

W-20-18  
SERVICE 34095

NEW BEDFORD WATER WORKS  
APPLICATION FOR SERVICE AND METER  
NEW BEDFORD 8-13-2000

I HEREBY ACKNOWLEDGE the receipt of a copy of the Regulations prescribed in the Ordinance of the City, for the use of Water, and I request that the water may be furnished through a

1" inch COPPER meter at Faeland Circle (N.E.S) S x Phillips Rd

at such rates as may from time to time be established by the City.

I hereby agree to pay promptly the bill for the Service pipe laid down for my premises, and to pay all dues for water, and I agree to conform to the said Regulations and to all provisions of the Water Ordinances, until written notice is given by me or my agent to cut off the supply.

(Buildings LOT 3)  
P. 1307 2. 478

TELEPHONE 508.993.0381

x. See Attached signed Copy  
DAM Development  
70 Lambeth St  
NB MA, 02745

Service laid by RJ Canessa

Size and kind of pipe

From New Build

St.

Turned on

Meter Set

Reading

Location

Building rates

Paid

Cost of Service

\$500.00

chk # 1042

Paid

31-727

C.T.

E X W L FARLAND CIRCLE

182.6ft

no X STREET LIGHT

5.6 ft

W X EL

3.7 ft

N X NL

3.5 ft

N X SL

45.5ft

W X WL

29.0 ft

MAIN TO PROPERTY LINE E X WL FARLAND CIRCLE EST

14 PIPE INSIDE PROPERTY 26 ft

2 gas main 3 excs

PERCY REYNOLDS INSPECTED

RJ CANESSA INSPECTED

SERVICE 34095

NEW BEDFORD WATER WORKS  
APPLICATION FOR SERVICE AND METER

NEW BEDFORD

Expires 8-13-2021

8-13-2000

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(Builder's Lot 3)

P. 1307 L. 478

TELEPHONE 508.993.0381

Rosa M. M. Development

70 Lambeth St

NE MA, 02745

Service laid by RJ Canessa

Size and kind of pipe

From New Build

Turned on

Meter Set

St.

Reading

Location

Building rates

Cost of Service

31-727

\$500.00

CHK # 1042

Paid

Paid



DISPLAY PERMIT IN A CONSPICUOUS PLACE ON THE PREMISES



Commonwealth of Massachusetts

# City of New Bedford

133 William Street New Bedford, MA 02740

## WATER SERVICE PERMIT



Date: 9/29/2020

No. **W-20-18**

Permit Fee: \$495.00

Service Location: \_\_\_\_\_

Owner Name: DPM DEVELOPMENT CORP.

Owner Phone #: (508) 993-0381

Type of Occupancy: Residential

Type of Work: Water - Domestic New 1"

Work Description: water service# 34095  
P.130D L.478

**Farland Circle NES S x Phillips Rd**

**1" COPPER**  
**New BUILD**

**Builders Lot**

### Contractor

Name: Robert J. Canessa Certificate #: \_\_\_\_\_ Type of Business : DPI - Other

Address: P. O. Box 51643 City/Town/State: New Bedford MA Phone #: (508) 998-

Type of Service Pipe Size Trench Length: **0.00**

Fire Service \_\_\_\_\_

Domestic Service \_\_\_\_\_

### Estimated consumption of water

Estimated average daily consumption 0.00 gallons

Cross Connection? **No**

Estimated maximum day consumption 0.00 gallons

Right of Way? **No**

Are lawn sprinklers and/or lawn irrigation proposed on site? **No**

Meter Impact? **No**

Estimated fire flows required for the project site: 0.00

Street Opening Permit Required? **No**

Does the project require a fire suppression system? **No**

Required minimum static pressure for the proposed project site 0.00

**Call Phone: (781) 942-9077 For Inspection**





Commonwealth of Massachusetts

# CITY OF NEW BEDFORD

City Hall, Room 308, 133 William Street New Bedford, MA 02740 (508) 979-1540



## FOUNDATION PERMIT

7/27/2020

No. **B-20-1595**

MSBC Sect. 111.8 - Any permit issued shall be deemed abandoned and invalid unless the work authorized by it shall have been commenced within six (6) months after its issuance.

