

W-20-5
SERVICE 34077

NEW BEDFORD WATER WORKS
APPLICATION FOR SERVICE AND METER

Sewer # 24873

NEW BEDFORD

04-15-2020

04-15-2021

I HEREBY ACKNOWLEDGE the receipt of a copy of the Regulations prescribed in the Ordinance of the City, for the use of Water, and I request that the water may be furnished through a

1.5 inch Copper meter at 606 Tarkenton Hill Road
plot 126 Lot 202

at such rates as may from time to time be established by the City.

I hereby agree to pay promptly the bill for the Service pipe laid down for my premises, and to pay all dues for water, and I agree to conform to the said Regulations and to all provisions of the Water Ordinances, until written notice is given by me or my agent to cut off the supply.

Extending Service 25452

J. Blaragan 980 Reed Rd Duxbury, MA

* See attached for signature

TELEPHONE

Service laid

By J. Blaragan

Size and kind of pipe

Copper

From

Extending

Service from Tarkenton Hill Road #25452

St.

Turned on

Meter Set

Reading

Location

Building rates

Paid

Cost of Service

\$500.00

Paid

Check # 46346

31-727

w x w line Worcester St	44.5'
E x hydrant	3.6'
S x hydrant	3.5'
N x S Tarkiln Hill Rd	2.0'
E x E line building	19.0'
N x N line building	32.0'

Main is 22ft n x s line--

permit #34077 pulled for permit fee purpo
tapped into existing line in property
& extended to
canabis shop Contractor JB LANAGAN
reference permit # 32960-- 2004

DISPLAY PERMIT IN A CONSPICUOUS PLACE ON THE PREMISES



Commonwealth of Massachusetts

City of New Bedford

133 William Street New Bedford, MA 02740

WATER SERVICE PERMIT



Date: 5/18/2020

No. W-20-5

Permit Fee: \$500.00

Service Location: 606 TARKILN HILL RD

Owner Name: FALCON KARYN "TRUSTEE" C/O

Owner Phone #: (508) 998-3911

Type of Occupancy: Commercial

Type of Work: Water - Domestic New 1"

Work Description: water service#34077
P.126
L.222

606 Tarklin Hill Rd
1" COPPER

extending service from Tarkiln Hill Rd #25452

sewer#24873

Contractor

Name: J. B. Lanagan Co., Inc. Certificate #: _____ Type of Business: DPI - Other

Address: 21 East River Drive City/Town/State: North Dartmouth MA Phone #: (508) 984-

