

W-20-17  
SERVICE 34097

Sewer #24893

## NEW BEDFORD WATER WORKS

APPLICATION FOR SERVICE AND METER

NEW BEDFORD

August 20, 2020 to August 20, 2021

I HEREBY ACKNOWLEDGE the receipt of a copy of the Regulations prescribed in the Ordinance of the City, for the use of Water, and I request that the water may be furnished through a

1" inch Copper meter at Bryant Lane  
(S.S.) @ intersection of Shady Ln.

at such rates as may from time to time be established by the City.

I hereby agree to pay promptly the bill for the Service pipe laid down for my premises, and to pay all dues for water, and I agree to conform to the said Regulations and to all provisions of the Water Ordinances, until written notice is given by me or my agent to cut off the supply.

Plot 73

single family

X See attached for signature

Lot 49

42 Bush St. So Dartmouth,

TELEPHONE (774) 263-0077

MA 02748

Service laid JLC

Size and kind of pipe

1" Copper

From

New Build connecting to 8" water main on Bryant

St.

Turned on

Meter Set

Reading

Location

Building rates

Paid

Cost of Service

\$500.00 ck. #1448

Paid

8/20/2020

31-727

Jason B.  
Picked up Blank

12-7-2000  
Make Appr with Billing!

E	X	EL	SHADY LANE
W	X	POLE	113/2
N	X	SL	BRYANT LANE
E	X	WL	HSE
W	X	EL	HSE
N	X	NL	HSE

72.5 ft.

25.5 ft

6.7 ft

32.6 ft

11.6 ft

43.3 ft

MAIN TO PROPERTY LINE

14.0 ft

PIPE TO INSIDE PROPERTY

37.2 ft

DISPLAY PERMIT IN A CONSPICUOUS PLACE ON THE PREMISES



Commonwealth of Massachusetts

City of New Bedford

133 William Street New Bedford, MA 02740

WATER SERVICE PERMIT



Date: 9/29/2020

No. W-20-17

Permit Fee: \$500.00

Service Location: SS-73- BRYANT LN

Owner Name: GOUVEIA JOSE JRGOUVEIA

Owner Phone #: (774) 263-0077

Type of Occupancy: Residential

Type of Work: Water - Domestic New 1"

Work Description: Water Service# 34097

**Bryant Lane SS @ Intersection x Shady Lane**

**P.73 L.49**

**sewer permit# 24893**

**08/20/20-08/20/2021**

**new build/ single family**

**connecting to 8" water main on Bryant Lane**

Contractor

Name: DEMETRI COSTA

Certificate #: 076355

Type of Business: Hoisting

Address: 415 LAKE RD

City/Town/State: TIVERTON

RI

Phone #: (508) 326-

Type of Service

Pipe Size

Trench Length:

0.00

Fire Service

Domestic Service

Estimated consumption of water

Estimated average daily consumption 0.00 gallons

Cross Connection? No

Estimated maximum day consumption 0.00 gallons

Right of Way? No

Are lawn sprinklers and/or lawn irrigation proposed on site? No

Meter Impact? No

Estimated fire flows required for the project site: 0.00

Street Opening Permit Required? No

Does the project require a fire suppression system? No

**Call Phone: (781) 942-9077 For Inspection**



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Plot 73  
Lot 49B

single family

TELEPHONE (774) 263-0077

42 Bush St. So. Dartmouth,  
MA 02748

Service laid VC Size and kind of pipe 1" Copper

From New Build connecting to 8" watermain on Bryant St.

Turned on \_\_\_\_\_ Meter Set \_\_\_\_\_

Reading \_\_\_\_\_ Location \_\_\_\_\_

Building rates \_\_\_\_\_ Paid \_\_\_\_\_

Cost of Service \$500.00 ck. #1448 Paid 8/20/2020

31-727





Commonwealth of Massachusetts

# CITY OF NEW BEDFORD

City Hall, Room 308, 133 William Street New Bedford, MA 02740 (508) 979-1540



## FOUNDATION PERMIT

7/13/2020

No. B-20-1494

MSBC Sect. 111.8 - Any permit issued shall be deemed abandoned and invalid unless the work authorized by it shall have been commenced within six (6) months after its issuance.

FEE PAID \$100.00

This certifies that Jason Braz

owner/contractor has permission to:

SS-

BRYANT LN

73-49

on:

~~Foundations Only 1-2 Family - 100.00~~

Providing that the person accepting this permit shall in every respect conform to the terms of application therefore on file in this office; to the provisions of the statute of the Commonwealth and to the by-laws of the City of New Bedford relating to the inspection, erection, enlarging, altering, raising, moving, repairing, or tearing down of a building.

