

4-W-20-9.
SERVICE 34085

Sewer # 24884

NEW BEDFORD WATER WORKS
APPLICATION FOR SERVICE AND METER
NEW BEDFORD 5-14-2020

I HEREBY ACKNOWLEDGE the receipt of a copy of the Regulations prescribed in the Ordinance of the City, for the use of Water, and I request that the water may be furnished through a

2" inch K Copper meter at ES Acushnet Ave., 425'
south of Phillips road P. 1300 L. 447

at such rates as may from time to time be established by the City.

I hereby agree to pay promptly the bill for the Service pipe laid down for my premises, and to pay all dues for water, and I agree to conform to the said Regulations and to all provisions of the Water Ordinances, until written notice is given by me or my agent to cut off the supply.

Proposed Carwash
Cumberland Farms

J.B. Laragan & Company, 980 Reed Road, Dartmouth, Ma 02747
* See Attach For Signature

TELEPHONE 508-984-1168

Service laid J.B. Laragan & Company Size and kind of pipe 2" K Copper

From connecting to 16" water main on Acushnet Ave St.

Turned on Meter Set

Reading Location

Building rates Paid V# 410371

Cost of Service \$ 515.00 Paid

31-727

S X S LINE [REDACTED] ST

54 ft

X

ft

W X E LINE ACUSHNET AVE

6 ft

X

LINE BUILDING

17 ft

W x w line building 56 FT

Main to property line 42 feet

pipe inside property 150 ft

Please note this is not a valid permit until signed
and check information noted

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Proposed Carwash
Cumberland Farms

J.B. Laragan & Company, 980 Reed Road, Dartmouth, Ma.
02747

TELEPHONE 508-984-1123

Service laid J.B. Laragan & Company Size and kind of pipe 2" K Copper

From connecting to 16" water main on Acushnet Ave

Turned on Meter Set

Reading Location

Building rates Paid

Cost of Service \$ 515.00 Paid

31-727

APPROVED 5.14.2021

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Proposed Carwash
Cumberland Farms

J. Blaragan Company, 980 Reed Road, Dartmouth, MA 02747

TELEPHONE 508-984-1608

Service laid J. Blaragan Company Size and kind of pipe 2" K Copper

From connecting to 16" water main on Acushnet Ave

Turned on Meter Set

Reading Location

Building rates Paid

Cost of Service \$ 515.00 Paid V #140371

31-727

J B LANAGAN & COMPANY INC

980 REED RD. UNIT A
N DARTMOUTH, MA 02747
(508) 984-1668

BAY COAST BANK

53-7223/2113



46372

5/11/2020

PAY TO THE
ORDER OF City of New Bedford

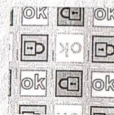
\$ **565.00

Five Hundred Sixty-Five and 00/100 ***** DOLLARS

City of New Bedford
Dept of Public Infrastructure
1105 Shawmut Avenue
New Bedford, MA 02746

MEMO

Water Permit Lot 117



AUTHORIZED SIGNATURE

Security features. Details on back.

⑈046372⑈ ⑆211372239⑆ 840295233⑈

J B LANAGAN & COMPANY INC

980 REED RD. UNIT A
N DARTMOUTH, MA 02747
(508) 984-1668

BAY COAST BANK

53-7223/2113



46371

5/11/2020

PAY TO THE
ORDER OF City of New Bedford

\$ **565.00

Five Hundred Sixty-Five and 00/100 ***** DOLLARS

City of New Bedford
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1105 Shawmut Avenue
New Bedford, MA 02746

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Water Permit Lot 447



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water 34085



CITY OF NEW BEDFORD

Jonathan F. Mitchell, Mayor

Department of Public Infrastructure

Jamie Ponte
Commissioner

Water
Wastewater
Highways
Engineering
Cemeteries
Park Maintenance
Forestry
Energy

To Whom It May Concern:

I Thomas Cacciatore, being on behalf
(Name) (Mailing Address)

Owner of property located at
Acushnet Ave. New Bedford MA, 02740 (Convenience Store Cumberland Farms)

Plot 130D, Lot 447, hereby agree to allow J.B Lanagan & Co., Inc.
447 (Name)

980 Reed Road Unit A. Dartmouth MA, 02747, to act on my behalf including affixing my
(Mailing Address)

signature in securing permit for:

☐ Sewer/Drain Service Permits
☒ Water Service Permits
☐ Driveway Installation Permits
☐ Sidewalk Installation Permits

I further agree to conform to, and abide by, All City rules and ask regulations applicable to the permit(s) being applied for:

Name

Signature

145 Flanders Rd, Westport, MA 01581
Address

2/20/20
Date

508-270-1400
Telephone Number

VP of RE, Construction, Facilities
Support, + Environmental
Affairs



Commonwealth of Massachusetts

CITY OF NEW BEDFORD

City Hall, Room 308, 133 William Street New Bedford, MA 02740 (508) 979-1540



FOUNDATION PERMIT

No. **B-19-2783**

1/10/2020

MSBC Sect. 111.8 - Any permit issued shall be deemed abandoned and invalid unless the work authorized by it shall have been commenced within six (6) months after its issuance.