FEE PAID \$100.00

This certifies that Daniel P. Moniz

owner/contractor has permission to:

ES-

STONEY BROOK LN

on:

130D

-478

Foundations Only 1-2 Family - 100.00

Providing that the person accepting this permit shall in every respect conform to the terms of application therefore on file in this office; to the provisions of the statute of the Commonwealth and to the by-laws of the City of New Bedford relating to the inspection, erection, enlarging, altering, raising, moving, repairing, or tearing down of a building.

Permit is issued subject to the following special requirements: (Restrictions)

Wiring Inspector



Plumbing Inspector



Building Inspector

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

YOUR AREA INSPECTOR IS: Thomas Welch

Tel. (508) 979-1540 Between 8:00am - 9:00am

**NOTICE: NOTIFY INSPECTOR 48 HOURS IN  
ADVANCE OF APPLYING SHEATHING OR LATHING**

**OCCUPANCY PERMIT REQUIRED BEFORE OCCUPANCY**

No Building or Structure shall be used or occupied until the Certificate of Use and Occupancy shall have been issued by the Building Commissioner - MSBC, Sect. 120.1

**This Card Must Be Displayed in a Conspicuous Place on the Premises and Not Torn Down or Removed Until Completion of Work**

SUBJECT TO MASSACHUSETTS  
STATE BUILDING CODE

*Daniel P. Moniz* Jr

— ZONING DATA —

DISTRICT: SINGLE RESIDENCE D

DESCRIPTION	REQUIRED
FRONT SETBACK	20 FT
SIDE SETBACK	10/12 FT
REAR SETBACK	30 FT

MAP 130-D LOT 285  
NIF  
GEORGE MARTINS

MAP 130-D LOT 284  
NIF  
JOAO ALBANO

ASSESSORS  
MAP 130-D LOT 478  
(AREA=15,035± S.F.)

LOT 479

LOT 477

EXISTING FOUNDATION  
T.O.F. = 103.6

L=78.45'  
R=145.00'

FARLAND ~PUBLIC - 50' WIDE~ CIRCLE

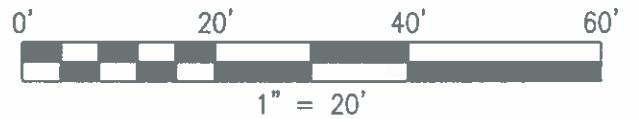
NOTE:

AS - BUILT SURVEY PERFORMED BY FARLAND CORP IN AUGUST 2020

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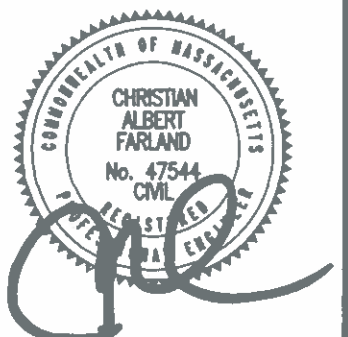
FOUNDATION AS - BUILT  
LOT 3 FARLAND ESTATES  
ASSESSORS MAP 130-D LOT 478  
NEW BEDFORD, MASSACHUSETTS



[www.FarlandCorp.com](http://www.FarlandCorp.com)

21 VENTURA DRIVE  
DARTMOUTH, MA 02747  
P.508.717.3479  
OFFICES IN:  
•TAUNTON  
•MARLBOROUGH  
•WARWICK, RI

PREPARED FOR:  
MONIZ CONCRETE FOUNDATIONS  
70 LAMBETH STREET  
NEW BEDFORD, MA 02745

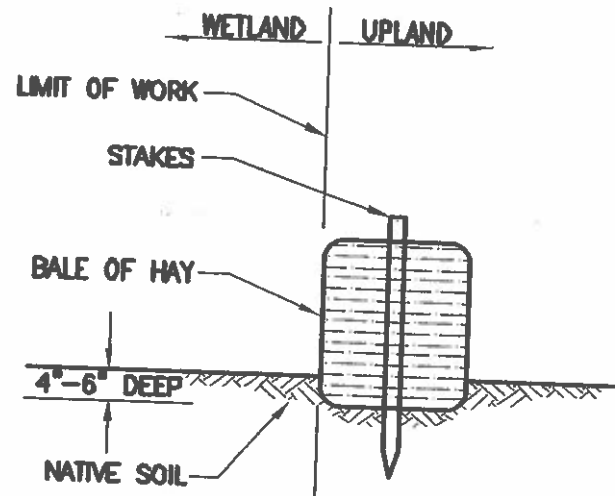


SCALE: 1"=20'