Permit is issued subject to the following special requirements: (Restrictions)



Wiring Inspector

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Plumbing Inspector

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Building Inspector

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YOUR AREA INSPECTOR IS: Robert Carreiro

Tel. (508) 979-1540 Between 8:00am - 9:00am

NOTICE: NOTIFY INSPECTOR 48 HOURS IN ADVANCE OF APPLYING SHEATHING OR LATHING

**OCCUPANCY PERMIT REQUIRED BEFORE OCCUPANCY**

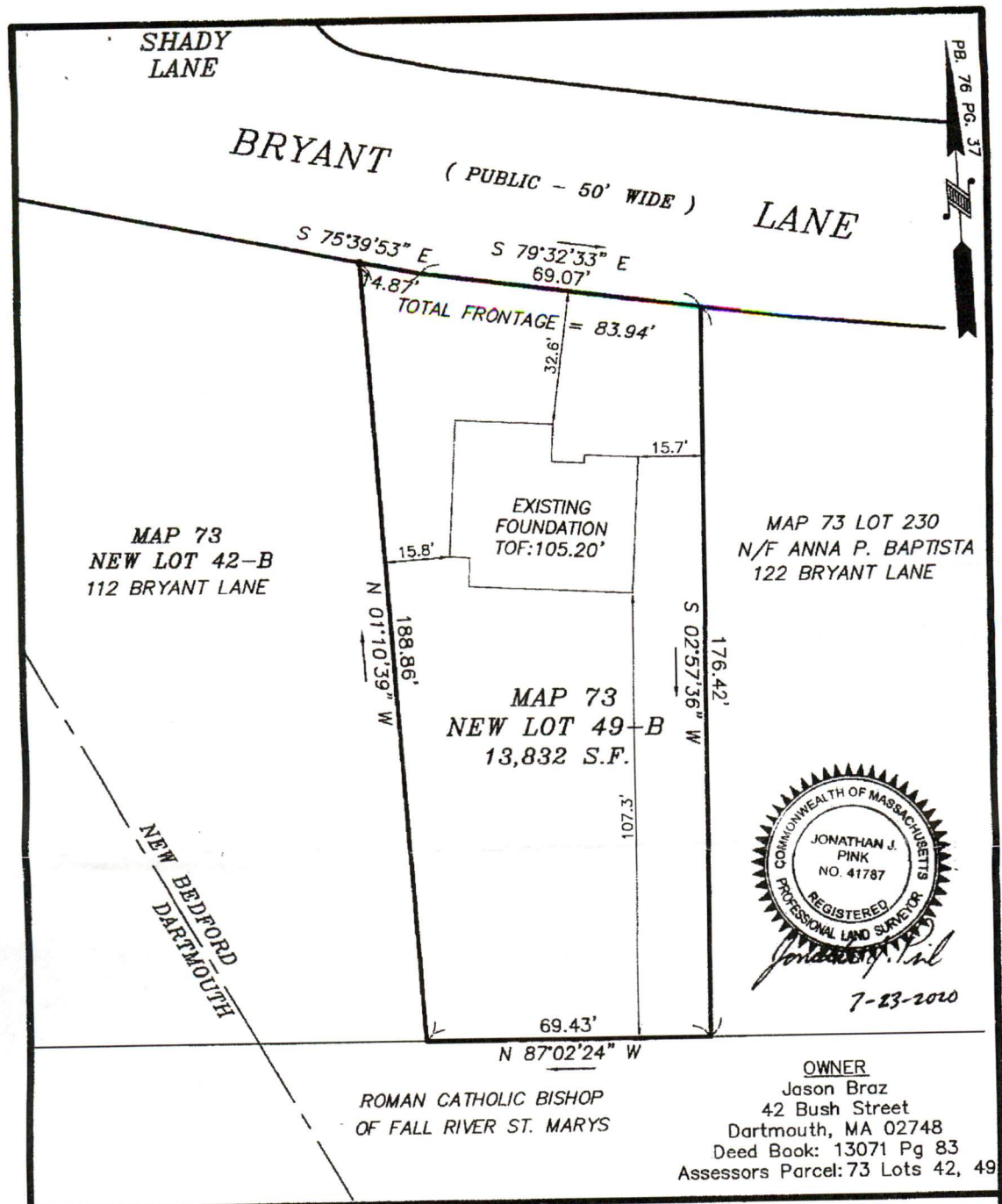
No Building or Structure shall be used or occupied until the Certificate of Use and Occupancy shall have been issued by the Building Commissioner - MSBC, Sect. 120.1

**This Card Must Be Displayed in a Conspicuous Place on the Premises and Not Torn Down or Removed Until Completion of Work**

SUBJECT TO MASSACHUSETTS  
STATE BUILDING CODE

*Danny D. Romanowicz Jr.*

Plan Review Comments:



AS-BUILT FOUNDATION PLAN

BRYANT LANE  
IN  
NEW BEDFORD, MA

DATE: JULY 23, 2020

SCALE: 1" = 30'

I CERTIFY THAT THE FOUNDATION SHOWN  
HEREON, AS BUILT, CONFORMS TO THE CITY  
OF NEW BEDFORD ZONING SETBACK  
REQUIREMENTS.