Type of Service Pipe Size Trench Length: 0.00

Fire Service _____

Domestic Service _____

Estimated consumption of water

Estimated average daily consumption 0.00 gallons

Cross Connection? No

Estimated maximum day consumption 0.00 gallons

Right of Way? No

Are lawn sprinklers and/or lawn irrigation proposed on site? No

Meter Impact? No

Estimated fire flows required for the project site: 0.00

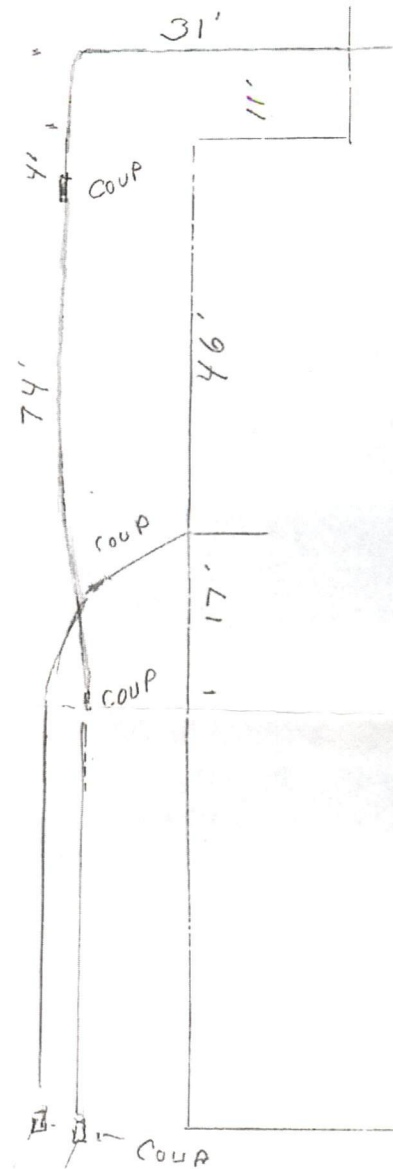
Street Opening Permit Required? No

Does the project require a fire suppression system? No

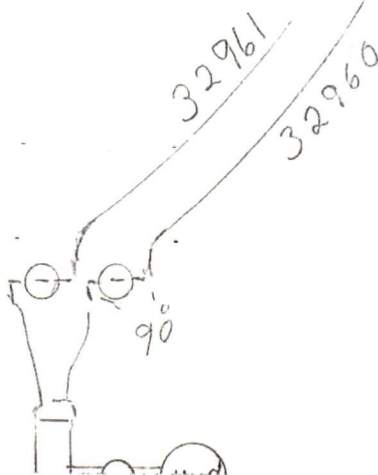
Required minimum static pressure for the proposed project site _____

Call Phone: (781) 942-9077 For Inspection

606 Tarkiln Hill Road



Both c/s
are ON
IN THIS
POSITION



SERVICE 34077

NEW BED
APPLICATION

Not official final
permit. signatures

NEW BED

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Ordinances, until written notice is given by me or my agent to cut off the supply.

Extending Service 25452

Blanton 98 Reed Rd Duxbury, MA 02747

* Ann Church

TELEPHONE

By Blanton

Service laid

Size and kind of pipe copper

From Extending - service from Tarklin Hill Road #25452

St.

Turned on

Meter Set

Reading

Location

Building rates

Paid

Cost of Service

\$500.00

Paid

31-727

46346

J B LANAGAN & COMPANY INC
 980 REED RD. UNIT A
 N DARTMOUTH, MA 02747
 (508) 984-1668

BAY COAST BANK
 53-7223/2113

4/10/2020

PAY TO THE
 ORDER OF City of New Bedford \$ **500.00

Five Hundred and 00/100***** DOLLARS

City of New Bedford
 Dept of Public Infrastructure
 1105 Shawmut Avenue
 New Bedford, MA 02746

