

W-20-13  
SERVICE 34094

Sewer #24889

NEW BEDFORD WATER WORKS

APPLICATION FOR SERVICE AND METER

NEW BEDFORD

07-22-2020 - 07-22-2021

I HEREBY ACKNOWLEDGE the receipt of a copy of the Regulations prescribed in the Ordinance of the City, for the use of Water, and I request that the water may be furnished through a

1" inch Copper meter at farland circle (E.S.) S x  
Phillips Road P.BOD L 4TH

at such rates as may from time to time be established by the City.

I hereby agree to pay promptly the bill for the Service pipe laid down for my premises, and to pay all dues for water, and I agree to conform to the said Regulations and to all provisions of the Water Ordinances, until written notice is given by me or my agent to cut off the supply.

single family home

508-717-3479  
TELEPHONE

Farland Corp 21 Ventura Drive Dartmouth MA

for Christian Farland 555 Lantern Lane

\* See attached for signature Dartmouth

Service laid Farland Corp Size and kind of pipe 1" copper

From farland circle 8" DI main St.

Turned on Meter Set

Reading Location

Building rates Paid

Cost of Service \$500.00 Paid # 9561

31-727



S x Hydrant 130.7'  
W x E l ES Farland Circle 8.0'  
S x N Line 11.0'  
N x S Line 37.0'  
W x W line 32.0'  
E x W Line Farland Circle 14.0'  
Pipe inside property 23.0'  
3" gas  
4" E x curb stop

7/30/2020 Inspected

Picked up  
couplings

J. Mans

9-15-2020



DISPLAY PERMIT IN A CONSPICUOUS PLACE ON THE PREMISES



Commonwealth of Massachusetts

# City of New Bedford

133 William Street New Bedford, MA 02740

## WATER SERVICE PERMIT



Date: 9/3/2020

No. **W-20-13**

Permit Fee: \$500.00

Service Location: \_\_\_\_\_

Owner Name: FARLAND ESTATES, LLC

Owner Phone #: (508) 717-3479

Type of Occupancy: Residential

Type of Work: Water - Domestic New 1"

Work Description: water permit#34094  
P.130D  
L.474

Farland Circle ES S x Phillips Rd

Farland Circle ES S x Phillips Rd

**1" COPPER SERVICE**

### Contractor

Name: FARLAND CORPORATION INC

Certificate #: 47544

Type of Business : DPI - Other

Address: 398 COUNTY ST City/Town/State: NEW BEDFORD MA Phone #: (508) 717-

Type of Service Pipe Size Trench Length: **0.00**

Fire Service \_\_\_\_\_

Domestic Service \_\_\_\_\_

### Estimated consumption of water

Estimated average daily consumption 0.00 gallons

Cross Connection? **No**

Estimated maximum day consumption 0.00 gallons

Right of Way? **No**

Are lawn sprinklers and/or lawn irrigation proposed on site? **No**

Meter Impact? **No**

Estimated fire flows required for the project site: 0.00

Street Opening Permit Required? **No**

Does the project require a fire suppression system? **No**

Required minimum static pressure for the proposed project site \_\_\_\_\_

**Call Phone: (781) 942-9077 For Inspection**





Commonwealth of Massachusetts

# CITY OF NEW BEDFORD

City Hall, Room 308, 133 William Street New Bedford, MA 02740 (508) 979-1540



## FOUNDATION PERMIT

6/18/2020

No. **B-20-935**

MSBC Sect. 111.8 - Any permit issued shall be deemed abandoned and invalid unless the work authorized by it shall have been commenced within six (6) months after its issuance.

FEE PAID \$1,100.00

This certifies that **Farland Corporation, Inc.**

owner/contractor has permission to:

ES-

STONE BROOK LN

on:

130D

-474

Foundations Only 1-2 Family - 100.00

Providing that the person accepting this permit shall in every respect conform to the terms of application therefore on file in this office; to the provisions of the statute of the Commonwealth and to the by-laws of the City of New Bedford relating to the inspection, erection, enlarging, altering, raising, moving, repairing, or tearing down of a building.

Permit is issued subject to the following special requirements: (Restrictions)



Wiring Inspector

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_



Plumbing Inspector

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_



Building Inspector

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

YOUR AREA INSPECTOR IS: **Thomas Welch**

Tel. (508) 979-1540 Between 8:00am - 9:00am

**NOTICE: NOTIFY INSPECTOR 48 HOURS IN ADVANCE OF APPLYING SHEATHING OR LATHING**

**OCCUPANCY PERMIT REQUIRED BEFORE OCCUPANCY**

No Building or structure shall be used or occupied until the Certificate of Use and Occupancy shall have been issued by the Building Commission. MSBC, Sec. 120A.