AUGUST 7, 2020

JOB NO: 18-1063.3





## STAKED HAY BALES

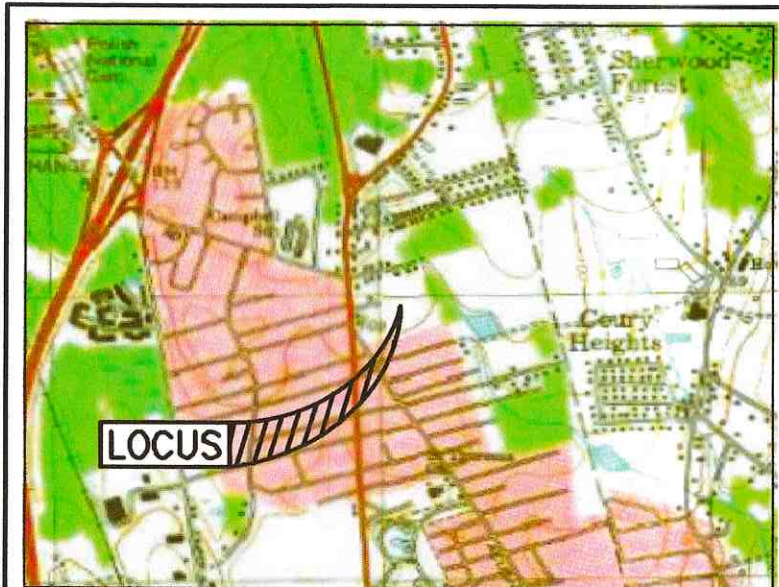
NOT TO SCALE



SHOWN ON  
CAVANARO

N UNDISTURBED  
ALL FENCING,





LOCUS MAP SCALE: 1"=2,000'±

**SUBSURFACE ROOF RECHARGE UNIT SIZING CALCULATIONS:**

INFLW AREA	=	773 SF, 100.00% IMPERVIOUS,	INFLW DEPTH = 6.78" FOR 100-YEAR STORM EVENT
INFLW	=	0.12 CFS @ 12.09 HRS,	VOLUME= 436 CF
OUTFLOW	=	0.03 CFS @ 12.47 HRS,	VOLUME= 436 CF, ATTN= 75%, LAG= 23.0 MIN
DISCARDED	=	0.01 CFS @ 11.50 HRS,	VOLUME= 428 CF