MEMO 1212 - Water Permit

AUTHORIZED SIGNATURE

⑈046346⑈ ⑆211372239⑆ 840295233⑈

J B LANAGAN & COMPANY INC 46346

City of New Bedford

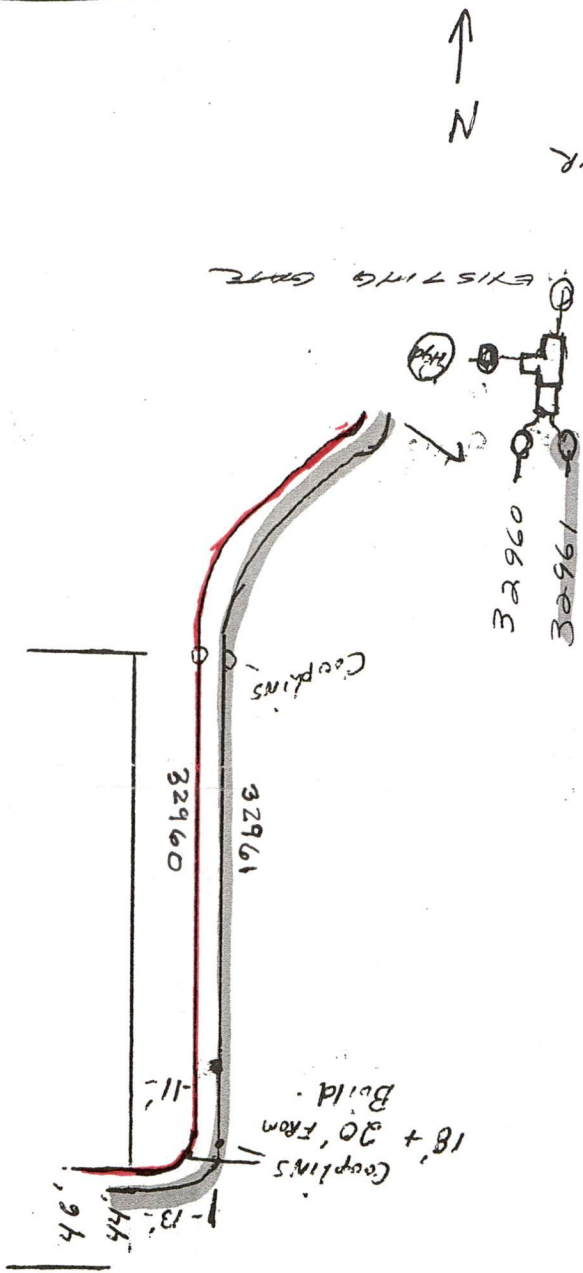
1212 - Water Permit 4/10/2020

500.00

0968E

#9 #11

NX S LINE THW 2'
 EXE line Build 22.3'
 NX N line Build 33'
 W X W line WORCESTER 42.3'
 49.5'
 E X Hyd 1.5'
 3.6'
 S OF Hyd 3.5'
 W X W line {
 New Hyd Gate 44.5'
 New Hyd 46.3'





CITY OF NEW BEDFORD
Jonathan F. Mitchell, Mayor

Department of Public Infrastructure

Jamie Ponte
Commissioner

Water
Wastewater
Highways
Engineering
Cemeteries
Park Maintenance
Forestry
Energy

To Whom It May Concern:

I Michael Panagakos, Panagakos Development, being
(Name) (Mailing Address) 133 Faunce Corner Rd, Dartmouth, MA 02747

Owner of property located at

606 Tarklin Hill Road

Plot 126, Lot _____, hereby agree to allow J.B. Lanagan + Co. Inc.
(Name)

980 Reed Rd - Unit A
(Mailing Address) N. Dartmouth, MA 02747, to act on my behalf including affixing my

signature in securing permit for:

- ☒ Sewer/Drain Service Permits
- ☒ Water Service Permits
- ☒ Driveway Installation Permits
- ☒ Sidewalk Installation Permits

I further agree to conform to, and abide by, All City rules and ask regulations applicable to the permit (s) being applied for:

Name [Signature]
Signature

133 Faunce Corner Rd., Dartmouth, MA 02747
Address

02/00/00
Date

(508) 998-3911
Telephone Number

2 Plans per permit



Commonwealth of Massachusetts
CITY OF NEW BEDFORD

City Hall, Room 308, 133 William Street New Bedford, MA 02740 (508) 979-1540



BUILDING PERMIT

8/22/2019

No. **B-19-1802**

MSBC Sect. 110.14 - Any permit issued shall be deemed abandoned and invalid unless the work authorized by it shall have been commenced within six (6) months after its issuance.

FEE PAID: **\$1,016.00**

This certifies that Christopher Simmons

Contractor Lic. # 95691

ParcelID **126-222**

owner/contractor has permission to: New Constr./Addition Comm and Indust.

on: 606 TARKILN HILL RD

Providing that the person accepting this permit shall in every respect conform to the terms of application therefore on file in this office; to the provisions of the statute of the Commonwealth and to the by-laws of the City of New Bedford relating to the inspection, erection, enlarging, altering, raising, moving, repairing, or tearing down of a building.

Permit is issued subject to the following special requirements: (Restrictions)

CITY DEPARTMENT/COMMISSION COMMENTS

The following department/commission has expressed concern about the issuance of this permit. You are advised to contact that agency and resolve this matter.

Department/Commission: _____

BUILDING DEPARTMENT COMMENTS

: ADDITION TO THE EXISTING BUILDING.