**This Card Must Be Displayed in a Conspicuous Place on the Premises and Not Torn Down or Removed Until Completion of Work**

SUBJECT TO MASSACHUSETTS  
STATE BUILDING CODE

*Danny O. Ronowicz Jr.*





## Department of Public Infrastructure

Jamie Ponte  
Commissioner

Water  
Wastewater  
Highways  
Engineering  
Cemeteries  
Park Maintenance  
Forestry  
Energy

### CITY OF NEW BEDFORD

Jonathan F. Mitchell, Mayor

#### To Whom It May Concern:

I Christian Farland 555 Lantern Lane Dartmouth being  
(Name) (Mailing Address)

Owner of property located at

Plot 130D, Lot 474, hereby agree to allow Farland Corp  
(Name)

21 Ventura Drive Dartmouth to act on my behalf including affixing my  
(Mailing Address)

signature in securing permit for:

- ☒ Sewer/Drain Service Permits
- ☒ Water Service Permits
- ☒ Driveway Installation Permits
- ☒ Sidewalk Installation Permits

I further agree to conform to, and abide by, All City rules and ask regulations applicable to the permit (s) being applied for:

Name

Signature

555 Lantern Lane Dartmouth Ma  
Address

7-20-2020  
Date

508-717-3479  
Telephone Number



Sewer #24889  
SERVICE 34094

## NEW BEDFORD WATER WORKS

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Single family home

TELEPHONE

Farland Corp 21 Ventura Drive Dartmouth MA  
for Christopher Farland 555 Lantern Lane  
Dartmouth

Service laid Farland Corp Size and kind of pipe 1" copper

From farland circle 8" DI main St.

Turned on Meter Set

Reading Location

Building rates Paid

Cost of Service \$500.00 Paid



**Farland Corporation Inc.**

21 Ventura Drive  
Dartmouth, MA 02747  
508-717-3479

Baycoast Bank

9561

53-7223/2113  
9613

7-22-2020

PAY TO THE  
ORDER OF

City of New Bedford

\$ 500.00

Five Hundred +  $\frac{0}{100}$

DOLLARS

Security features included. Details on back.

MEMO

Job# 18-765, 07SW

water  
permat



[Signature]

AUTHORIZED SIGNATURE

MP

⑈009561⑈ ⑆211372239⑆ 840979803⑈



ASR-DPI Engrg.

RE: TB-20-935  
Farland Circle (E.S.) S. x Phillips Rd. (a/k/a Builder's Lot 7)  
Plot 130D Lot 474  
Reviewed 6/8/2020

**PLEASE NOTE:**

It is the responsibility of the applicant and the contractors to be familiar with DPI procedures/regulations and ascertain that all proposed work which falls under DPI jurisdiction, whether shown on the submitted site plan or not, is identified and executed in accordance with City of New Bedford DPI Construction Standards/Specifications. **The Certificate of Occupancy (CO) will not be signed for any work performed that is non-compliant and/or if any of the following conditions are not met.**

**The following conditions are to be met by the applicant (being the owner and/or their representative) as part of this permit approval:**

- 1.) The site plan submitted via the View Permit system to DPI, titled: "Site Plan, Farland Circle, Assessors Map 130D Lot 474, New Bedford, Massachusetts", having a date of 2/3/2020 (last revised 6/8/2020), as prepared by Farland Corp. and stamped/signed by Christian A. Farland, P.E. (Civil), was approved as the "final" site plan and conditionally approved by DPI, as follows:
  - a. The plan indicates that there may be a sump pump tie-in at this location. The recharge system calculations must incorporate sump pump discharge, and the conditions stipulated by the City Engineer regarding sump pump installations will apply, as follows:
    - i. The sump pump tie in will require a letter stamped and signed by a registered professional engineer in the Commonwealth of Massachusetts along with the supporting calculations and plans stamped and signed by the same engineer documenting the design and standards. These documents are needed before DPI signs off on the CO.
    - ii. A concrete lip should be constructed around the sump pump and pit (6-in high) so that if there is a spill in the basement, it cannot flow into the pit and be pumped to the infiltrator unit thereby contaminated the groundwater and site. This needs to be inspected and signed off by our inspector prior to signing of the CO.
    - iii. A release of liability form will need to be signed by the homeowner documenting that if he/she is identified as dumping pollutants into the pit and causes contamination of the site they are the responsible party for any and all cleanup and the City is not responsible. This is not needed by the CO but will be needed 30 days following execution of any property ownership documents.
  - b. The parcel must be developed in accordance with the conditions set forth in the approved Subdivision Plans.
  - c. The applicant is responsible for ensuring that Inspectional Services is provided with the "final" site plan (or any modifications approved by DPI thereafter) to be placed on file in the View Permit system.
- 2.) Must provide 6 stamped/signed copies of the "final" site plan approved by DPI when applying for the water, sewer/drain and sidewalk/driveway permits for the proposed structure. In addition, a copy of the foundation permit and of the stamped/signed foundation as-built plan must also be submitted.



