

TW-20-24

Expires 9/28/2021

SERVICE 34093

Sewer # 24898

NEW BEDFORD WATER WORKS

APPLICATION FOR SERVICE AND METER

NEW BEDFORD

9/28/2020

I HEREBY ACKNOWLEDGE the receipt of a copy of the Regulations prescribed in the Ordinance of the City, for the use of Water, and I request that the water may be furnished through a

1 inch Copper meter at Farland Circle (W.S.) S x Phillips Rd / AKA Builders Lot 18

at such rates as may from time to time be established by the City.

I hereby agree to pay promptly the bill for the Service pipe laid down for my premises, and to pay all dues for water, and I agree to conform to the said Regulations and to all provisions of the Water Ordinances, until written notice is given by me or my agent to cut off the supply.

Plot: 130 D

Single Family X

Lot: 463

TELEPHONE 508-441-8006

Eddie Lopez

29 Walden St
NB MD
02745

Service laid

Size and kind of pipe

1" Copper

From

New Construction

St.

Turned on

contractor: RO CADESSA

Meter Set

Reading

Location

Building rates

Paid

Cost of Service

Paid

31-727

\$500.00 CK # 458

9/28/2020

10.20.2020 - Installed new service by
RJ Canessa, Service inspected by Manny Rose

Nearest street to box S X SL Phillips Rd 195'
Other location to box N X Hydt. 17.8'
Property line to box E X WL Farland Cir. Wst7.1
Corner of building to box N X SL 42.8'
Corner of building to box S X NL 7.1'
House to box E X EL 31.0'

Main to property line E X WL Farland Circle
west 14.5'
Pipe inside property line 27.0'

Measurements of Ducts or Cables: Tel., Elec.
CATVST.L

3' - 6' W X CS

DISPLAY PERMIT IN A CONSPICUOUS PLACE ON THE PREMISES



Commonwealth of Massachusetts

City of New Bedford

133 William Street New Bedford, MA 02740

WATER SERVICE PERMIT



Date: 11/9/2020

No. **W-20-24**

Permit Fee: \$500.00

Service Location: _____

Owner Name: BIG THREE LLC

Owner Phone #: (508) 441-8606

Type of Occupancy: Residential

Type of Work: Water - Domestic New 1"

Work Description: water#34093

P.130D
L.463

Farland Circle WS S x Phillips Rd
Builders lot 18
new 1" copper service

Contractor

Name: Robert J. Canessa Certificate #: _____ Type of Business : DPI - Other

Address: P. O. Box 51643 City/Town/State: New Bedford MA Phone #: (508) 998-

Type of Service Pipe Size Trench Length: 0.00

Fire Service _____

Domestic Service _____

Estimated consumption of water

Estimated average daily consumption 0.00 gallons

Estimated maximum day consumption 0.00 gallons

Are lawn sprinklers and/or lawn irrigation proposed on site? No

Estimated fire flows required for the project site: 0.00

Does the project require a fire suppression system? No

Required minimum static pressure for the proposed project site 0.00

Cross Connection? No

Right of Way? No

Meter Impact? No

Street Opening Permit Required? No

Call Phone: (781) 942-9077 For Inspection

EXP 9/28/2021

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Sewer # 24898

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Plot: 130 D

Lot: 463

Single Family X

TELEPHONE 508-441-8606

Eddie Lopez

29 Walden St

NB 17B

08745

Service laid

Size and kind of pipe

1" COPPER

From New Construction

St.

Turned on

Meter Set

Reading

Location

Building rates

Paid

Cost of Service

Paid

31-727

\$500.00 CK # 458

9/28/2020

EXP 9/28/2021

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Sewer # 24898

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Plot: 130 D

Single Family X

Lot: 463

TELEPHONE 508-441-8006

Eddie Lopez

29 Wadsworth St
NB 170
02745

Service laid

Size and kind of pipe

1" Copper

From

New Construction

St.