*Jonathan J. Pink* 7-23-2020  
PROFESSIONAL LAND SURVEYOR DATE



ZENITH LAND SURVEYORS, LLC  
1162 ROCKDALE AVENUE  
NEW BEDFORD, MA 02740  
(508) 995-0100



ASR-DPI Engrg.

RE: TB-20-1494  
Bryant Ln. (S.S.) at Intersection of Shady Ln.  
Plot 73 Lot 49  
Reviewed 8/19/2020

**PLEASE NOTE:**

It is the responsibility of the applicant and the contractors to be familiar with DPI procedures/regulations and ascertain that all proposed work which falls under DPI jurisdiction, whether shown on the submitted site plan or not, is identified and executed in accordance with City of New Bedford DPI Construction Standards/Specifications. **The Certificate of Occupancy (CO) will not be signed for any work performed that is non-compliant and/or if any of the following conditions are not met.**

**The following conditions are to be met by the applicant (being the owner and/or their representative) as part of this permit approval:**

- 1.) The revised site plan submitted via e-mail by Jason Braz (which has been uploaded by DPI into the View Permit system under Engineering) titled: "Building Permit Plan, Map 73 Lot 49 Bryant Lane, New Bedford, Massachusetts", having a date of 6/8/2020 (last revised date of 8/13/2020), as prepared by Zenith Consulting Engineers, LLC and stamped/signed by Jamie L. Bissonnette, P.E. (Civil), was approved as the "final" site plan and conditionally approved by DPI, as follows:
  - a. The above plan indicates that the proposed 4" foundation drain installation called out on the previous plan revision submitted directly to DPI (dated 8/4/2020) has been eliminated. Please adjust the grading in accordance with City of New Bedford DPI requirements.
  - b. The applicant is responsible for ensuring that Inspectional Services is provided with the "final" site plan (or any modifications approved by DPI thereafter) to be placed on file in the View Permit system.
- 2.) Must provide 6 stamped/signed copies of the "final" site plan approved by DPI when applying for the water, sewer/drain and sidewalk/driveway permits for the proposed structure. In addition, a copy of the foundation permit and of the stamped/signed foundation as-built plan must also be submitted.

Please Note: Any representative pulling permits on behalf of the owner must provide DPI with a permission slip. If the property was acquired within the past 3 months, then a copy of the recorded deed showing property ownership must also be provided.

- 3.) Must contact DPI-Engineering to measure for an address number once the front door is framed. The CO will not be signed unless the legal address issued by the City is permanently affixed to, above, or next to, the main door entrance to which it was assigned such that it is highly visible from the street.

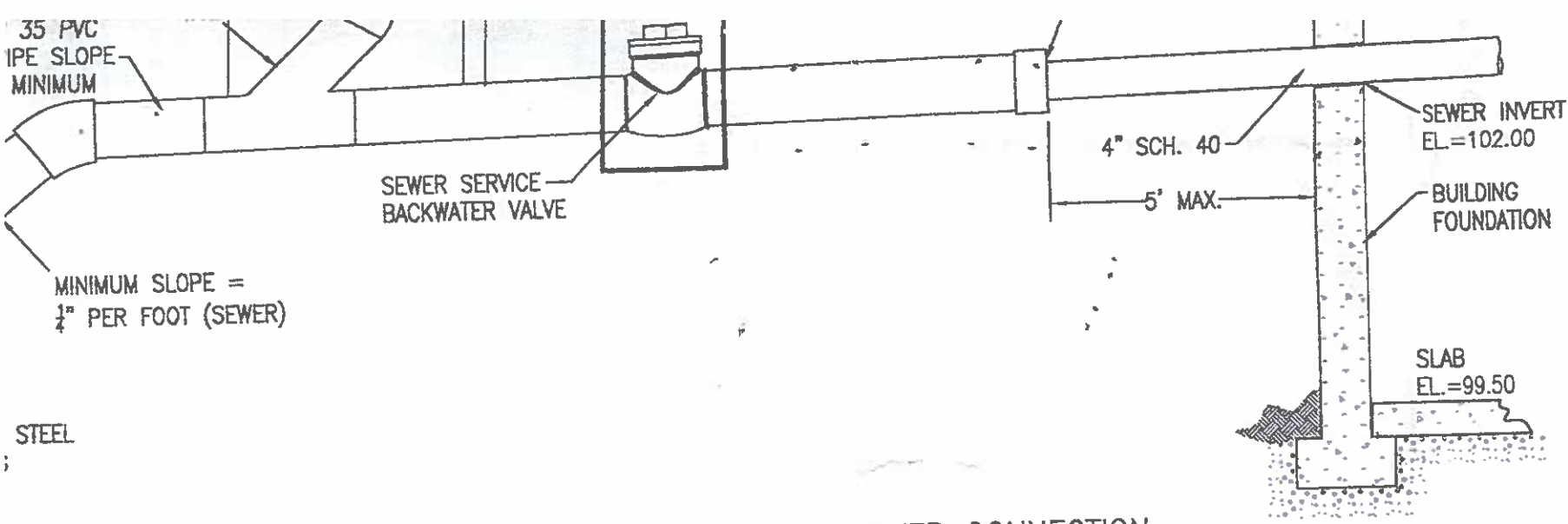
Please be advised that any and all future modifications to the site plan that was reviewed/approved for the above project and placed on file at DPI as the "final" site plan must be resubmitted for review/approval if said changes entail work that falls under the jurisdiction of DPI.