YOUR AREA INSPECTOR IS: Thomas Welch

Tel. (508) 979-1540 Between 8:00am - 9:00am

**NOTICE: NOTIFY INSPECTOR 48 HOURS IN
ADVANCE OF APPLYING SHEATHING OR LATHING**

OCCUPANCY PERMIT REQUIRED BEFORE OCCUPANCY

No Building or Structure shall be used or occupied until the Certificate of Use and Occupancy shall have been issued by the Building Commissioner - MSBC, Sect. 120.1

This Card Must Be Displayed in a Conspicuous Place on the Premises and Not Torn Down or Removed Until Completion of Work

SUBJECT TO MASSACHUSETTS
STATE BUILDING CODE

Building Commissioner

Plan Review Comments: :

: engineers final affidavit is req. upon completion

: NOTE: ADDITION,,, WILL NEED ELECTRICIAN AND ELECTRICAL PERMIT FOR ANY ELECTRICAL WORK ASSOCIATED WITH THIS ADDITION.

: Will require permit for fire alarm system from Fire Prevention/ final test to be conducted prior to occupancy

: May need P & or G permit

: Owner to provide information regarding the inactive service to building.

If this service is to be installed to provide water to the building extension. The service to be cut and removed from the building. A curb stop to be installed at point of connection on existing service line as showed on plan.

The water meter to be installed a point of entry into building.

: ASR-D.P.I. Engrg.

RE: TB-19-1802

606 Tarkiln Hill Rd. (Purported Address)*

60 x 33 Addition to Existing Commercial/Retail Building

Plot 126 Lot 222

Reviewed 8/20/2019

PLEASE NOTE:

It is the responsibility of the applicant and the contractors to be familiar with D.P.I. procedures/ regulations and ascertain that all proposed work which falls under D.P.I. jurisdiction, whether shown on the submitted site plan or not, is identified and executed in accordance with City of New Bedford D.P.I. Construction Standards/Specifications. The Certificate of Occupancy (C.O.) will not be signed for any work performed that is non-compliant and/or if any of the following conditions are not met.

The following conditions are to be met by the applicant (being the owner and/or their representative) as part of this permit approval:

1.) The site plan submitted in View Permit, titled: "Tarkiln Hill Road Commercial Development, Tarkiln Hill Road, New Bedford, MA", dated 2/15/2019 (revised 7/29/2019), as prepared by Sitec, Inc. and stamped/signed by Steven D. Gioiosa, P.E. (Civil), was not approved as the "final" site plan, and thus the above building permit is being "conditionally" approved by D.P.I., as follows:

a. Per recent e-mail communications between the City Engineer (Shawn Syde) and the applicant's representative (Steven D. Gioiosa/Sitec, Inc.), the engineer must revise the above site plan to reflect comments (as outlined in Item b) made by D.P.I. in regards to the above site. Once said site plan has been re-submitted and approved by D.P.I., it must be placed on file with Inspectional Services in the View Permit system. No D.P.I. permits will be issued, nor any inspections performed, for any of the proposed work (nor for any other work relative to) until this item has been completed.

b. The applicant must comply with all the following conditions, as stipulated by Shawn Syde, in the e-mail he sent on 8/19/2019 to Steven D. Gioiosa/Sitec, Inc., verbatim:

1. Compliance with City of New Bedford Stormwater Regulations – Please send me a letter requesting permission to maintain the connection to the City's stormwater drainage system. I will grant this waiver. Please site your reasons why as you noted in your letter. Send the letter to me. I will respond back with a letter and it will be noted in our files.
2. Easement Area – it's my understanding that there is a small area of this parcel that will be deeded to Map 126 Lot 70. Will there be some sort of maintenance access easement with this – if so reference it on the plan? Also, the lot lines don't appear to match the latest ANR plan that was recorded.
3. General Design – there appears to be information left on the design plan (notes, proposed conditions, etc.) from the original building that was constructed. These need to be removed to only show proposed work under this site. An example is the proposed curing work at Tarkiln Hill.