Please Note: Any representative pulling permits on behalf of the owner must provide DPI with a permission slip. If the property was acquired within the past 3 months, then a copy of the recorded deed showing property ownership must also be provided.

- 3.) Must contact DPI-Engineering to measure for an address number once the front door is framed. The CO will not be signed unless the legal address issued by the City is permanently affixed to, above, or next to, the main door entrance to which it was assigned such that it is highly visible from the street.

Please be advised that any and all future modifications to the site plan that was reviewed/approved for the above project and placed on file at DPI as the "final" site plan must be resubmitted for review/approval if said changes entail work that falls under the jurisdiction of DPI.



MAP 130D LOT 135  
N/F  
221 FITZGERALD DRIVE LLC

PLAN BK 164 PG 75



S19°24'11"E  
158.27'

115.12'  
N69°57'14"W

**LOT 474**  
(AREA=18,491± S.F.)

**LOT 473**

S34°22'12"W  
20.00'

143.13'  
N82°33'08"E

**LOT 475**

EXISTING FOUNDATION

85.54'  
N70°03'27"W

L=79.78'  
R=145.00'

**FARLAND ~PRIVATE ~ 50' WIDE~ CIRCLE**

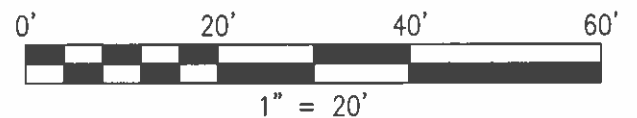
**NOTE:**

FOUNDATION AS-BUILT SURVEY PERFORMED BY FARLAND CORP ON JUNE 2020

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ANY MODIFICATIONS MADE TO THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF FARLAND CORP. SHALL RENDER IT INVALID AND UNUSABLE.



**FOUNDATION AS-BUILT  
LOT 7 FARLAND CIRCLE  
ASSESSORS MAP 130D LOT 474  
NEW BEDFORD, MASSACHUSETTS**



[www.FarlandCorp.com](http://www.FarlandCorp.com)

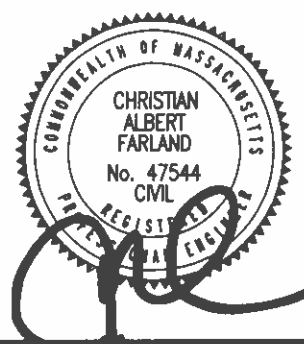
401 COUNTY STREET  
NEW BEDFORD, MA 02740  
P.508.717.3479

OFFICES IN:

- TAUNTON
- MARLBOROUGH
- WARWICK, RI

**PREPARED FOR:**

MIH1, LLC.  
21 VENTURA DRIVE  
DARTMOUTH, MA 02747

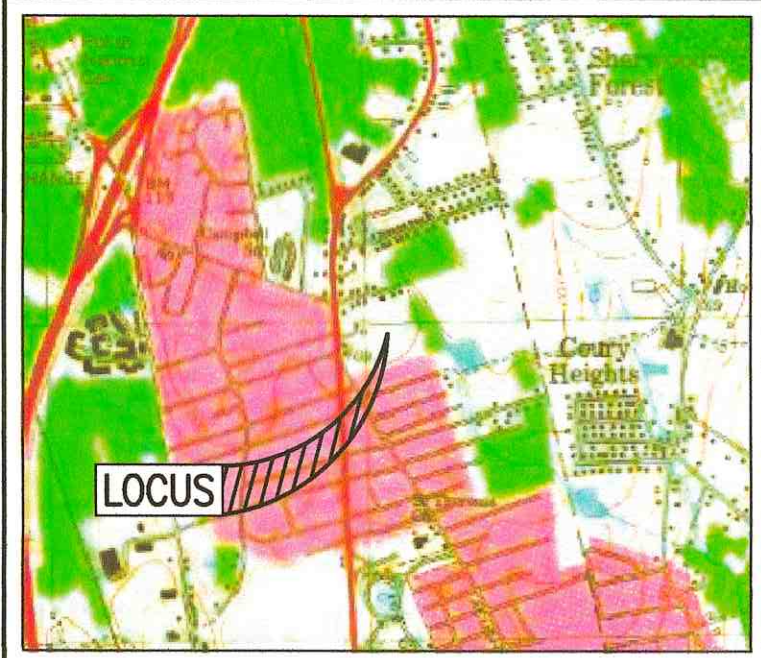


SCALE: 1"=20'

JULY 1, 2020

JOB NO: 18-765.7





SCALE: 1"=2,000'±

#### SUBSURFACE ROOF RECHARGE UNIT SIZING CALCULATIONS:

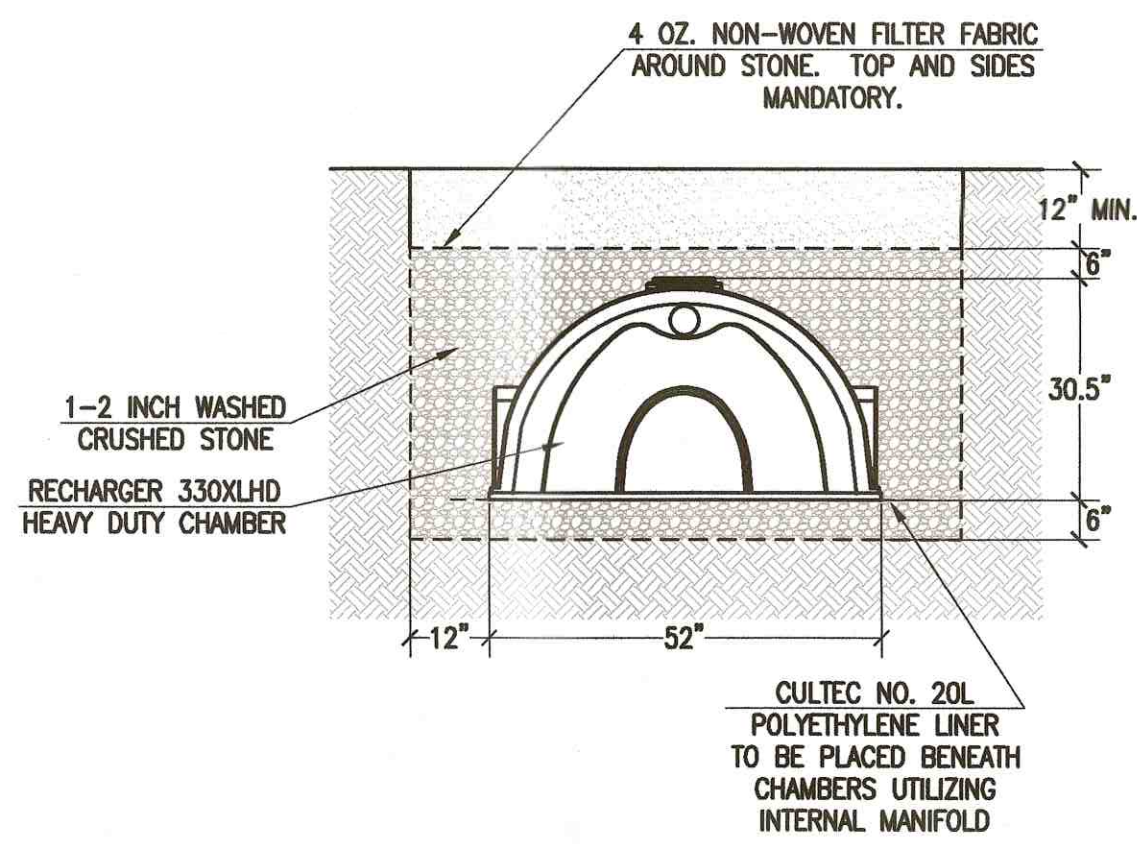
INFLOW AREA = 660 SF, 100.00% IMPERVIOUS, INFLOW DEPTH = 6.76" FOR 100-YEAR STORM EVENT  
INFLOW = 0.01 CFS @ 12.09 HRS, VOLUME = 372 CF  
OUTFLOW = 0.01 CFS @ 11.65 HRS, VOLUME = 372 CF, ATTN = 87%, LAG = 0.0 MIN  
DISCARDED = 0.01 CFS @ 11.65 HRS, VOLUME = 372 CF

