

W-2015  
SERVICE 34096

# NEW BEDFORD WATER WORKS

APPLICATION FOR SERVICE AND METER

NEW BEDFORD August 13, 2020 - 8/13/2021

I HEREBY ACKNOWLEDGE the receipt of a copy of the Regulations prescribed in the Ordinance of the City, for the use of Water, and I request that the water may be furnished through a

1" inch Copper meter at P. 130D L. 477 (Builder's Lot 4)

Farland Circle (NE.S) S. x Phillips Road

at such rates as may from time to time be established by the City.

I hereby agree to pay promptly the bill for the Service pipe laid down for my premises, and to pay all dues for water, and I agree to conform to the said Regulations and to all provisions of the Water Ordinances, until written notice is given by me or my agent to cut off the supply.

x Rosa M. M.

DPM Development

70 Lambeth St. NB, MA 02745

Sewer # 24592

TELEPHONE (508) 993-0351

Service laid by R. Caressa

Size and kind of pipe 1" Copper

From New Build (single family) St.

Turned on Meter Set

Reading Location

Building rates Paid

Cost of Service \$500.00 ck # 1041 Paid 8/13/2020

Expires 8/13/2021

SERVICE 34096

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X

DPM Development

Sewer # 24892

TELEPHONE (508) 993-0381 70 Lambeth St. NB, MA 02745

Service laid by R. Canessa

Size and kind of pipe 1" Copper

From New Build (single family)

St.

Turned on

Meter Set

Reading

Location

Building rates

Paid

Cost of Service

\$ 500.00 ck # 1041

Paid

8/13/2020

31-727

N x Hydrant 67.2'  
W x E line Farland Circle Ext. 6.0'  
S x N 11.0'  
N x S 24.5'  
W x W 32.5'  
E x W 14.0'

Pipe inside property 26.6'  
2" GAS -- 4.5' E x curb stop

8-3-2020: Inspection done by Manuek Rose  
contractor RJ Canessa



DISPLAY PERMIT IN A CONSPICUOUS PLACE ON THE PREMISES



Commonwealth of Massachusetts

# City of New Bedford

133 William Street New Bedford, MA 02740

## WATER SERVICE PERMIT



Date: 9/29/2020

No. **W-20-15**

Permit Fee: \$500.00

Service Location: \_\_\_\_\_

Owner Name: DPM DEVELOPMENT CORP.

Owner Phone #: (508) 993-0351

Type of Occupancy: Residential

Type of Work: Water - Domestic New 1"

Work Description: Water Service#34096

**P.130D L.477  
Builders Lot 4**

**Farland Circle NES S x Phillips Rd**

**08/13/2020 - 08/13/2021**

**NEw build- single familt**

### Contractor

Name: Robert J. Canessa Certificate #: \_\_\_\_\_ Type of Business: DPI - Other

Address: P. O. Box 51643 City/Town/State: New Bedford MA Phone #: (508) 998-

Type of Service \_\_\_\_\_ Pipe Size \_\_\_\_\_ Trench Length: 0.00

Fire Service \_\_\_\_\_

Domestic Service \_\_\_\_\_

### Estimated consumption of water

Estimated average daily consumption 0.00 gallons

Cross Connection? No

Estimated maximum day consumption 0.00 gallons

Right of Way? No

Are lawn sprinklers and/or lawn irrigation proposed on site? No

Meter Impact? No

Estimated fire flows required for the project site: 0.00

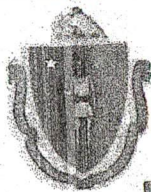
Street Opening Permit Required? No

Does the project require a fire supression system? No

Required minimum static pressure for the proposed project site \_\_\_\_\_

**Call Phone: (781) 942-9077 For Inspection**





Commonwealth of Massachusetts

# CITY OF NEW BEDFORD

City Hall, Room 308, 133 William Street New Bedford, MA 02740 (508) 979-1540



## FOUNDATION PERMIT

7/16/2020

No. **B-20-1502**

MSBC Sect. 111.8 - Any permit issued shall be deemed abandoned and invalid unless the work authorized by it shall have been commenced within six (6) months after its issuance.

