Until Completion of Work**

SUBJECT TO MASSACHUSETTS  
STATE BUILDING CODE

*Danny D. Hernandez*



LOCUS MAP SCALE: 1"=2,000'±

#### SUBSURFACE ROOF RECHARGE UNIT SIZING CALCULATIONS:

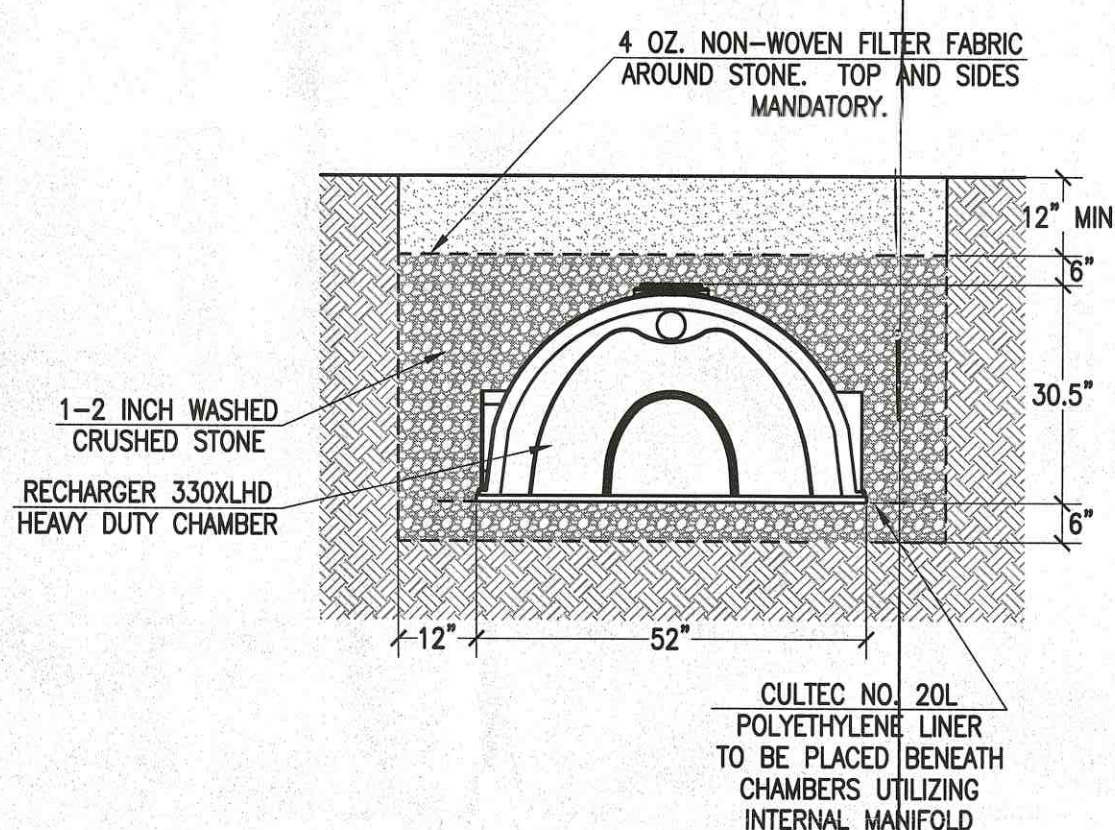
INFLOW AREA = 568 SF, 100.00% IMPERVIOUS, INFLOW DEPTH = 6.76" FOR 100-YEAR STORM EVENT  
INFLOW = 0.09 CFS @ 12.00 HRS, VOLUME= 320 CF  
OUTFLOW = 0.01 CFS @ 11.70 HRS, VOLUME= 320 CF, ATTN= 85%, LAG= 0.0 MIN  
DISCARDED = 0.01 CFS @ 11.70 HRS, VOLUME= 320 CF

ROUTING BY STOR-AND METHOD, TIME SPAN= 0.00-30.00 HRS, DT= 0.05 HRS  
PEAK ELEV= 99.17' @ 12.59 HRS SURF AREA= 66 SF REQUIRED STORAGE= 90 CF