ROUTING BY STOR-IND METHOD, TIME SPAN = 0.00-30.00 HRS, DT = 0.05 HRS  
PEAK ELEV = 93.25' @ 12.65 HRS SURF AREA = 66 SF REQUIRED STORAGE = 112 CF

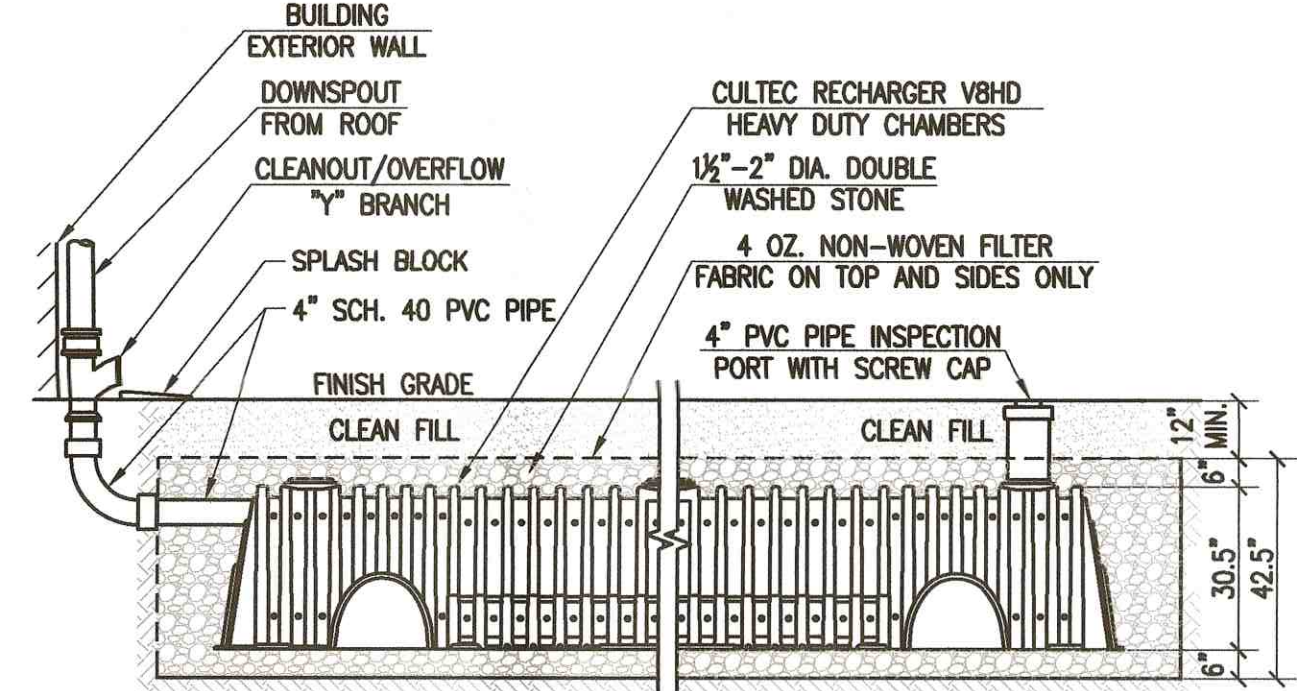
VOLUME INVERT AVAL STORAGE STORAGE DESCRIPTION  
#1 90.45' 69 CF 6.33'W X 10.50'L X 3.54'H PRISMATOID X 1  
236 CF OVERALL - 63 CF EMBEDDED = 172 CF X 40.0% VOIDS  
#2 90.95' 63 CF 47.8'W X 30.0'H X 7.00'L PARABOLIC ARCH X 1 INSIDE #1  
#3 93.00' 1 CF 0.33'D X 10.0'H VERTICAL CONE/CYLINDER-IMPERVIOUS

TOTAL AVAILABLE STORAGE = 133 CF >>> 112 CF

\*PLEASE NOTE: THESE CALCULATIONS ARE PER UNIT. THERE ARE 2 UNITS ON SITE.