4. Slope of 6-in service – it is recommended that you try to get the slope = 0.02 on a 6-in service. They are currently less than that. I am not sure what the elevation of the existing sewer is and if, based on the slope, you can still meet your finished floor elevation.
5. For the connection to the existing 12-in sewer, please make sure you use a new wye branch, or tapping saddle or insert a tee.
6. You have a note referencing City of New Bedford standards (Note 7). The typical trench detail doesn't reference CLSM for backfill in the City Right of Way. Please make sure this gets completed.

c. There is a discrepancy between what is being shown on the site plan as far as the locations of the existing services and the records on file at D.P.I. As a result, there may also be a conflict with the proposed location of the sewer service for the new building and the existing water services. The engineer must contact D.P.I. to obtain the record information on file for the existing utilities/services and revise the plan accordingly. Existing curb stops and clean outs must be located and shown on the plan. If there is no curb stop on the 1-1/2" line that is to service the new building, one will have to be installed, and the location of the proposed curb stop shown on the plan, along with the pertinent detail. Existing water service connections that exist along the frontage of this property but are not currently being utilized must also be shown on the plan, as it is required that these water services be properly abandoned in accordance with D.P.I. requirements.

d. The applicant is responsible for providing a copy of the recorded document to D.P.I. as proof that there is an existing easement which they have the right to utilize before they are issued any permits to do any work within the parcel that abuts the property to the east. At the time of applying for the sewer/drain permit, a copy of the recorded easement, in addition to the other copies requested in Item 3 below, must be provided. A copy of said recorded easement will also be required in order to attach to the water records on file in this office, being that a portion of the two existing water services are located within this area.

2.) D.P.I. permits will not be issued if the required plan revisions have not been submitted to D.P.I. and placed in View Permit.

3.) Must provide a total of two stamped/signed copies of the "final" site plan approved by D.P.I. for each type of permit (i.e. water, fire supply, sewer/drain and sidewalk/driveway permits) being applied for. In addition, a copy of the building permit and of the foundation as-built (if Inspectional Services, at their discretion, issued the building permit without utility permits from D.P.I.) must also be submitted.

Please Note: Any representative pulling permits on behalf of the owner must provide D.P.I. with a permission slip. If the property was acquired within the past 3 months, then a copy of the recorded deed showing property ownership must also be provided.

4.) * Must contact Engineering to request a new address number for the main door of this new structure. The C.O. will not be signed unless the legal address assigned by the City is permanently affixed to, above, or next to, the main door entrance to which it was assigned such that it is highly visible from the street. Being that the main entrance door of this building will be located far from the right-of-way, a secondary address marker will be required to be placed on the private property, close to the street.

5.) Submit a stamped final site as-built to D.P.I. showing the location of building/structure and all utilities (i.e. sewer, storm drain, water, etc.) installed as part of this project for City records.

Please be advised that any and all future modifications to the site plan that was reviewed/approved for the above project and placed on file at D.P.I. as the "final" site plan must be resubmitted for review/approval if said changes entail work that falls under the jurisdiction of D.P.I.

: ASR-D.P.I. Engrg.