**THE COMMENT BELOW WAS ALSO ADDED SEPARATELY AS A "PRIVATE COMMENT" TO INSPECTIONAL SERVICES AND IS PART OF THE ABOVE REVIEW:**

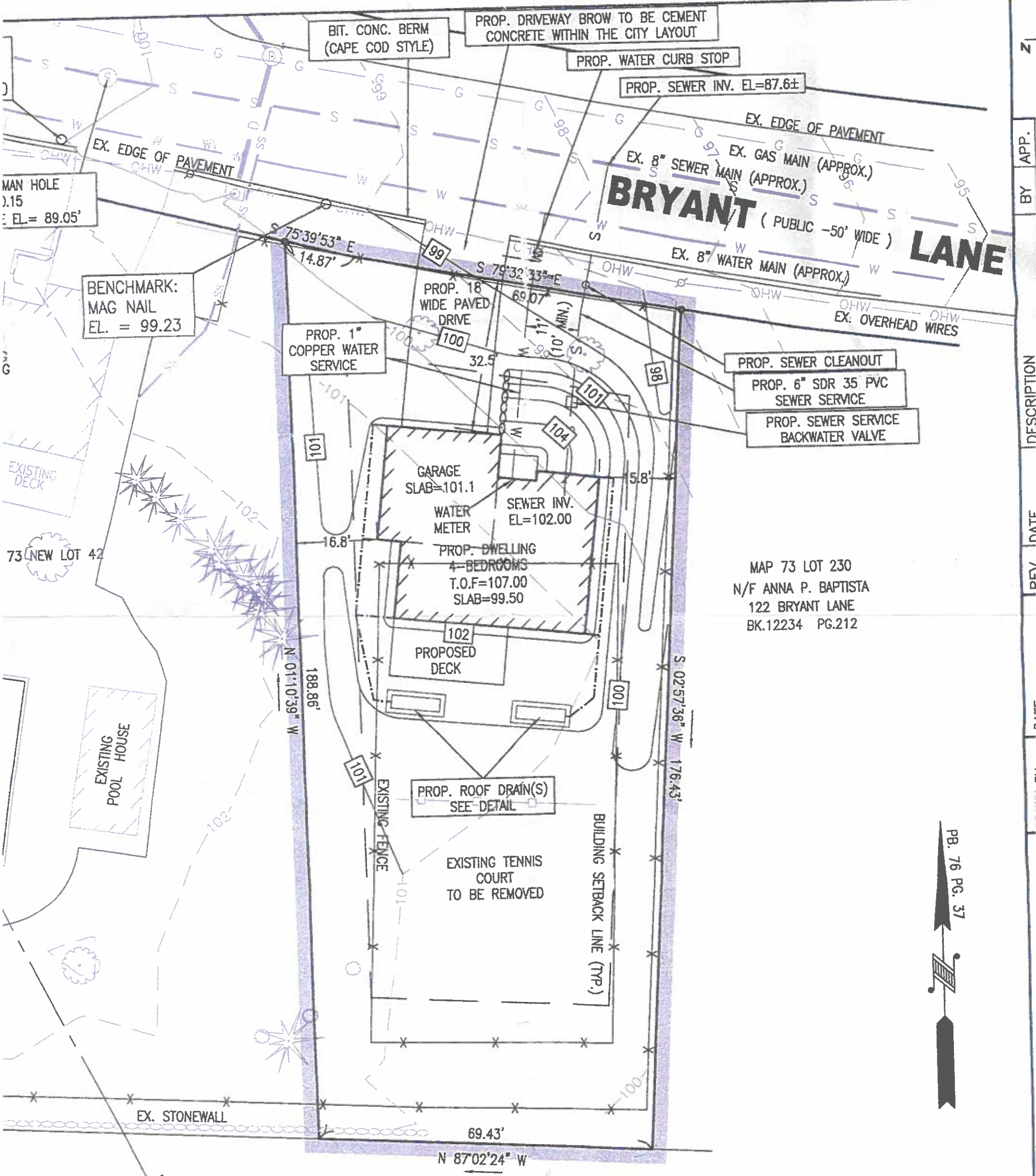
Note to Inspectional Services:

A PDF copy of the DPI review comments (conditions of approval) will be e-mailed to the applicant (Jason Braz), being that he has already been issued the foundation permit for this location. Robert Carreiro and Dean Kalavritinos of Inspectional Services will also be copied in on the above e-mail to the applicant, with a request from DPI that a copy of the revised site plan be placed in the IS permit section of the above foundation permit, and that a copy of the e-mail and the revised plan be placed under the respective framing permit for this structure.





TYPICAL RESIDENTIAL SEWER CONNECTION  
NOT TO SCALE

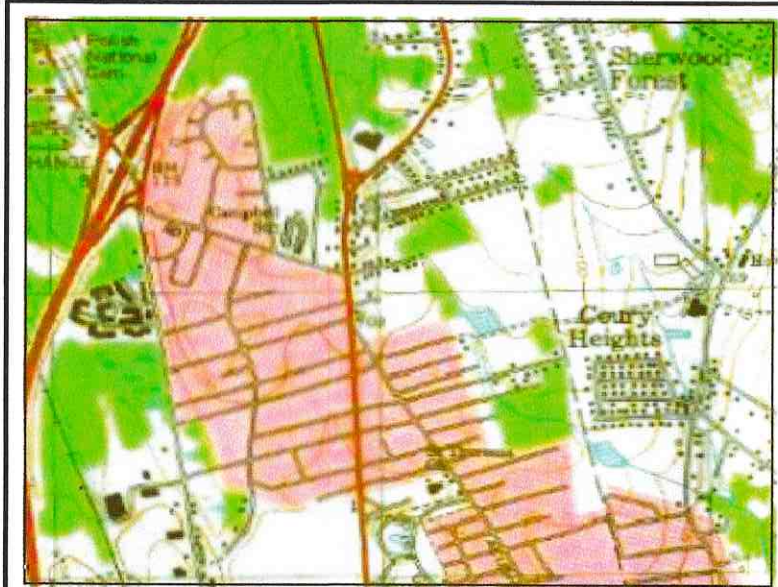


APP. BY DATE DESCRIPTION



LEGEND





LOCUS MAP SCALE: 1"=2,000'±

#### SUBSURFACE ROOF RECHARGE UNIT SIZING CALCULATIONS:

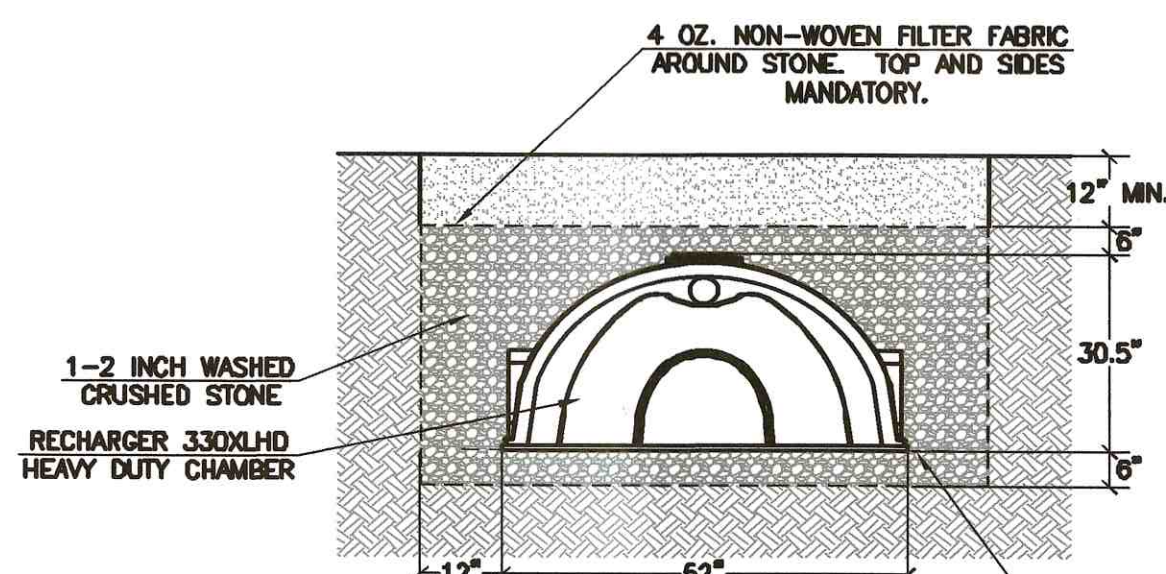
INFLOW AREA = 756 SF, 100.00% IMPERVIOUS, INFLOW DEPTH = 6.76" FOR 100-YEAR STORM EVENT  
INFLOW = 0.12 CFS @ 12.08 HRS, VOLUME= 426 CF  
OUTFLOW = 0.03 CFS @ 12.55 HRS, VOLUME= 426 CF, ATTEN= 74%, LAG= 27.8 MIN  
DISCARDED = 0.01 CFS @ 11.55 HRS, VOLUME= 423 CF