FEE PAID **\$200.00**

This certifies that **Louis Eyster**

owner/contractor has permission to:

2904

ACUSHNET AVE

on: **Foundations Only Comm and Indust. 200.00**

Providing that the person accepting this permit shall in every respect conform to the terms of application therefore on file in this office; to the provisions of the statute of the Commonwealth and to the by-laws of the City of New Bedford relating to the inspection, erection, enlarging, altering, raising, moving, repairing, or tearing down of a building.

Permit is issued subject to the following special requirements: (Restrictions)



Wiring Inspector



Plumbing Inspector



Building Inspector

YOUR AREA INSPECTOR IS: **Thomas Welch**

Tel. (508) 979-1540 Between 8:00am - 9:00am

NOTICE: NOTIFY INSPECTOR 48 HOURS IN ADVANCE OF APPLYING SHEATHING OR LATHING

OCCUPANCY PERMIT REQUIRED BEFORE OCCUPANCY

No Building or Structure shall be used or occupied until the Certificate of Use and Occupancy shall have been issued by the Building Commissioner - MSBC, Sect. 120.1

This Card Must Be Displayed in a Conspicuous Place on the Premises and Not Torn Down or Removed Until Completion of Work

SUBJECT TO MASSACHUSETTS
STATE BUILDING CODE

Danny D. Ronnowitz

Building Inspector

Plan Review Comments:



City of New Bedford, MA

Building Division

City Hall, Room 308, 133 William Street
New Bedford, MA 02740

RECEIPT

APPLICATION TO CONSTRUCTION, REPAIR, RENOVATE, CHANGE THE USE OR OCCUPANCY OF, OR DEMOLISH A DWELLING

Permit No #: B-19-2783	Date Received: 10/24/2019
Signature: Louis Eyster	(ELECTRONIC SIGNATURE)
Building Commissioner/Inspector of Buildings:	Date

SECTION 1 : SITE INFORMATION

1.1 Property Address 2904 ACUSHNET AVE	1.2 Assessors Map & Parcel Number 130D-247
1.3 Zoning Information MUB Zoning District	1.4 Property Dimensions 10663 Lot Area
Proposed Use	Frontage (ft)

1.5 Building Setbacks (ft)					
Front Yard		Side Yard		Rear Yard	
Required	Provided	Required	Provided	Required	Provided
20.00	37.80	12.00	25.40	30.00	59.60
1.6 Water Supply	False	1.7 Flood Zone Information		1.8 Sewage Disposal False	

SECTION 2: PROPERTY AUTHORIZED AGENT

Agent of Record			
Louis Eyster	6 LOEW CIR	MILTON	MA 02186
Name	Address		

SECTION 3: Description of Proposed Work

Permit For: Foundations Only Comm and Indust. 200.00
Brief Description of Proposed Work: foundation for car wash send two email again to Eng. dept. 12/18/19 12/19/19 spoke w/Lou this morning told him that we are still waiting for the Eng. Dept. to approve the permits. 12/31/18 called left a message that permit will be ready on 1/2/2020. 1/7/20 spoke with Lou this morning he told me that he will pick up the permit on 1/10/20.

SECTION 4: Estimated Construction Costs / Permit Fees

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Proposed Carwash
Cumberland Farms

B. Laragan & Company, 980 Reed Road, Duxbury, MA 02747

TELEPHONE 508-984-1118

Service laid B. Laragan & Company Size and kind of pipe 2" K Copper

From connecting to 16" water main on Acushnet Ave

Turned on Meter Set

Reading Location

Building rates Paid

Cost of Service \$ 55.00 Paid

31-727

DISPLAY PERMIT IN A CONSPICUOUS PLACE ON THE PREMISES



Commonwealth of Massachusetts

City of New Bedford

133 William Street New Bedford, MA 02740

WATER SERVICE PERMIT



Date: 6/24/2020

No. **W-20-9**

Permit Fee: \$565.00

Service Location: WS STONEY BROOK LN

Owner Name: MIH1 LLC

Owner Phone #: (508) 984-1668

Type of Occupancy: Residential

Type of Work: Water - Domestic New 2"