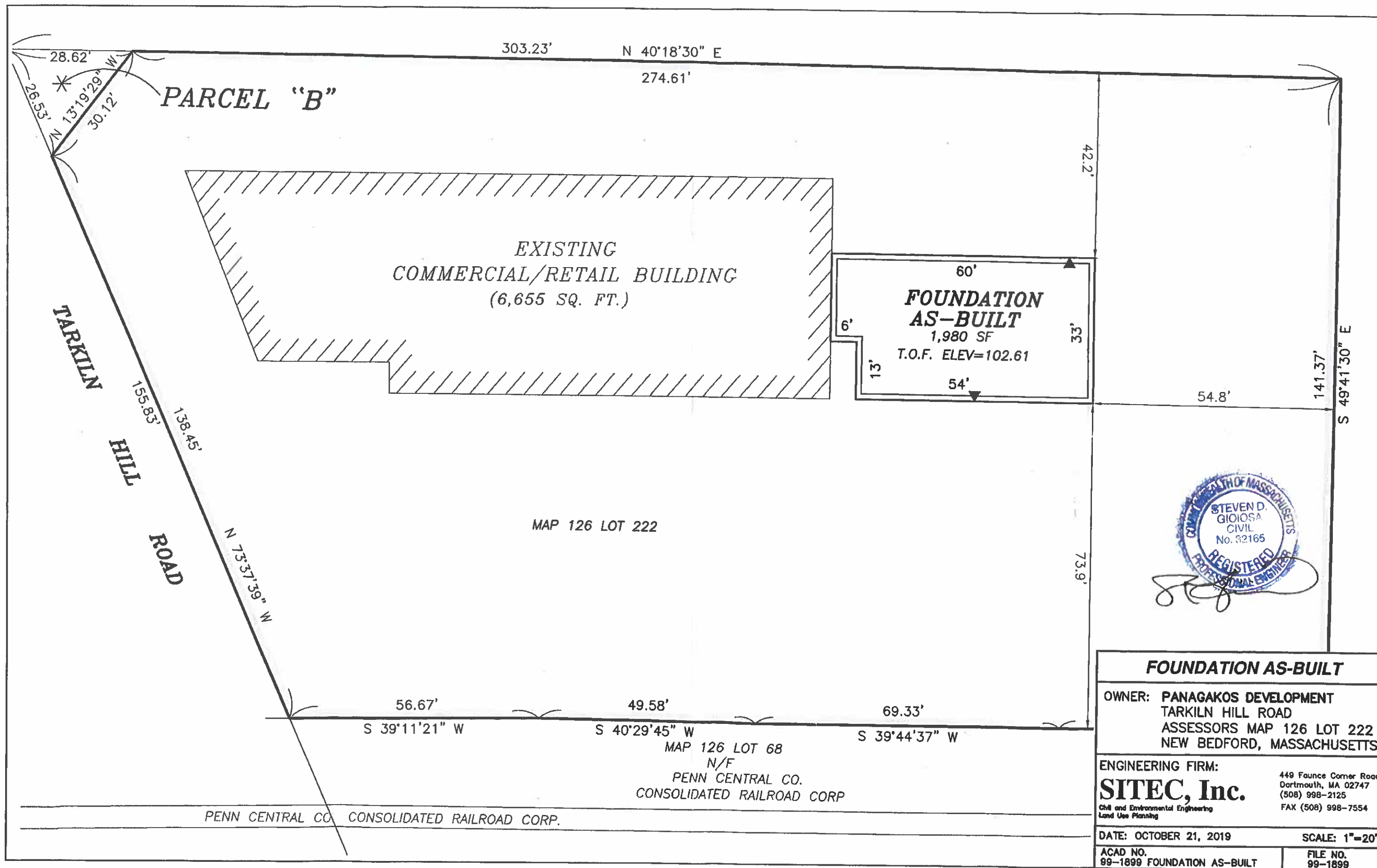
RE: TB-19-1802
606 Tarkiln Hill Rd. (Purported Address)
60 x 33 Addition to Existing Commercial/Retail Building
Plot 126 Lot 222
Reviewed 7/25/2019