VOLUME	INVERT	AVAIL STORAGE	STORAGE DESCRIPTION
#1	96.95'	69 CF	6.33'W X 10.50'L X 3.54'H PRISMATOID X 1 236 CF OVERALL - 63 CF EMBEDDED = 172 CF X 40.0% VOIDS
#2	97.45'	63 CF	47.8'W X 30.0'H X 7.00'L PARABOLIC ARCH X 1 INSIDE #1
#3	100.00'	1 CF	0.33'D X 10.0'H VERTICAL CONE/CYLINDER-IMPERVIOUS

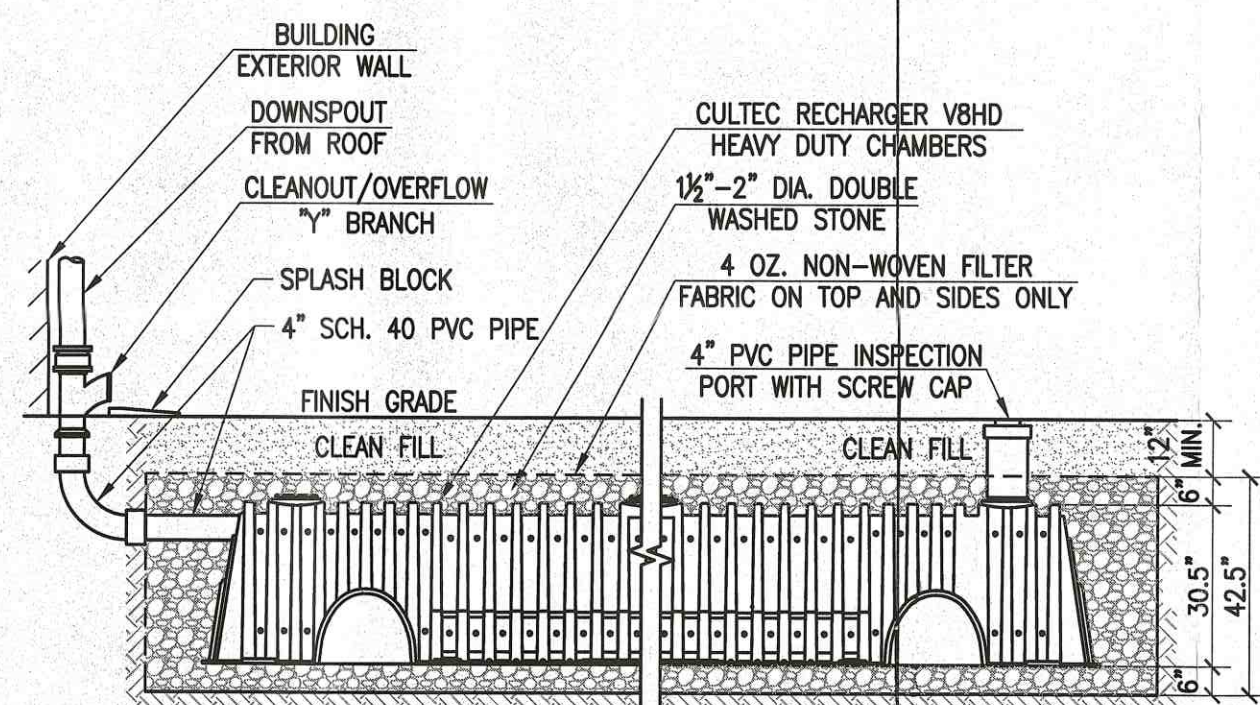
TOTAL AVAILABLE STORAGE = 133 CF >>> 90 CF

\*PLEASE NOTE: THESE CALCULATIONS ARE PER UNIT. THERE ARE 2 UNITS ONSITE.