FEE PAID \$100.00

This certifies that Daniel P. Moniz  
owner/contractor has permission to:  
on:

ES-  
130D  
-477

STONE BROOK LN

Foundations Only 1-2 Family - 100.00

Providing that the person accepting this permit shall in every respect conform to the terms of application therefore on file in this office; to the provisions of the statute of the Commonwealth and to the by-laws of the City of New Bedford relating to the inspection, erection, enlarging, altering, raising, moving, repairing, or tearing down of a building.

Permit is issued subject to the following special requirements: (Restrictions)

Wiring Inspector

Plumbing Inspector

Building Inspector

YOUR AREA INSPECTOR IS: Thomas Welch

Tel. (508) 979-1540 Between 8:00am - 9:00am

**NOTICE: NOTIFY INSPECTOR 48 HOURS IN  
ADVANCE OF APPLYING SHEATHING OR LATHING**

**OCCUPANCY PERMIT REQUIRED BEFORE OCCUPANCY**

No Building or Structure shall be used or occupied until the Certificate of Use and Occupancy shall have been issued by the Building Commissioner - MSBC, Sect. 120.1

**This Card Must Be Displayed in a Conspicuous Place on the Premises and Not Torn Down or Removed Until Completion of Work**

SUBJECT TO MASSACHUSETTS  
STATE BUILDING CODE

*Daniel P. Moniz*



gave  
to  
Cheryl  
8-19-2020

DPM DEVELOPMENT CORP  
70 LAMBETH ST  
NEW BEDFORD, MA 02745-1003

WEBSTER BANK  
NEW BEDFORD, MA 02740

1042

53-7023/2113  
634

8/7/2020

PAY TO THE ORDER OF CITY OF NEW BEDFORD

\$ \*\*500.00

Five Hundred and 00/100\*\*\*\*\*

DOLLARS

CITY OF NEW BEDFORD

MEMO Water Permit Lot #3 Farland Circle



*Rosa Moniz*  
AUTHORIZED SIGNATURE

000104200 0021370231010 93204198370

Expires 8-13-2021

SERVICE 34095

NEW BEDFORD WATER WORKS  
APPLICATION FOR SERVICE AND METER  
NEW BEDFORD 8-13-2020

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(Buildings LOT 3)  
P-1307 L. 478

TELEPHONE 508.993.0381  
DPM Development  
70 Lambeth St  
NB MA, 02745

Service laid From New Build  
Turned on Meter Set  
Reading Location  
Building rates  
Cost of Service \$500.00 Chk # 1042  
31-727



MAP 130-D LOT 135  
N/F  
221 FITZGERALD DRIVE LLC

— ZONING DATA —

DISTRICT: SINGLE RESIDENCE D

DESCRIPTION	REQUIRED
FRONT SETBACK	20 FT
SIDE SETBACK	10/12 FT
REAR SETBACK	30 FT

ASSESSORS  
MAP 130-D LOT 477  
(AREA=19,502± S.F.)

LOT 478

LOT 476

EXISTING FOUNDATION  
T.O.F. = 103.3

FARLAND ~PUBLIC - 50' WIDE~ CIRCLE

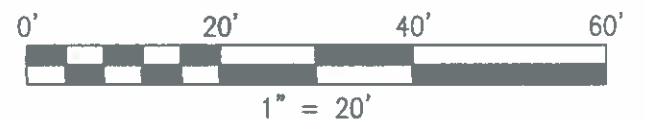
NOTE:

AS - BUILT SURVEY PERFORMED BY FARLAND CORP IN AUGUST 2020

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ANY MODIFICATIONS MADE TO THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF FARLAND CORP. SHALL RENDER IT INVALID AND UNUSABLE.



FOUNDATION AS - BUILT  
LOT 4 FARLAND CIRCLE  
ASSESSORS MAP 130-D LOT 477  
NEW BEDFORD, MASSACHUSETTS



[www.FarlandCorp.com](http://www.FarlandCorp.com)

21 VENTURA DRIVE  
DARTMOUTH, MA 02747

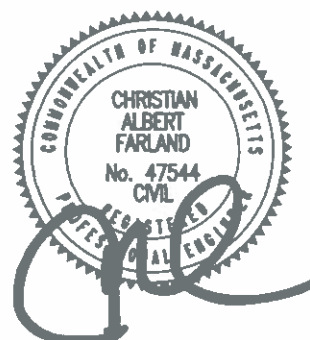
P.508.717.3479

OFFICES IN:

- TAUNTON
- MARLBOROUGH
- WARWICK, RI

PREPARED FOR:

MONIZ CONCRETE FOUNDATIONS  
70 LAMBETH STREET  
NEW BEDFORD, MA 02745

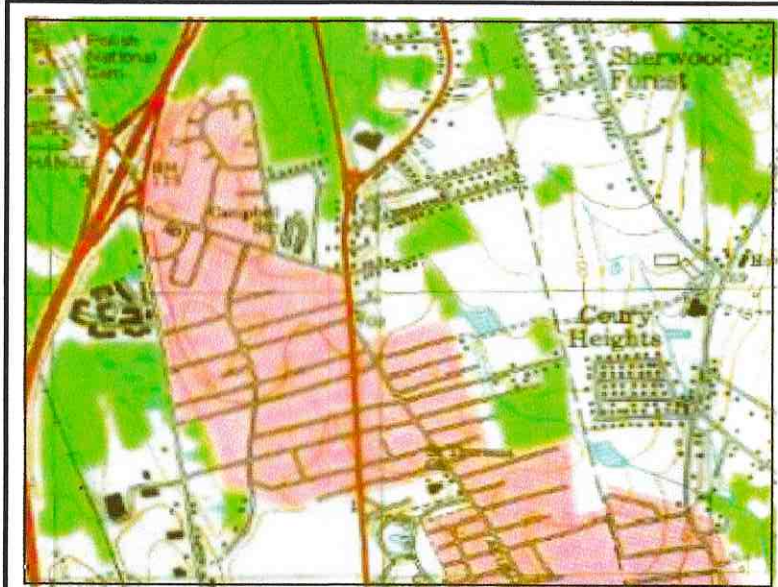


SCALE: 1"=20'

AUGUST 7, 2020

JOB NO: 18-1063.3





LOCUS MAP SCALE: 1"=2,000'±

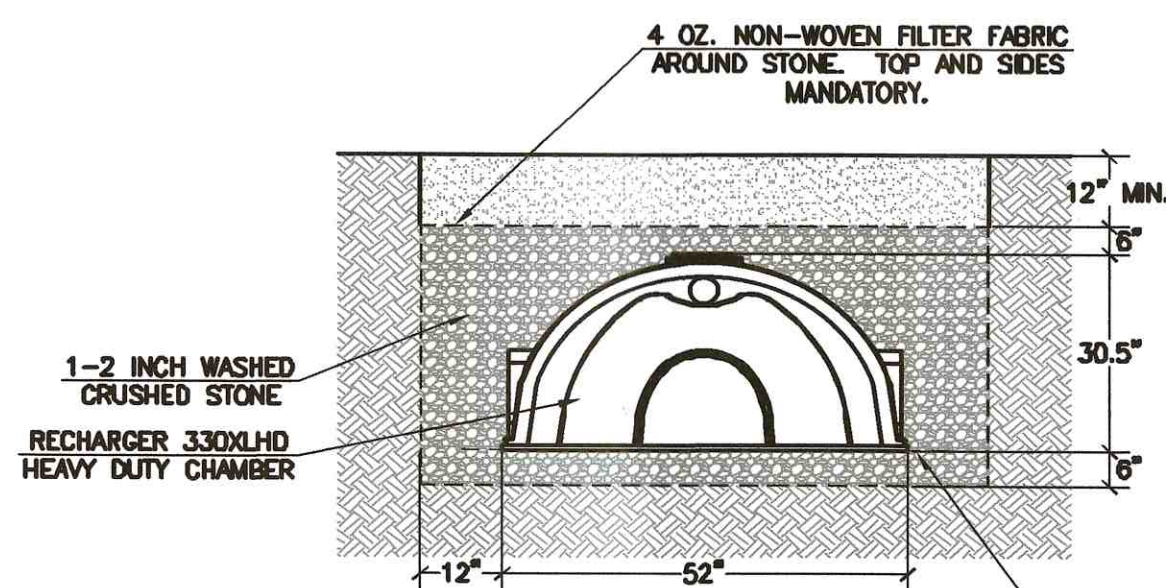
**SUBSURFACE ROOF RECHARGE UNIT SIZING CALCULATIONS:**

INFLOW AREA = 756 SF, 100.00% IMPERVIOUS, INFLOW DEPTH = 6.76" FOR 100-YEAR STORM EVENT  
INFLOW = 0.12 CFS @ 12.08 HRS, VOLUME= 426 CF  
OUTFLOW = 0.03 CFS @ 12.55 HRS, VOLUME= 426 CF, ATTEN= 74%, LAG= 27.8 MIN  
DISCARDED = 0.01 CFS @ 11.55 HRS, VOLUME= 423 CF