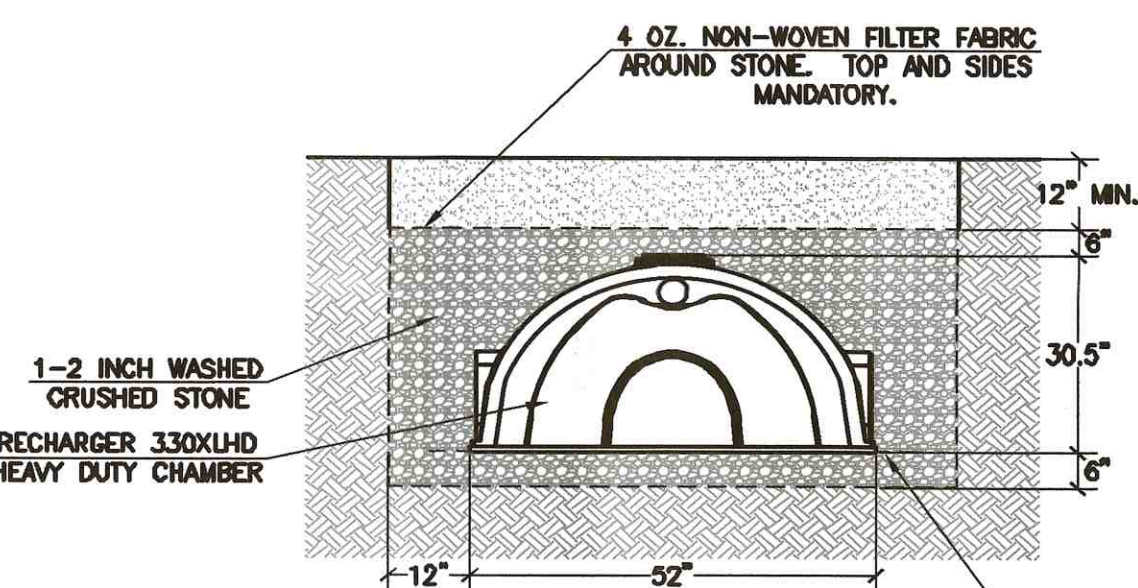
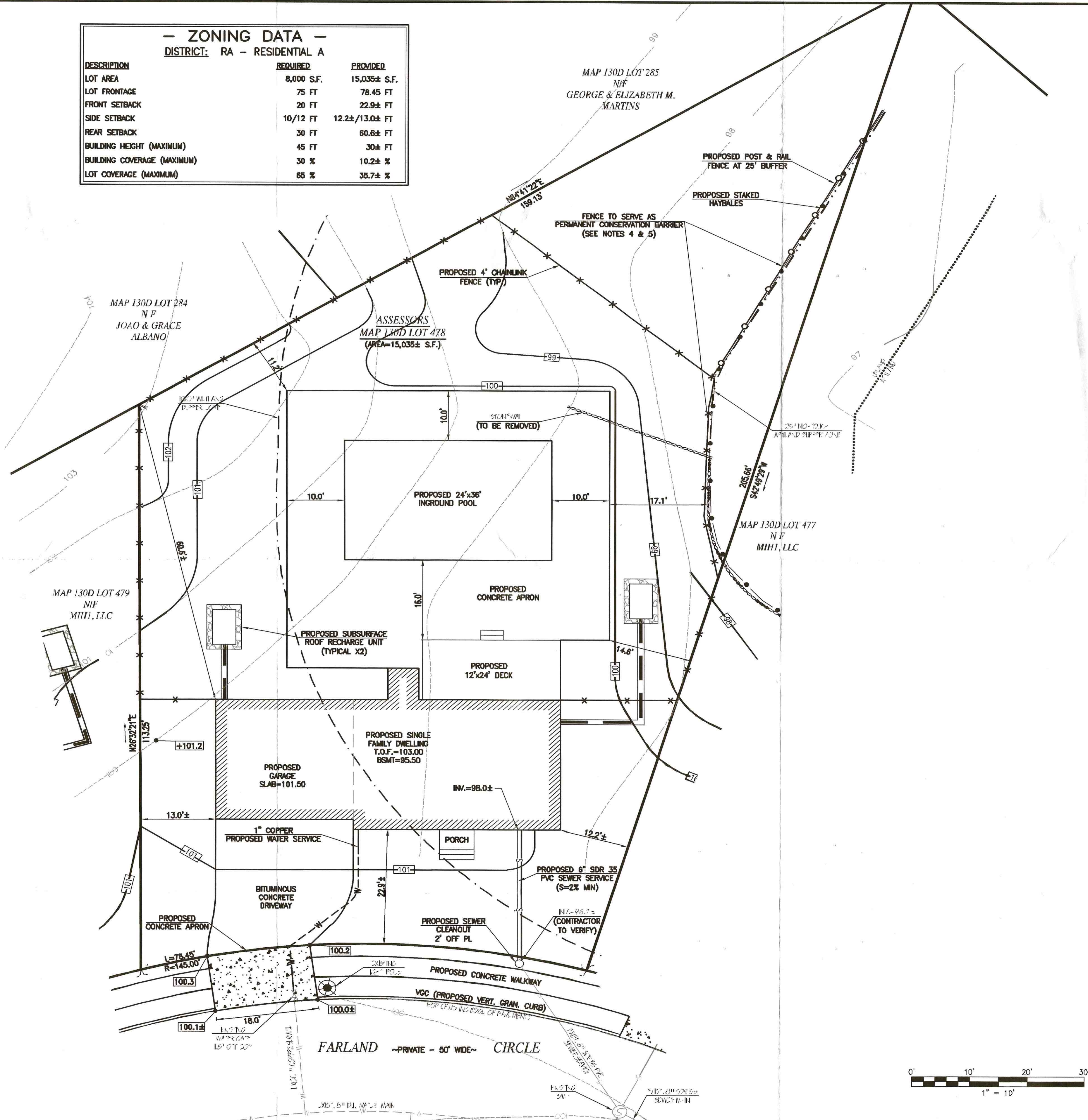
ROUTING BY STOR-IND METHOD, TIME SPAN= 0.00-30.00 HRS, DT= 0.05 HRS  
PEAK ELEV= 100.07' @ 12.45 HRS SURF AREA= 66 SF REQUIRED STORAGE= 132 CF