ROUTING BY STOR-IND METHOD, TIME SPAN= 0.00-30.00 HRS, DT= 0.05 HRS  
PEAK ELV= 99.37' @ 12.53 HRS SURF AREA= 66 SF REQUIRED STORAGE= 132 CF

VOLUME	INVERT	AVAIL STORAGE	STORAGE DESCRIPTION
#1	92.85'	69 CF	6.33'W X 10.50'L X 3.54'H PRISMATOID X 1 236 CF OVERALL - 63 CF EMBEDDED = 172 CF X 40.0% VOIDS
#2	93.45'	63 CF	47.8'W X 30.0'H X 7.00'L PARABOLIC ARCH X 1 INSIDE #1
#3	95.50'	1 CF	0.33'D X 10.0'H VERTICAL CONE/CYLINDER-IMPERVIOUS

TOTAL AVAILABLE STORAGE = 132 CF >>> 132 CF

\*PLEASE NOTE: THESE CALCULATIONS ARE PER UNIT. THERE ARE 2 UNITS ONSITE.



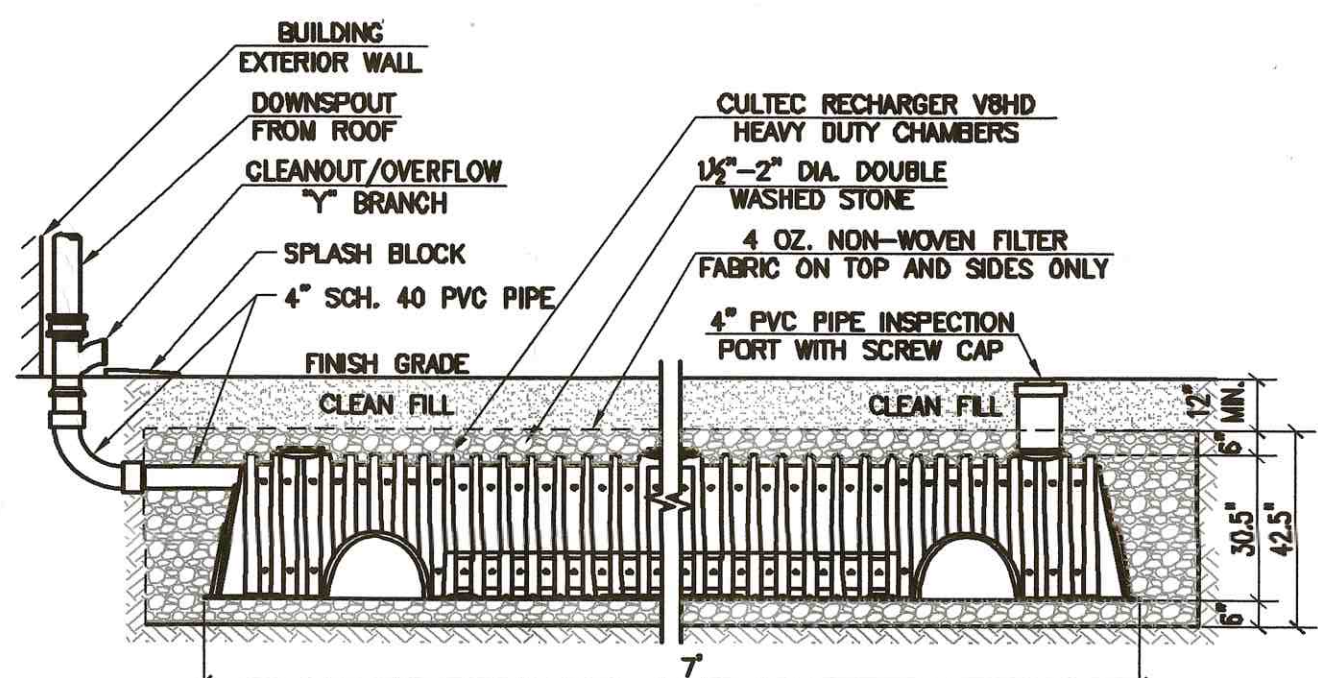
CULTEC RECHARGER 330XLHD STANDARD CROSS SECTION