CULTEC RECHARGER 330XLHD STANDARD CROSS SECTION  
NOT TO SCALE

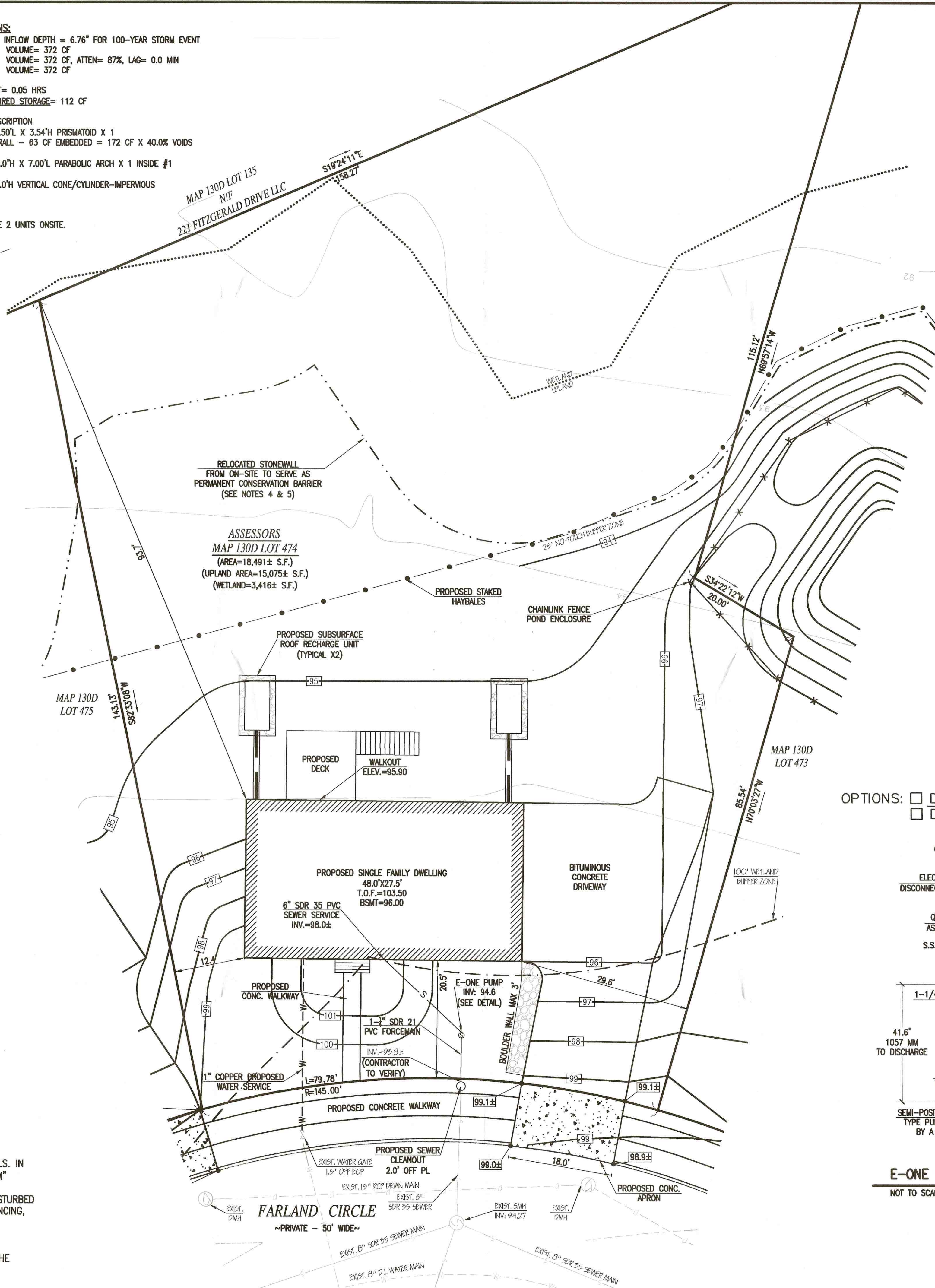


ROOF RECHARGE SYSTEM  
NOT TO SCALE

RECORD OWNER:  
ASSESSORS MAP 130D LOT 478  
MH1, LLC  
401 COUNTY STREET  
NEW BEDFORD, MA 02740  
DEED BOOK 12304 PAGE 200