ROUTING BY STOR-IND METHOD, TIME SPAN= 0.00-30.00 HRS, DT= 0.05 HRS  
PEAK ELV= 99.37' @ 12.53 HRS SURF AREA= 66 SF REQUIRED STORAGE= 132 CF

VOLUME INVERT AVAIL STORAGE STORAGE DESCRIPTION  
#1 92.85' 69 CF 6.33'W X 10.50'L X 3.54'H PRISMATOID X 1  
#2 93.45' 63 CF 47.8'W X 30.0'H X 7.00'L PARABOLIC ARCH X 1 INSIDE #1  
#3 95.50' 1 CF 0.33'D X 10.0'H VERTICAL CONE/CYLINDER-IMPERVIOUS  
TOTAL AVAILABLE STORAGE = 133 CF >>> 132 CF

\*PLEASE NOTE: THESE CALCULATIONS ARE PER UNIT. THERE ARE 2 UNITS ONSITE.

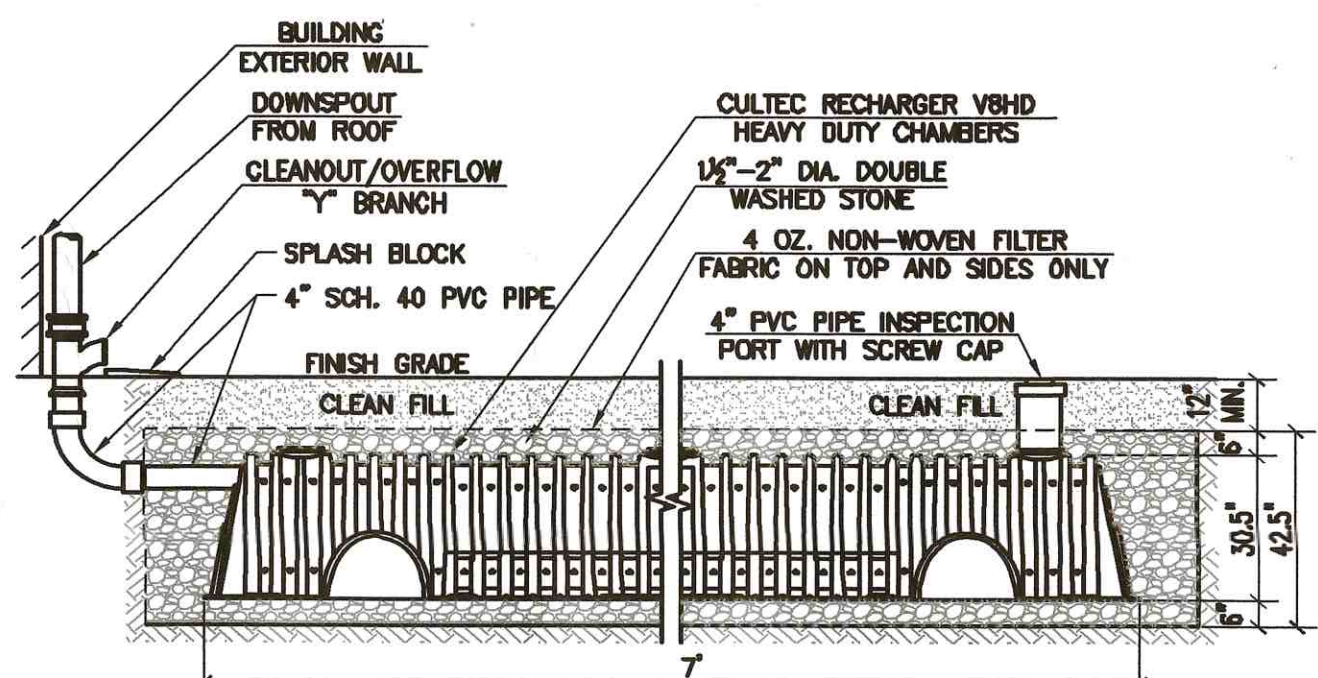


CULTEC RECHARGER 330XLHD STANDARD CROSS SECTION

NOT TO SCALE

**ZONING DATA**  
DISTRICT: RA - RESIDENTIAL A

DESCRIPTION	REQUIRED	PROVIDED
LOT AREA	8,000 S.F.	19,502± S.F.
LOT FRONTAGE	75 FT	78.38 FT
FRONT SETBACK	20 FT	24.1± FT
SIDE SETBACK	10/12 FT	12.1±/15.4± FT
REAR SETBACK	30 FT	111.6± FT
BUILDING HEIGHT (MAXIMUM)	45 FT	36± FT
BUILDING COVERAGE (MAXIMUM)	30 %	7.7± %
LOT COVERAGE (MAXIMUM)	65 %	10.7± %