NOT TO SCALE

#### ZONING DATA

DISTRICT: RA - RESIDENTIAL A

DESCRIPTION	REQUIRED	PROVIDED
LOT AREA	8,000 S.F.	19,502± S.F.
LOT FRONTAGE	75 FT	78.38 FT
FRONT SETBACK	20 FT	24.1± FT
SIDE SETBACK	10/12 FT	12.1±/15.4± FT
REAR SETBACK	30 FT	111.6± FT
BUILDING HEIGHT (MAXIMUM)	45 FT	36± FT
BUILDING COVERAGE (MAXIMUM)	30 %	7.7± %
LOT COVERAGE (MAXIMUM)	65 %	10.7± %



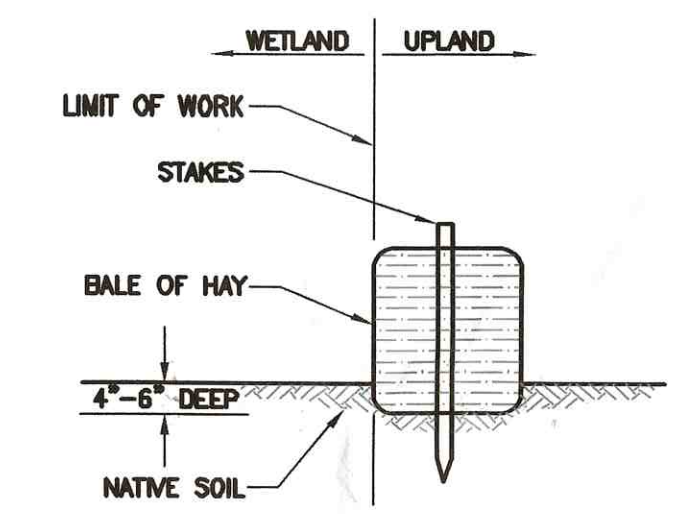
ROOF RECHARGE SYSTEM

NOT TO SCALE

RECORD OWNER:  
ASSESSORS MAP 130D LOT 477  
DPM DEVELOPMENT  
70 LAURETH STREET  
NEW BEDFORD, MA 02745  
DEED BOOK 13209 PAGE 228