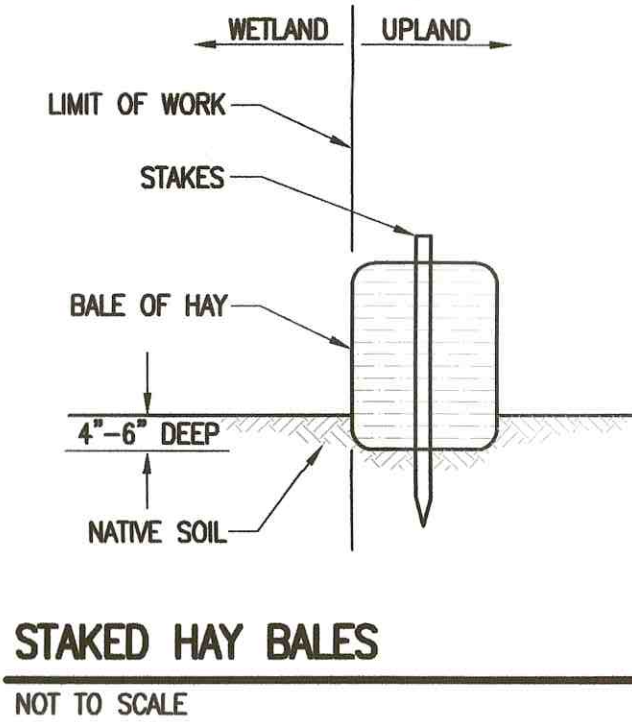
#### NOTES:

- TOPOGRAPHIC AND PROPERTY LINE SURVEY PERFORMED BY FARLAND CORP. IN NOVEMBER OF 2017.
- PORTION OF DRIVEWAY BETWEEN EDGE OF ROADWAY AND PROPERTY LINE SHALL BE CONCRETE.
- BORDERING VEGETATED WETLAND FLAOS AND INTERMITTENT STREAM FLAOS WERE SET BY JOHN ZIMMER, P.W.S. IN NOVEMBER OF 2015 AS SHOWN ON PLAN ENTITLED "DEFINITIVE SUBDIVISION PLANS - STONEY BROOK FARM" DATED MAY 11, 2017 BY CAVANARO CONSULTING.
- A SIGN STATING PROTECTED CONSERVATION AREA EXISTS BEYOND THE STONEWALL AND IS TO REMAIN UNDISTURBED PER ORDER OF THE NEW BEDFORD CONSERVATION COMMISSION SHALL BE PLACED ON THE STONEWALL, FENCING, OR ARBORVITAE.
- STONEWALL, FENCING OR ROW OF ARBORVITAE SHALL BE PLACED AT THE 25-FOOT NO DISTURB ZONE. IF RELOCATED STONEWALLS ARE USED THEY SHOULD BE A MINIMUM 3'-4" TALL.
- ROOF RECHARGE SYSTEMS HAVE BEEN OVER DESIGNED TO WITHSTAND THE 100-YEAR STORM EVENT AND THE TIE-IN OF A SUMP PUMP SYSTEM, IF NECESSARY.
- IF SUMP PUMP IS INSTALLED, A CONCRETE LIP MUST BE INSTALLED AROUND THE SUMP PUMP.