CULTEC RECHARGER 330XLHD STANDARD CROSS SECTION

NOT TO SCALE



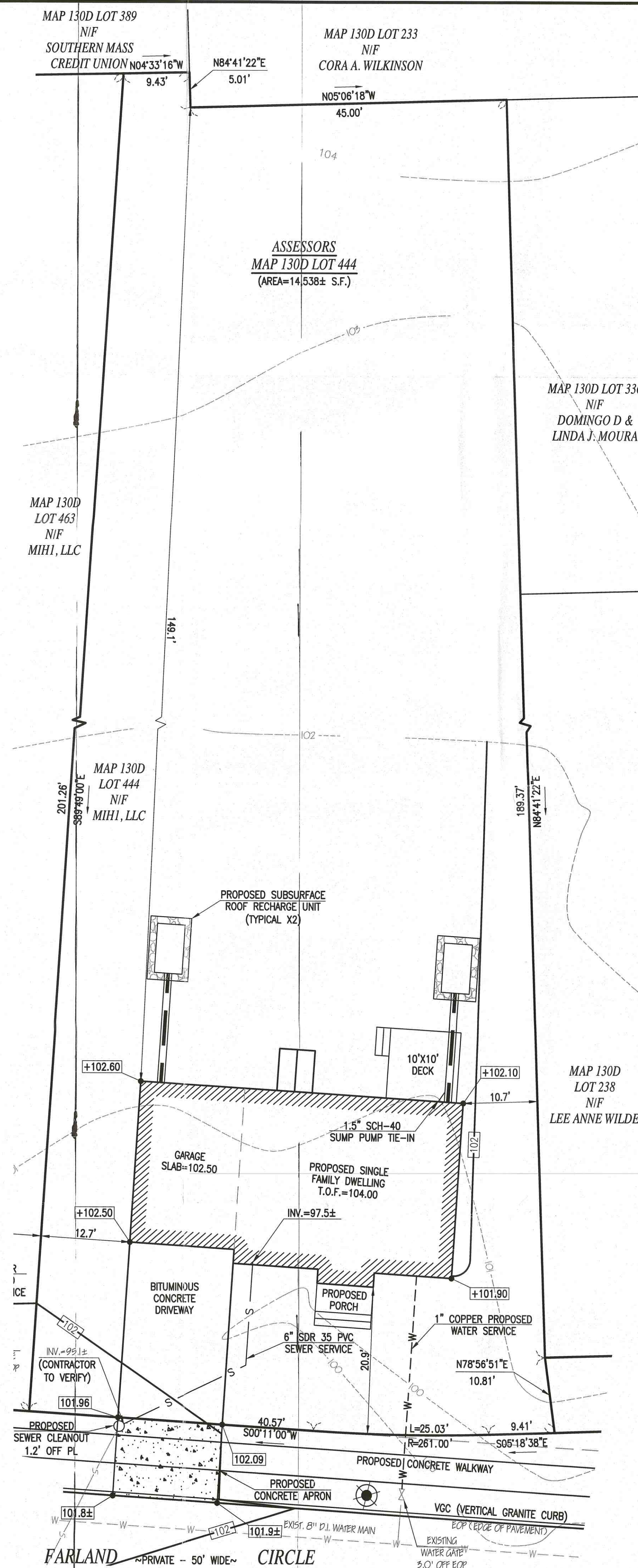
ROOF RECHARGE SYSTEM

NOT TO SCALE

RECORD OWNER:  
ASSESSORS MAP 130D LOT 478  
MIH1, LLC  
401 COUNTY STREET  
NEW BEDFORD, MA 02740  
DEED BOOK 12304 PAGE 200

#### NOTES:

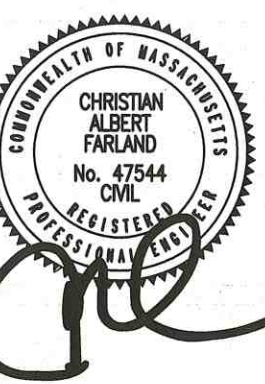
1. TOPOGRAPHIC AND PROPERTY LINE SURVEY PERFORMED BY FARLAND CORP. IN NOVEMBER OF 2017.
2. PORTION OF DRIVEWAY BETWEEN EDGE OF ROADWAY AND PROPERTY LINE SHALL BE CONCRETE.
3. BORDERING VEGETATED WETLAND FLAGS AND INTERMITTENT STREAM FLAGS WERE SET BY JOHN ZIMMER, P.W.S. IN NOVEMBER OF 2015 AS SHOWN ON PLAN ENTITLED "DEFINITIVE SUBDIVISION PLANS - STONEY BROOK FARM" DATED MAY 11, 2017 BY CAVANARO CONSULTING.