Turned on

Meter Set

Reading

Location

Building rates

Paid

Cost of Service

Paid

31-727

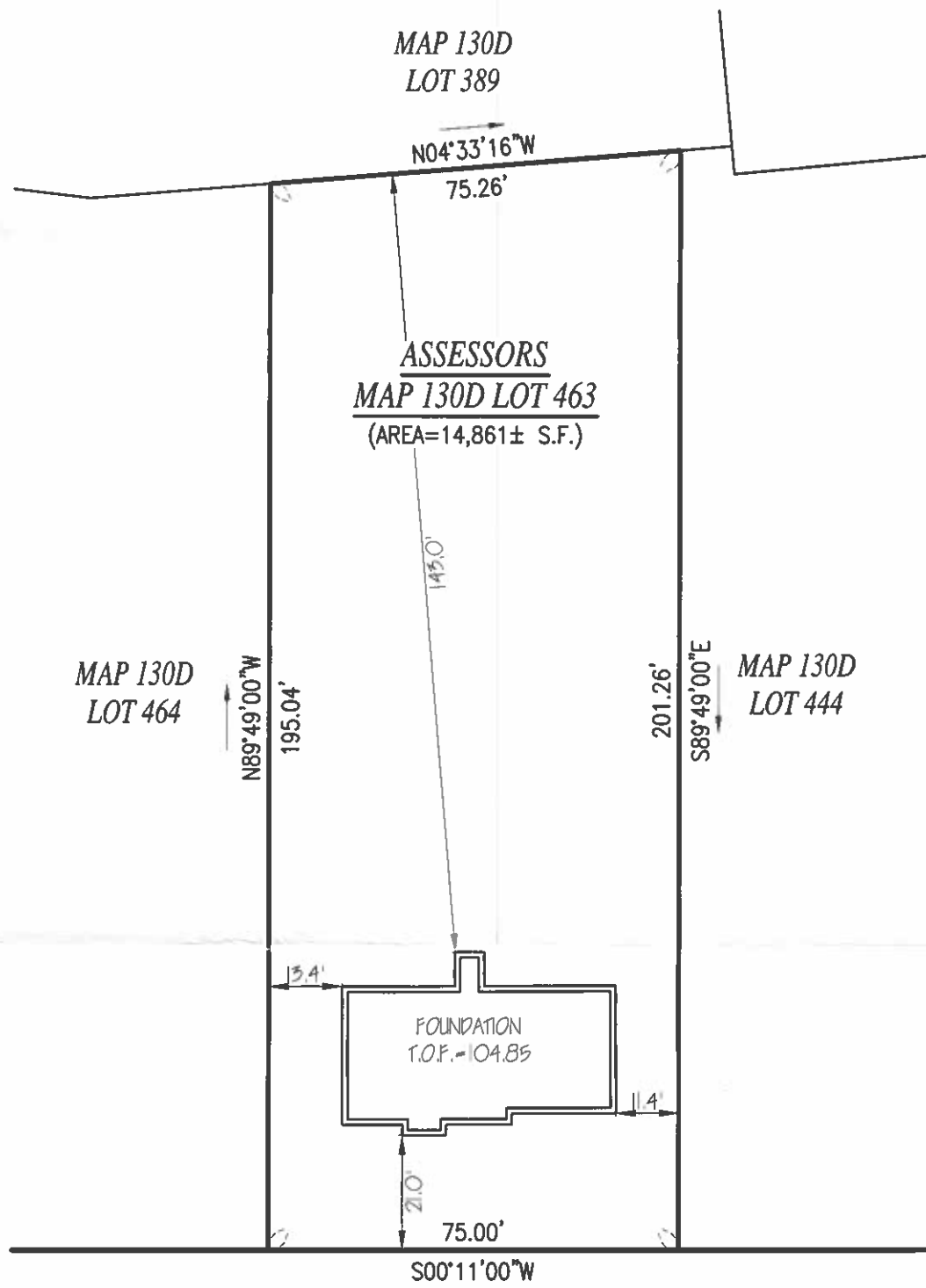
\$500.00 CK # 458

9/28/2020



— ZONING DATA —

DISTRICT: RA — RESIDENTIAL A	
DESCRIPTION	REQUIRED
FRONT SETBACK	20 FT
SIDE SETBACK	10/12 FT
REAR SETBACK	30 FT



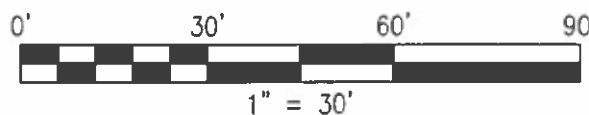
RECORD OWNER:

ASSESSORS MAP 130D LOT 463
BIG THREE LLC
2 BOULDER COURT
FAIRHAVEN, MA 02719
DEED BOOK 12989 PAGE 21
PLAN BOOK 178 PAGE 35

FARLAND CIRCLE

NOTES:

1. FOUNDATION AS-BUILT SURVEY PERFORMED BY FARLAND CORP. IN SEPTEMBER 2020.
2. VERTICAL ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88)



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FOUNDATION AS-BUILT PLAN

FARLAND CIRCLE

ASSESSORS MAP 130D LOT 463
NEW BEDFORD, MASSACHUSETTS

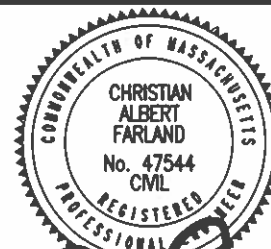


www.FarlandCorp.com

21 VENTURA DRIVE
DARTMOUTH, MA 02747
P.508.717.3479
• ENGINEERING
• SITEWORK
• LAND SURVEYING
• DEVELOPMENT

PREPARED FOR:

LOPEZ DEVELOPMENT
129 HUTTLESTON AVENUE
FAIRHAVEN, MA 02719



Signature of Christian Albert Farland

SCALE: 1"=30'

SEPTEMBER 16, 2020

JOB NO: 19-744



LOCUS MAP SCALE: 1"=2,000'±

SUBSURFACE ROOF RECHARGE UNIT SIZING CALCULATIONS:

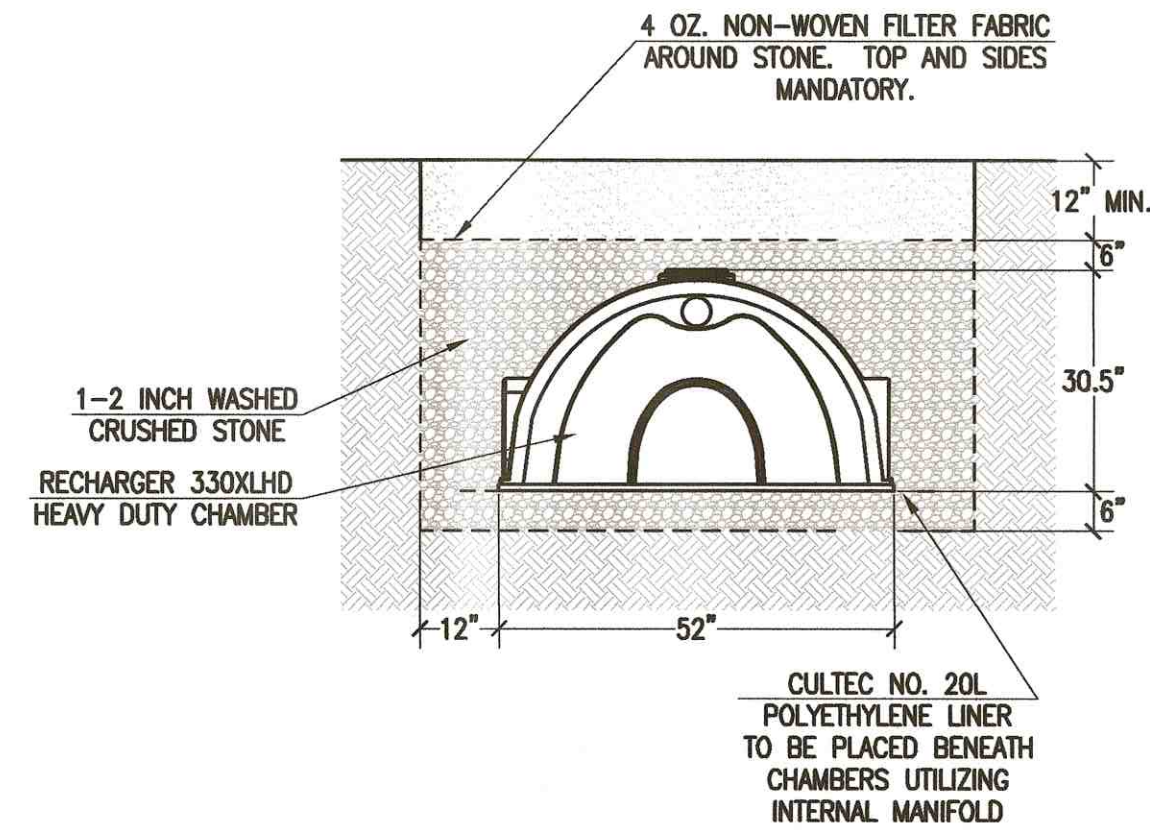
INFLOW AREA = 615 SF, 100.00% IMPERVIOUS, INFLOW DEPTH = 6.76" FOR 100-YEAR STORM EVENT
INFLOW = 0.09 CFS @ 12.09 HRS, VOLUME= 346 CF
OUTFLOW = 0.01 CFS @ 11.65 HRS, VOLUME= 346 CF, ATTEN= 87%, LAG= 0.0 MIN
DISCARDED = 0.01 CFS @ 11.65 HRS, VOLUME= 346 CF