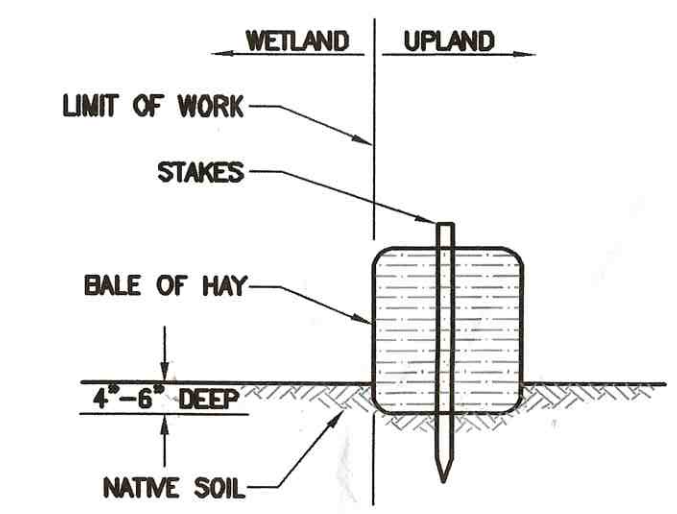
ROOF RECHARGE SYSTEM

NOT TO SCALE

RECORD OWNER:  
ASSESSORS MAP 130D LOT 477  
DPM DEVELOPMENT  
70 LAURETH STREET  
NEW BEDFORD, MA 02745  
DEED BOOK 13209 PAGE 228