- ZONING DATA -		
DISTRICT: RA - RESIDENTIAL A		
DESCRIPTION	REQUIRED	PROVIDED
LOT AREA	8,000 S.F.	14,538± S.F.
LOT FRONTAGE	75 FT	75 FT
FRONT SETBACK	20 FT	20.9± FT
SIDE SETBACK	10/12 FT	10.7/12.7± FT
REAR SETBACK	30 FT	149.1± FT
BUILDING HEIGHT (MAXIMUM)	45 FT	30± FT
BUILDING COVERAGE (MAXIMUM)	30 %	7.8± %
LOT COVERAGE (MAXIMUM)	65 %	10.4± %

#### REVISIONS

NO.	DESCRIPTION



www.FarlandCorp.com

401 COUNTY STREET  
NEW BEDFORD, MA 02740  
P.508.717.3479

#### OFFICES IN:

- TAUNTON
- MARLBOROUGH
- WARWICK, RI

DRAWN BY: JT

DESIGNED BY: CAF/JT

CHECKED BY: CAF

#### SITE PLAN

— FARLAND CIRCLE —  
ASSESSORS MAP 130D LOT 444  
NEW BEDFORD, MASSACHUSETTS

PREPARED FOR:  
LOPEZ DEVELOPMENT  
129 HUTTLESON AVE  
FAIRHAVEN, MA 02719

APRIL 21, 2020

SCALE: 1"=10'