ROUTING BY STOR-IND METHOD, TIME SPAN= 0.00-30.00 HRS, DT= 0.05 HRS
PEAK ELEV= 99.20' @ 12.61 HRS SURF AREA= 66 SF REQUIRED STORAGE= 101 CF

VOLUME	INVERT	AVAIL STORAGE	STORAGE DESCRIPTION
#1	96.70'	69 CF	6.33'W X 10.50'L X 3.54'H PRISMATOID X 1 236 CF OVERALL - 63 CF EMBEDDED = 172 CF X 40.0% VOIDS
#2	97.20'	63 CF	47.8'W X 30.0'H X 7.00'L PARABOLIC ARCH X 1 INSIDE #1
#3	99.25'	1 CF	0.33'D X 10.0'H VERTICAL CONE/CYLINDER-IMPERVIOUS

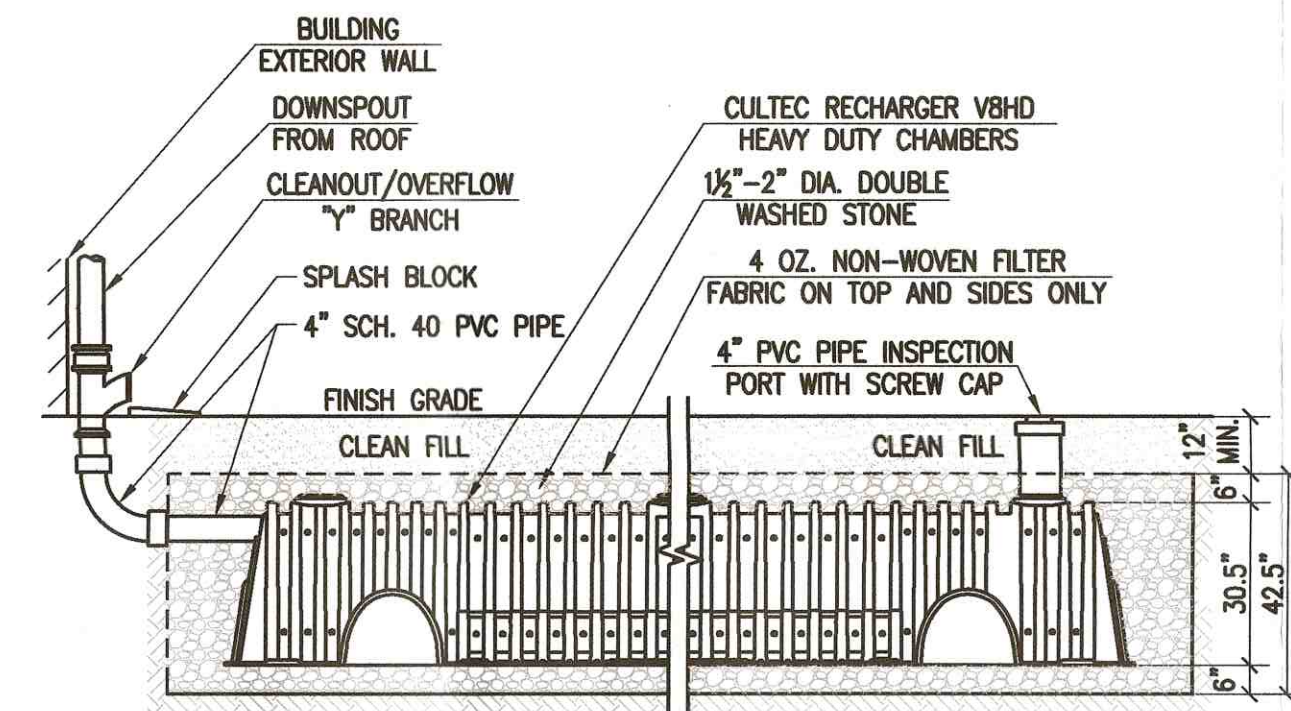
TOTAL AVAILABLE STORAGE = 133 CF >>> 101 CF

*PLEASE NOTE: THESE CALCULATIONS ARE PER UNIT. THERE ARE 2 UNITS ONSITE.