VOLUME	INVERT	AVAIL STORAGE	STORAGE DESCRIPTION
#1	94.95'	69 CF	6.33'W X 10.50'L X 3.54'H PRISMATOID X 1 236 CF OVERALL - 63 CF EMBEDDED = 172 CF X 40.0% VOIDS
#2	95.45'	63 CF	47.8'W X 30.0'H X 7.00'L PARABOLIC ARCH X 1 INSIDE #1
#3	97.50'	1 CF	0.33'D X 10.0'H VERTICAL CONE/CYLINDER-IMPERVIOUS

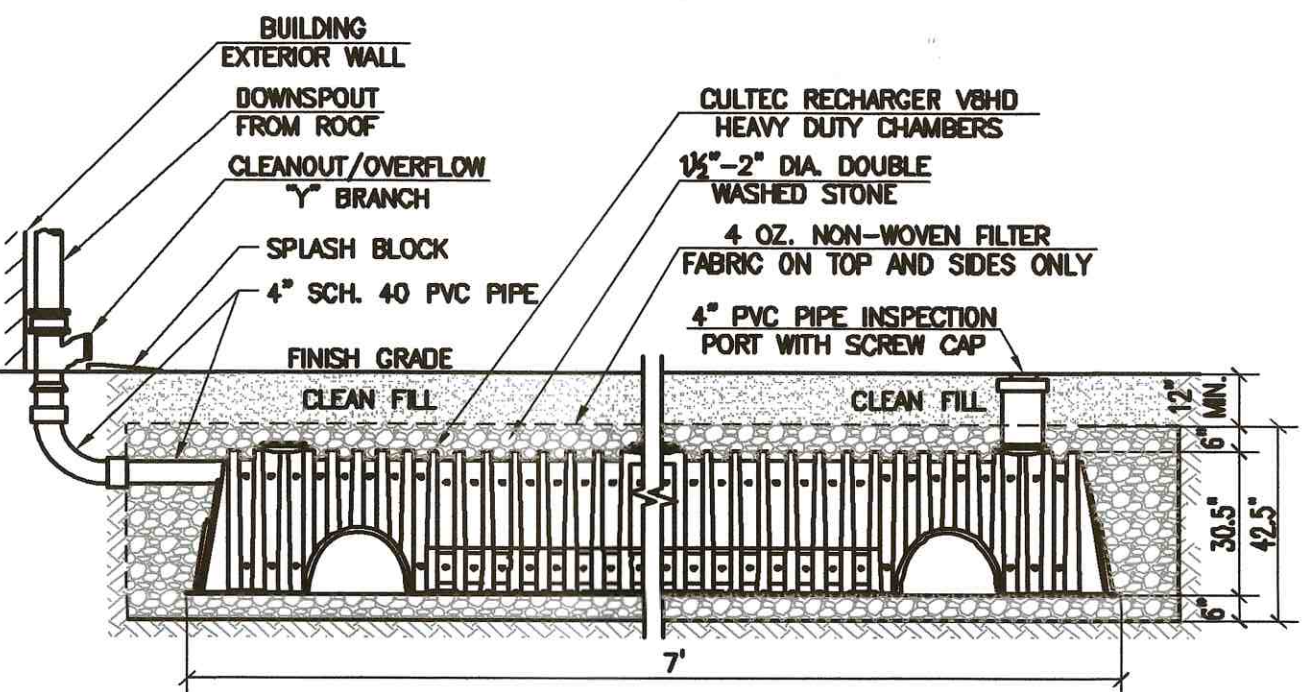
TOTAL AVAILABLE STORAGE = 133 CF >>> 132 CF

\*PLEASE NOTE: THESE CALCULATIONS ARE PER UNIT. THERE ARE 2 UNITS ONSITE.