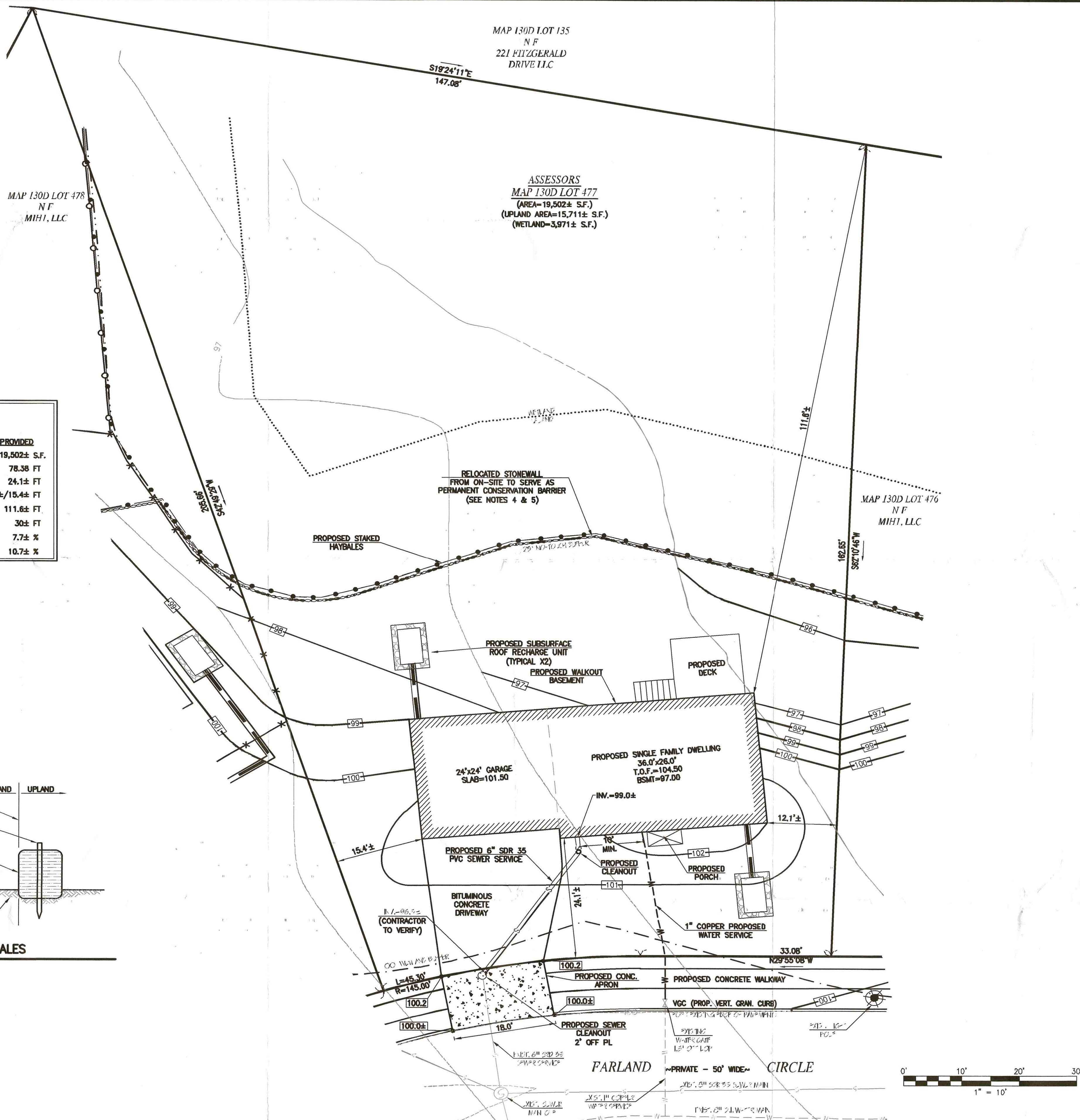
**NOTES:**

- TOPOGRAPHIC AND PROPERTY LINE SURVEY PERFORMED BY FARLAND CORP. IN NOVEMBER OF 2017.
- PORTION OF DRIVEWAY BETWEEN EDGE OF ROADWAY AND PROPERTY LINE SHALL BE CONCRETE.
- WETLAND RESOURCE AREAS WERE DELINEATED BY JOHN ZIMMER, P.W.S. IN NOVEMBER OF 2015 AS SHOWN ON PLAN ENTITLED "DEFINITIVE SUBDIVISION PLANS - STONEY BROOK FARM" DATED MAY 11, 2017 BY CAVANARO CONSULTING.
- A SIGN STATING PROTECTED CONSERVATION AREA EXISTS BEYOND THE STONEWALL AND IS TO REMAIN UNDISTURBED PER ORDER OF THE NEW BEDFORD CONSERVATION COMMISSION SHALL BE PLACED ON THE STONEWALL, FENCING, OR ARBORVITAE.
- STONEWALL, FENCING OR ROW OF ARBORVITAE SHALL BE PLACED AT THE 25-FOOT NO DISTURB ZONE. IF RELOCATED STONEWALLS ARE USED THEY SHOULD BE A MINIMUM 3'-4" TALL.
- ROOF RECHARGE SYSTEMS HAVE BEEN OVER DESIGNED TO WITHSTAND THE 100-YEAR STORM EVENT AND THE TIE-IN OF A SUMP PUMP SYSTEM, IF NECESSARY.
- IF SUMP PUMP IS INSTALLED, A CONCRETE LIP MUST BE INSTALLED AROUND THE SUMP PUMP.



STAKED HAY BALES

NOT TO SCALE



**REVISIONS**

1	8/26/19	PER CONSERVATION COMMENTS
2	7/2/20	PER DPI COMMENTS



www.FarlandCorp.com

401 COUNTY STREET  
NEW BEDFORD, MA 02740  
P. 508.717.3479  
OFFICES IN:  
• TAUNTON  
• MARLBOROUGH  
• WARWICK, RI

DRAWN BY: JT

DESIGNED BY: JT

CHECKED BY: CAF

**SITE PLAN**

FARLAND CIRCLE —  
ASSESSORS MAP 130D LOT 477  
NEW BEDFORD, MASSACHUSETTS

PREPARED: DPM DEVELOPMENT  
FOR: NEW BEDFORD, MA 02745

FEBRUARY 5, 2019

SCALE: 1"=10'

JOB NO. 18-1063.4

LATEST REVISION:

JULY 2, 2020

SHEET 1 OF 1