CULTEC RECHARGER 330XLHD STANDARD CROSS SECTION

NOT TO SCALE

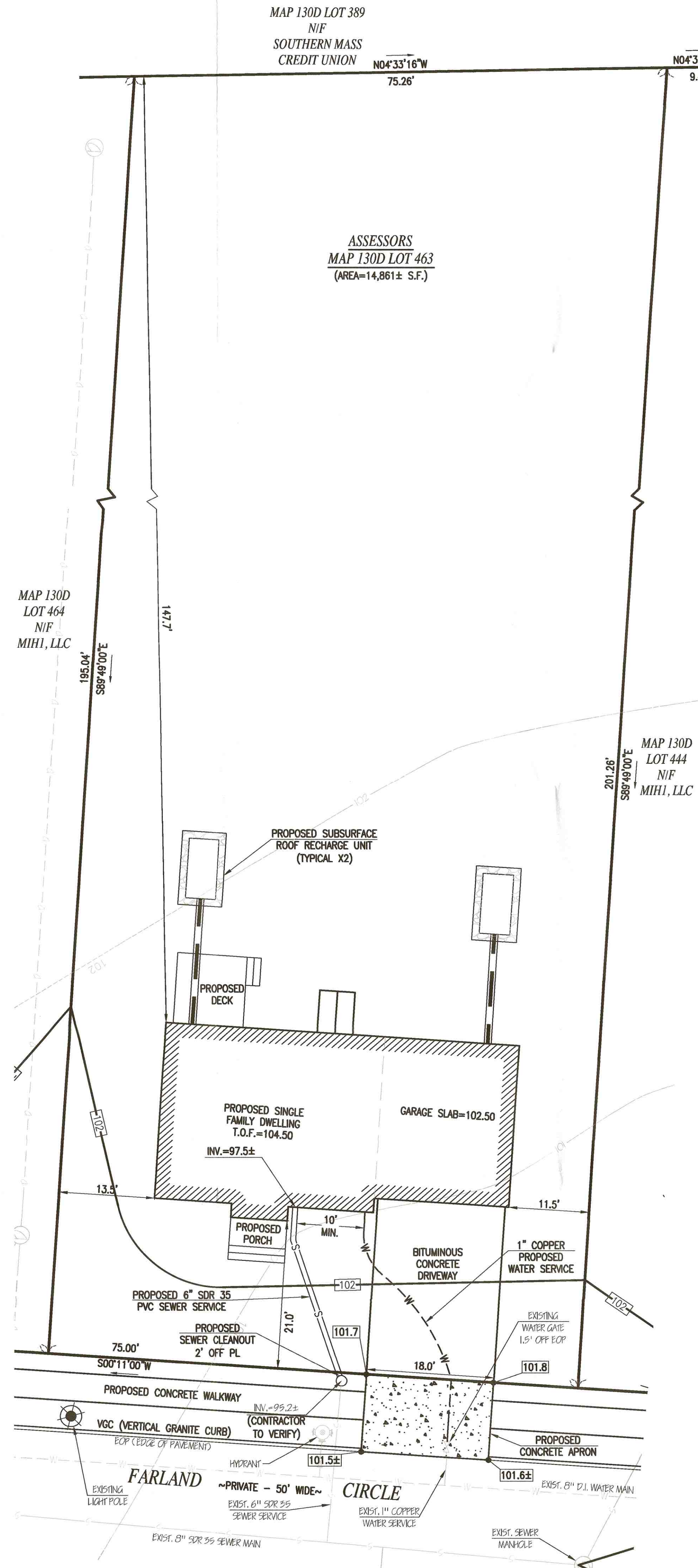


ROOF RECHARGE SYSTEM

NOT TO SCALE

RECORD OWNER:
ASSESSORS MAP 130D LOT 463
BIG THREE LLC
2 BOULDER COURT
FAIRHAVEN, MA
DEED BOOK 12989 PAGE 21

- NOTES:
- TOPOGRAPHIC AND PROPERTY LINE SURVEY PERFORMED BY FARLAND CORP. IN NOVEMBER OF 2017.
 - PORTION OF DRIVEWAY BETWEEN EDGE OF ROADWAY AND PROPERTY LINE SHALL BE CONCRETE.
 - ROOF RECHARGE SYSTEMS HAVE BEEN OVER DESIGNED TO WITHSTAND THE 100-YEAR STORM EVENT AND THE TIE-IN OF A SUMP PUMP SYSTEM, IF NECESSARY.
 - IF SUMP PUMP IS INSTALLED, A CONCRETE LIP MUST BE INSTALLED AROUND THE SUMP PUMP.



- ZONING DATA -
DISTRICT: RA - RESIDENTIAL A