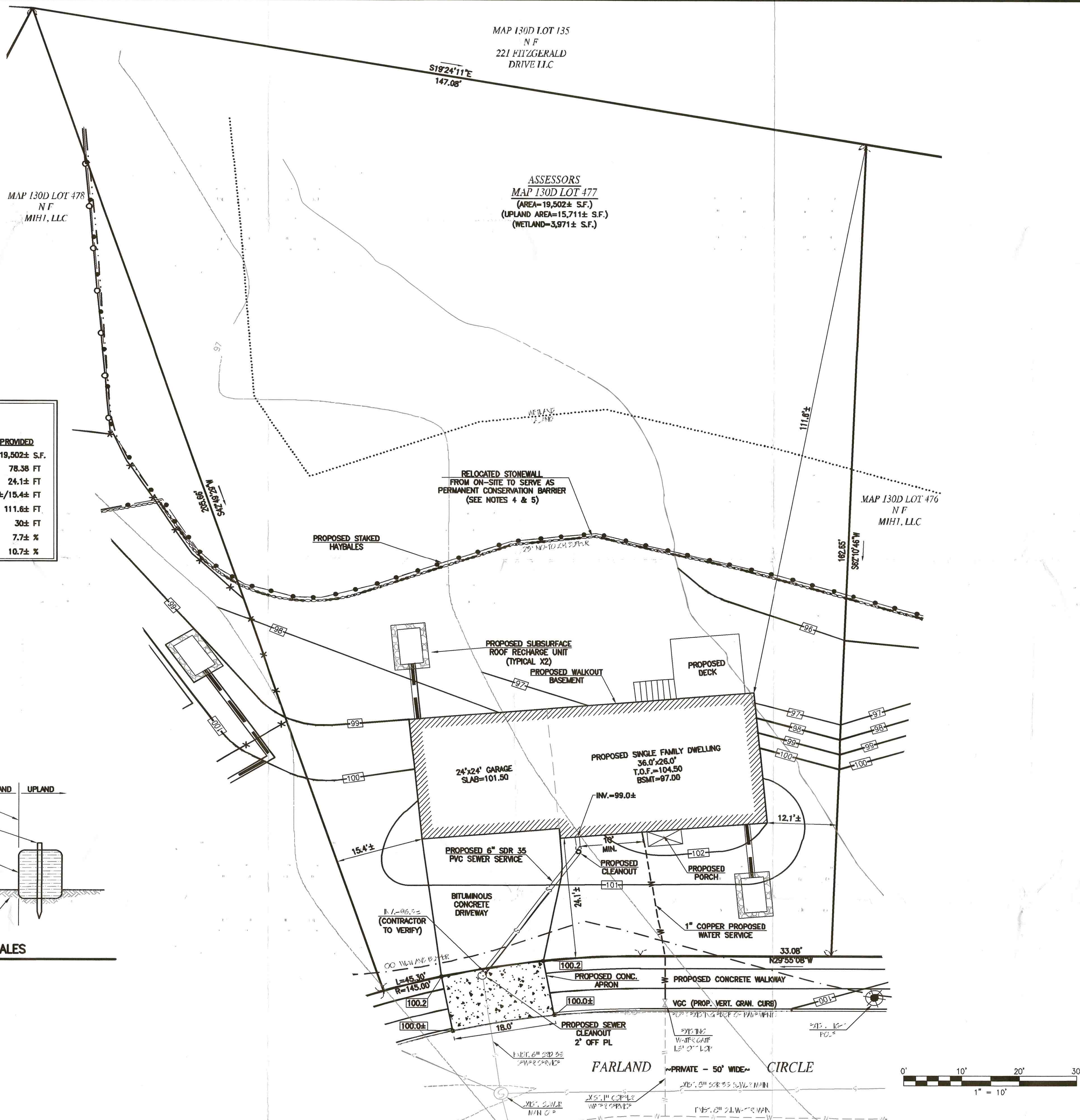
#### NOTES:

- TOPOGRAPHIC AND PROPERTY LINE SURVEY PERFORMED BY FARLAND CORP. IN NOVEMBER OF 2017.
- PORTION OF DRIVEWAY BETWEEN EDGE OF ROADWAY AND PROPERTY LINE SHALL BE CONCRETE.
- WETLAND RESOURCE AREAS WERE DELINEATED BY JOHN ZIMMER, P.W.S. IN NOVEMBER OF 2015 AS SHOWN ON PLAN ENTITLED "DEFINITIVE SUBDIVISION PLANS - STONEY BROOK FARM" DATED MAY 11, 2017 BY CAVANARO CONSULTING.
- A SIGN STATING PROTECTED CONSERVATION AREA EXISTS BEYOND THE STONEWALL AND IS TO REMAIN UNDISTURBED PER ORDER OF THE NEW BEDFORD CONSERVATION COMMISSION SHALL BE PLACED ON THE STONEWALL, FENCING, OR ARBORVITAE.
- STONEWALL, FENCING OR ROW OF ARBORVITAE SHALL BE PLACED AT THE 25-FOOT NO DISTURB ZONE. IF RELOCATED STONEWALLS ARE USED THEY SHOULD BE A MINIMUM 3'-4" TALL.
- ROOF RECHARGE SYSTEMS HAVE BEEN OVER DESIGNED TO WITHSTAND THE 100-YEAR STORM EVENT AND THE TIE-IN OF A SUMP PUMP SYSTEM, IF NECESSARY.
- IF SUMP PUMP IS INSTALLED, A CONCRETE LIP MUST BE INSTALLED AROUND THE SUMP PUMP.



STAKED HAY BALES

NOT TO SCALE



#### REVISIONS

1	8/26/19	PER CONSERVATION COMMENTS
2	7/2/20	PER DPI COMMENTS



www.FarlandCorp.com

401 COUNTY STREET  
NEW BEDFORD, MA 02740  
P. 508.717.3479  
OFFICES IN:  
• TAUNTON  
• MARLBOROUGH  
• WARWICK, RI

DRAWN BY: JT

DESIGNED BY: JT

CHECKED BY: CAF

#### SITE PLAN

FARLAND CIRCLE  
ASSESSORS MAP 130D LOT 477  
NEW BEDFORD, MASSACHUSETTS

PREPARED: DPM DEVELOPMENT  
FOR: NEW BEDFORD, MA 02745

FEBRUARY 5, 2019

SCALE: 1"=10'

JOB NO. 18-1063.4

LATEST REVISION:

JULY 2, 2020

SHEET 1 OF 1