Work Description: water#34085
P.130D
L,447

ES Acushnet Ave 425' S x Phillips Rd

Expires 05.14.21
2" Copper new service
Proposed Car Wash @ New Cumberland Farms

Contractor

Name: J. B. Lanagan Co., Inc. Certificate #: _____ Type of Business: DPI - Other

Address: 21 East River Drive City/Town/State: North Dartmouth MA Phone #: (508) 984-

Type of Service Pipe Size Trench Length: 0.00

Fire Service _____

Domestic Service _____

Estimated consumption of water

Estimated average daily consumption 0.00 gallons

Cross Connection? No

Estimated maximum day consumption 0.00 gallons

Right of Way? No

Are lawn sprinklers and/or lawn irrigation proposed on site? No

Meter Impact? No

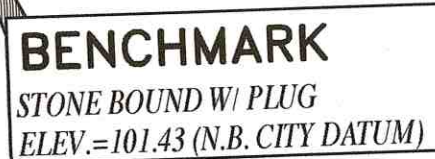
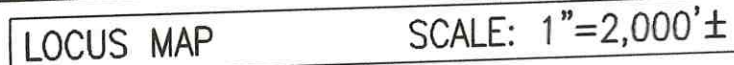
Estimated fire flows required for the project site: 0.00

Street Opening Permit Required? No

Does the project require a fire suppression system? No

Required minimum static pressure for the proposed project site _____

Call Phone: (781) 942-9077 For Inspection

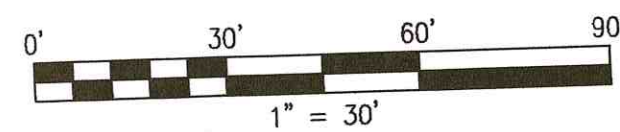
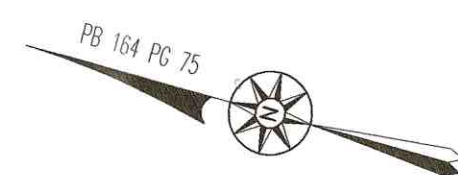




RECORD OWNER:
ASSESSORS MAP 130D LOT 447
CUMBERLAND FARMS INC
165 FLANDERS ROAD
WESTBOROUGH, MA 01581
DEED BOOK 12990 PAGE 157
PLAN BOOK 180 PAGE 21

NOTES:

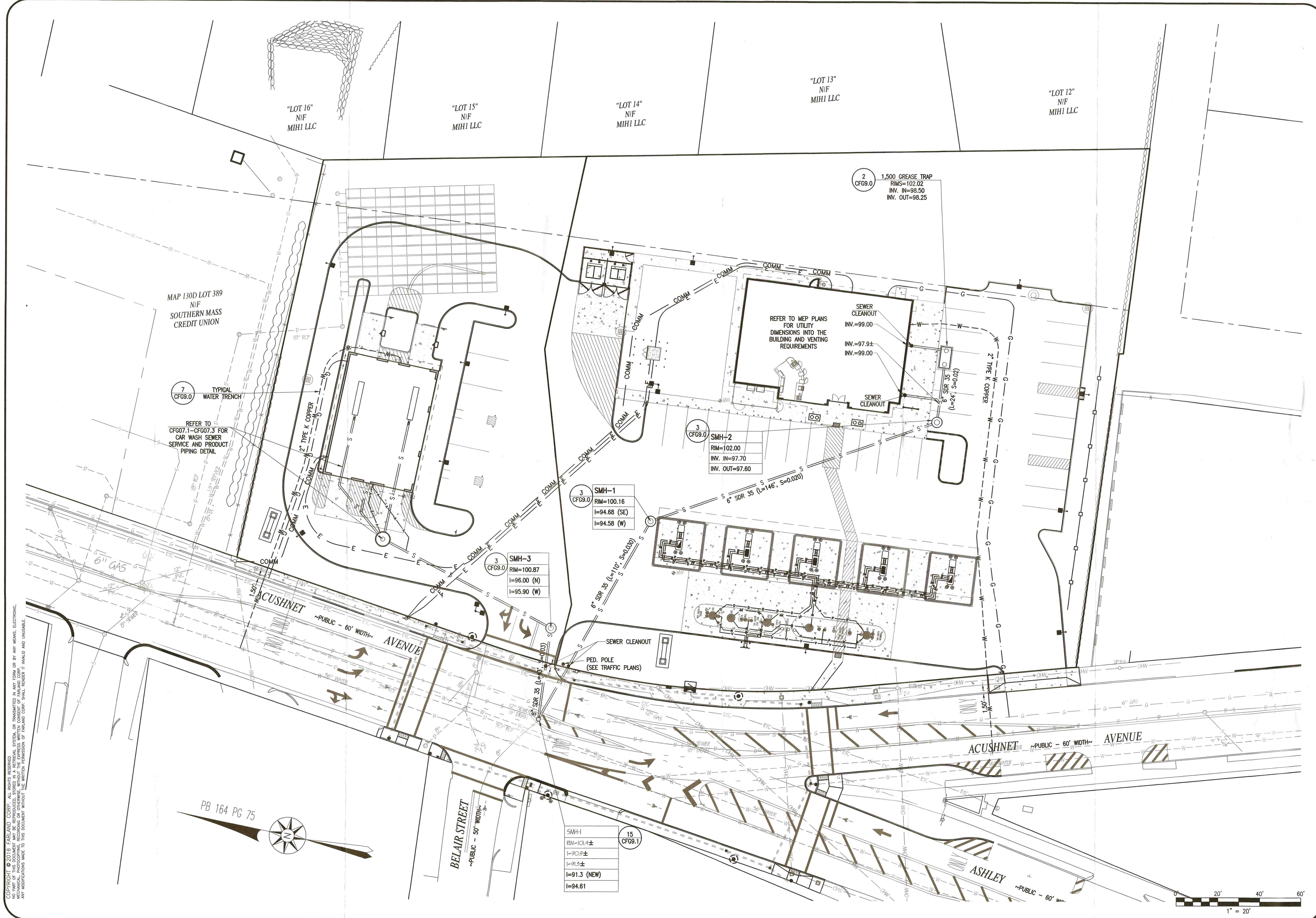
1. FOUNDATION AS-BUILT SURVEY PERFORMED BY FARLAND CORP. IN MARCH OF 2020.
2. VERTICAL ELEVATIONS REFER TO THE CITY OF NEW BEDFORD DATUM.