DESCRIPTION	REQUIRED	PROVIDED
LOT AREA	8,000 S.F.	14,861± S.F.
LOT FRONTAGE	75 FT	75 FT
FRONT SETBACK	20 FT	21.0± FT
SIDE SETBACK	10/12 FT	11.5/13.5± FT
REAR SETBACK	30 FT	147.7± FT
BUILDING HEIGHT (MAXIMUM)	45 FT	30± FT
BUILDING COVERAGE (MAXIMUM)	30 %	8.2± %
LOT COVERAGE (MAXIMUM)	65 %	11.3± %

REVISIONS



www.FarlandCorp.com

401 COUNTY STREET
NEW BEDFORD, MA 02740
P.508.717.3479
OFFICES IN:
•TAUNTON
•MARLBOROUGH
•WARWICK, RI

DRAWN BY: JT
DESIGNED BY: CAF/JT
CHECKED BY: CAF

SITE PLAN
FARLAND CIRCLE

ASSESSORS MAP 130D LOT 463
NEW BEDFORD, MASSACHUSETTS

PREPARED FOR:
LOPEZ DEVELOPMENT
129 HUTTLESTON AVE
FAIRHAVEN, MA 02719

JUNE 25, 2020

SCALE: 1"=10'

JOB NO. 19-744.18

LATEST REVISION:

SHEET 1 OF 1