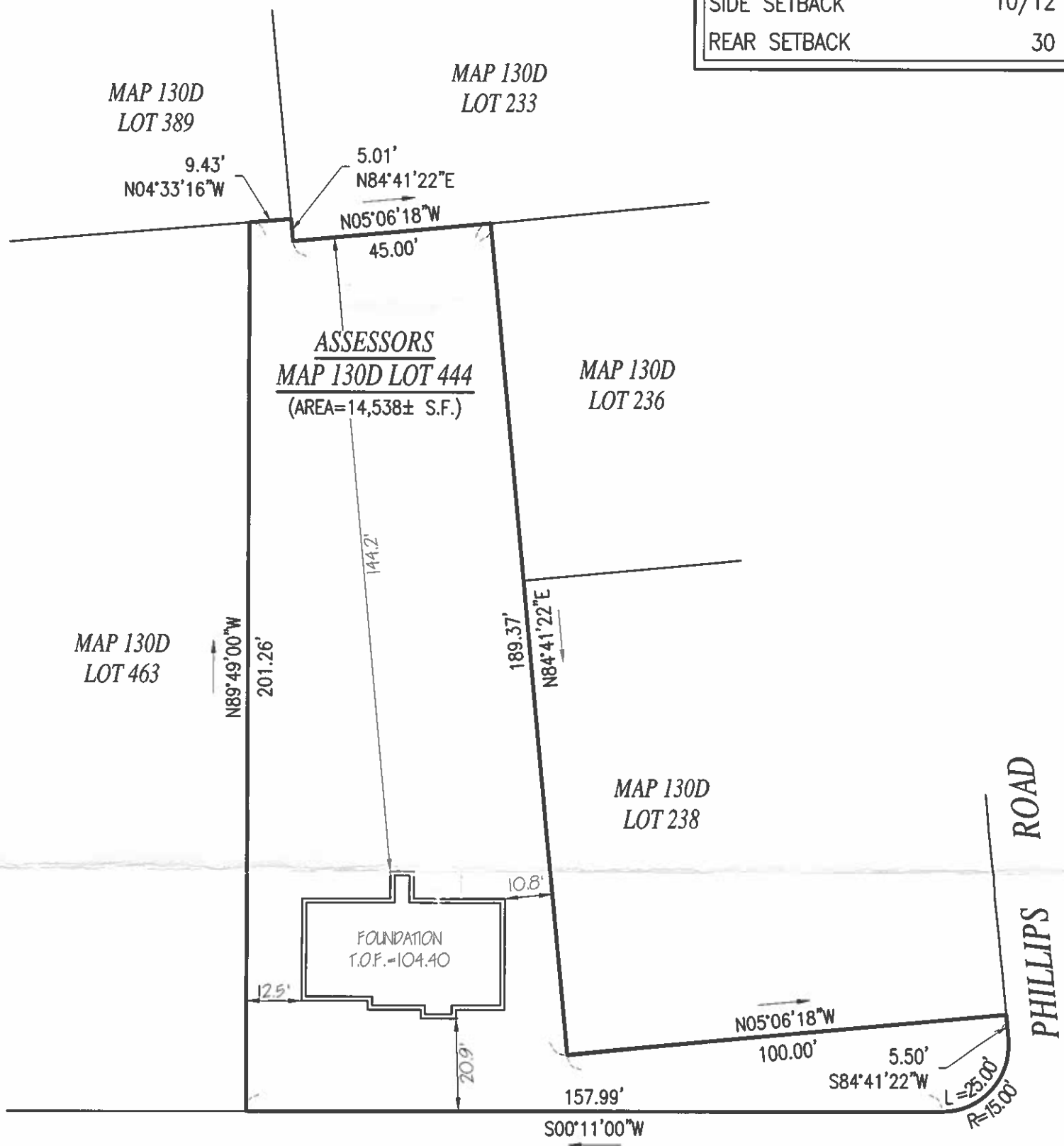
JOB NO. 19-744.19

LATEST REVISION:

SHEET 1 OF 1



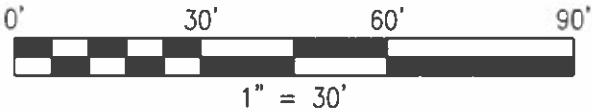
— ZONING DATA —	
DISTRICT: RA – RESIDENTIAL A	
DESCRIPTION	REQUIRED
FRONT SETBACK	20 FT
SIDE SETBACK	10/12 FT
REAR SETBACK	30 FT



**RECORD OWNER:**  
ASSESSORS MAP 130D LOT 444  
BIG THREE LLC  
2 BOULDER COURT  
FAIRHAVEN, MA 02719  
DEED BOOK 12989 PAGE 21  
PLAN BOOK 178 PAGE 35

**FARLAND CIRCLE**

- NOTES:**
- FOUNDATION AS-BUILT SURVEY PERFORMED BY FARLAND CORP. IN SEPTEMBER 2020.
  - VERTICAL ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88)



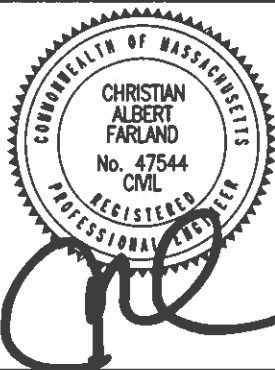
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**FOUNDATION AS-BUILT PLAN  
FARLAND CIRCLE  
ASSESSORS MAP 130D LOT 444  
NEW BEDFORD, MASSACHUSETTS**



[www.FarlandCorp.com](http://www.FarlandCorp.com)  
21 VENTURA DRIVE  
DARTMOUTH, MA 02747  
P.508.717.3479  
• ENGINEERING  
• SITEWORK  
• LAND SURVEYING  
• DEVELOPMENT

**PREPARED FOR:**  
LOPEZ DEVELOPMENT  
129 HUTTLESTON AVENUE  
FAIRHAVEN, MA 02719



SCALE: 1"=30'  
SEPTEMBER 16, 2020  
JOB NO: 19-744