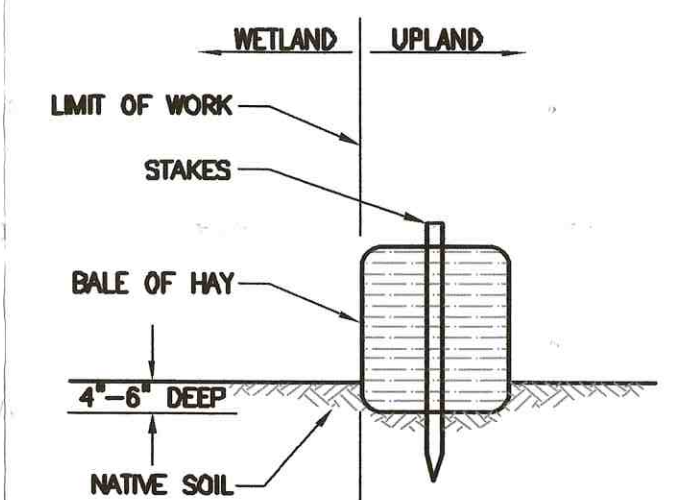
- ZONING DATA -		
DISTRICT: RA - RESIDENTIAL A		
DESCRIPTION	REQUIRED	PROVIDED
LOT AREA	8,000 S.F.	15,035± S.F.
LOT FRONTAGE	75 FT	78.45 FT
FRONT SETBACK	20 FT	22.9± FT
SIDE SETBACK	10/12 FT	12.2±/13.0± FT
REAR SETBACK	30 FT	60.6± FT
BUILDING HEIGHT (MAXIMUM)	45 FT	30± FT
BUILDING COVERAGE (MAXIMUM)	30 %	10.2± %
LOT COVERAGE (MAXIMUM)	65 %	39.7± %



CULTEC RECHARGER 330XLHD STANDARD CROSS SECTION  
NOT TO SCALE



ROOF RECHARGE SYSTEM  
NOT TO SCALE



STAKED HAY BALES  
NOT TO SCALE

RECORD OWNER:  
ASSESSORS MAP 130D LOT 478  
DPM DEVELOPMENT  
70 LAMBETH STREET  
NEW BEDFORD, MA 02745  
DEED BOOK 13209 PAGE 228

- NOTES:
- TOPOGRAPHIC AND PROPERTY LINE SURVEY PERFORMED BY FARLAND CORP. IN NOVEMBER OF 2017.
  - PORTION OF DRIVEWAY BETWEEN EDGE OF ROADWAY AND PROPERTY LINE SHALL BE CONCRETE.
  - WETLAND RESOURCE AREAS WERE DELINEATED BY JOHN ZIMMER, P.W.S. IN NOVEMBER OF 2015 AS SHOWN ON PLAN ENTITLED "DEFINITIVE SUBDIVISION PLANS - STONEY BROOK FARM" DATED MAY 11, 2017 BY CAVANARO CONSULTING.
  - A SIGN STATING PROTECTED CONSERVATION AREA EXISTS BEYOND THE STONEWALL AND IS TO REMAIN UNDISTURBED PER ORDER OF THE NEW BEDFORD CONSERVATION COMMISSION SHALL BE PLACED ON THE STONEWALL, FENCING, OR ARBORVITAE.
  - STONEWALL, FENCING OR ROW OF ARBORVITAE SHALL BE PLACED AT THE 25-FOOT NO DISTURB ZONE. IF RELOCATED STONEWALLS ARE USED THEY SHOULD BE A MINIMUM 3'-4" TALL.
  - ROOF RECHARGE SYSTEMS HAVE BEEN OVER DESIGNED TO WITHSTAND THE 100-YEAR STORM EVENT AND THE TIE-IN OF A SUMP PUMP SYSTEM, IF NECESSARY.
  - IF SUMP PUMP IS INSTALLED, A CONCRETE LIP MUST BE INSTALLED AROUND THE SUMP PUMP.

REVISIONS		
1	8/26/19	PER CONSERVATION COMMENTS
2	6/8/20	PER CLIENT REQUEST
3	7/2/20	PER DPR COMMENTS



www.FarlandCorp.com  
401 COUNTY STREET  
NEW BEDFORD, MA 02740  
P.508.717.3479  
OFFICES IN:  
•TAUNTON  
•MARLBOROUGH  
•WARWICK, RI

DRAWN BY: JT  
DESIGNED BY: JT  
CHECKED BY: CAF

SITE PLAN  
— FARLAND CIRCLE —  
ASSESSORS MAP 130D LOT 478  
NEW BEDFORD, MASSACHUSETTS  
PREPARED DPM DEVELOPMENT  
FOR:  
NEW BEDFORD, MA 02745

FEBRUARY 5, 2019  
SCALE: 1"=10'  
JOB NO. 18-1063.3  
LATEST REVISION:  
JULY 2, 2020

SHEET 1 OF 1