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REVISIONS <table border="1" style="width: 100%; border-collapse: collapse;"> <tr><td style="width: 50%; height: 20px;"></td><td style="width: 50%; height: 20px;"></td></tr> <tr><td style="height: 20px;"></td><td style="height: 20px;"></td></tr> <tr><td style="height: 20px;"></td><td style="height: 20px;"></td></tr> </table>							
 <i>B. Murphy</i>							
							
www.FarlandCorp.com 401 COUNTY STREET NEW BEDFORD, MA 02740 P.508.717.3479 OFFICES IN: • TAUNTON • MARLBOROUGH • WARWICK, RI							
DRAWN BY: CKG DESIGNED BY: - CHECKED BY: BJM							
<div style="display: flex; justify-content: space-between;"> <div style="width: 45%;"> <p style="font-size: 24pt; margin: 0;">FOUNDATION AS-BUILT</p> <hr style="border: 0.5pt solid black;"/> <p style="font-size: 18pt; margin: 0;">ACUSHNET AVENUE</p> <hr style="border: 0.5pt solid black;"/> <p style="font-size: 24pt; margin: 0;">ASSESSORS MAP130D LOT 447</p> <hr style="border: 0.5pt solid black;"/> <p style="font-size: 24pt; margin: 0;">NEW BEDFORD, MASSACHUSETTS</p> </div> <div style="width: 50%;"> <p style="font-size: 12pt; margin: 0;">SOUTH COAST DEVELOPMENT, LLC - DANIEL COBB</p> <p style="font-size: 12pt; margin: 0;">280 AYER ROAD</p> <p style="font-size: 12pt; margin: 0;">HARVARD, MA 01451</p> </div> </div>							
PREPARED FOR:							
MARCH 30, 2020 SCALE: 1"=30' JOB NO. 20-079 LATEST REVISION:							
SHEET 1 OF 1							

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REVISIONS

1	12/07/18	PER COMMENTS
2	01/25/19	PER DPA COMMENTS
3	4/25/19	PER DPA COMMENTS
4	7/5/19	PER PB DECISION
5	9/27/19	CONSTRUCTION SET
6	11/15/19	CONSTRUCTION SET
7	02/26/20	SEWER SERVICE
8	04/28/20	SEWER SERVICE

FARLAND CORP.

www.FarlandCorp.com

401 COUNTY STREET
NEW BEDFORD, MA 02740
P.508.717.3479

OFFICES IN:

- TAUNTON
- MARLBOROUGH
- WARWICK, RI

DRAWN BY: JKM
DESIGNED BY: CAF
CHECKED BY: CAF

SITE PLAN

2904 & 2914 ACUSHNET AVENUE
ASSESSORS MAP 130D LOTS 117, 247, 248, & 447
NEW BEDFORD, MASSACHUSETTS

PREPARED BY: T.M. COAKLEY & ASSOCIATES
FOR: 14 BREWSTER HILL ROAD, SUITE 101
LINCOLN, RI 02865

NOVEMBER 7, 2018

SCALE: 1"=20'

JOB NO. 17-1134

LATEST REVISION:
APRIL 28, 2020

SITE UTILITY PLAN
CFG07.0