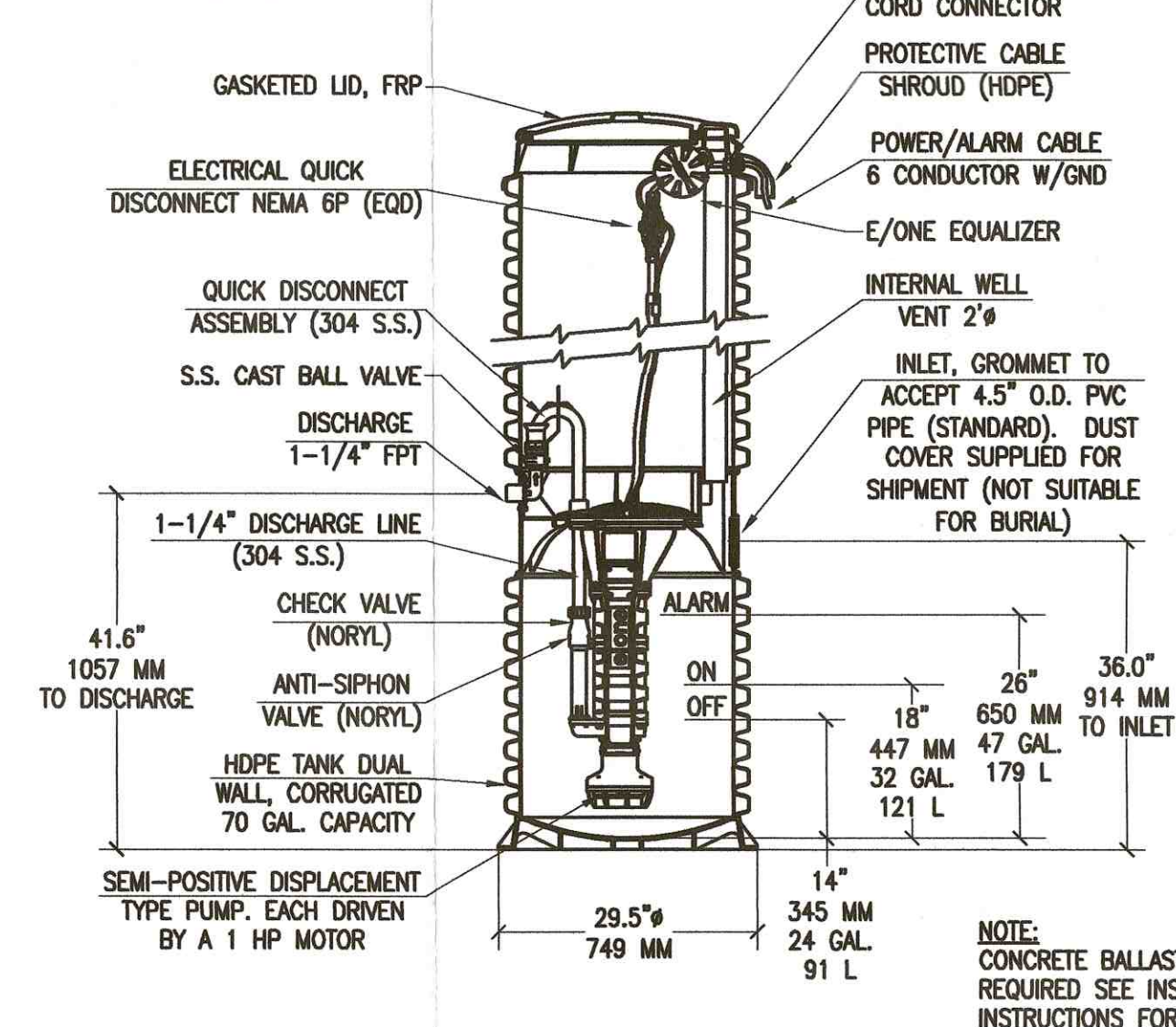
#### - ZONING DATA - DISTRICT: RA - RESIDENTIAL A

DESCRIPTION	REQUIRED	PROVIDED
LOT AREA	8,000 S.F.	16,491± S.F.
LOT FRONTAGE	75 FT	79.78 FT
FRONT SETBACK	20 FT	20.5± FT
SIDE SETBACK	10/12 FT	12.4±/29.6± FT
REAR SETBACK	30 FT	93.7± FT
BUILDING HEIGHT (MAXIMUM)	45 FT	30± FT
BUILDING COVERAGE (MAXIMUM)	30 %	7.1± %
LOT COVERAGE (MAXIMUM)	65 %	14.0± %

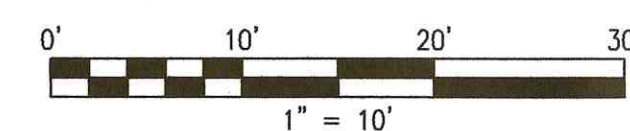


STAKED HAY BALES  
NOT TO SCALE

OPTIONS: ☐ DH071 (HARD WIRED LEVEL CONTROLS)  
☐ DR071 (WIRELESS LEVEL CONTROLS)



E-ONE GRINDER PUMP  
NOT TO SCALE



#### REVISIONS

1	6/4/20	PER CLIENT COMMENTS
2	6/8/20	PER DPI COMMENTS



www.FarlandCorp.com

401 COUNTY STREET  
NEW BEDFORD, MA 02740  
P. 508.717.3479

OFFICES IN:

- TAUNTON
- MARLBOROUGH
- WARWICK, RI

DRAWN BY: JT

DESIGNED BY: JT

CHECKED BY: CAF

#### SITE PLAN

FARLAND CIRCLE  
ASSESSORS MAP 130D LOT 474  
NEW BEDFORD, MASSACHUSETTS

PREPARED FOR:  
MH1, LLC  
401 COUNTY STREET  
NEW BEDFORD, MA 02740

FEBRUARY 3, 2020

SCALE: 1"=10'

JOB NO. 18-765.07

LATEST REVISION:

JUNE 8, 2020

SHEET 1 OF 1