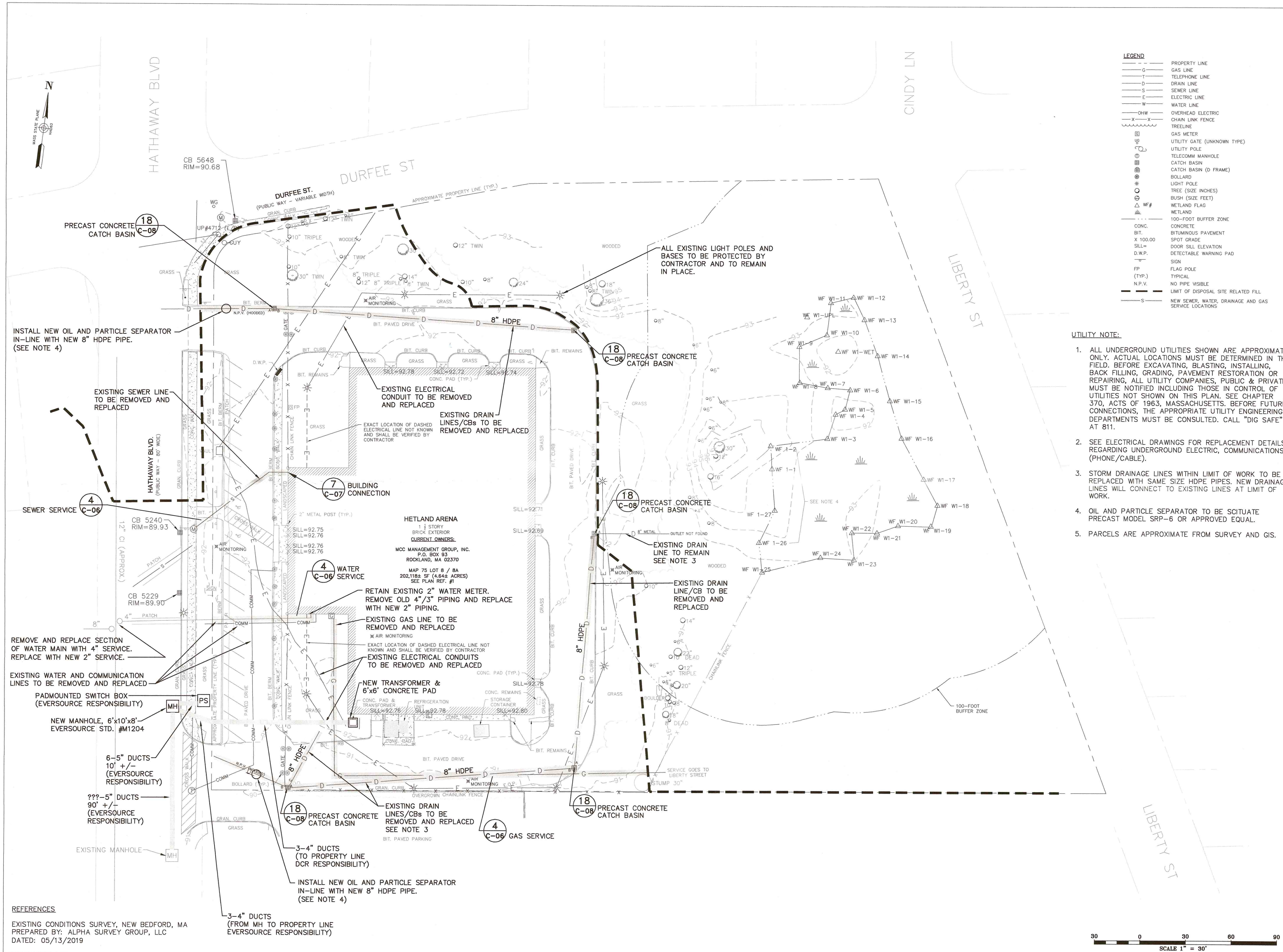
Will require Site Plan Review and Special Permit for marijuana, per comments from Planning Dept. in e-mail to D.P.I. Engineering on 7/24/2019. D.P.I. will review site plan at that time. Site plan must show all existing conditions and proposed work, to include roof water recharge/drainage for the addition.

: ASR-D.P.I. Engrg.

RE: TB-19-1802
606 Tarkiln Hill Rd. (Purported Address)
60 x 33 Addition to Existing Commercial/Retail Building
Plot 126 Lot 222
Reviewed 7/26/2019

Per the Deputy Commissioner, Manuel Silva, the owner (or his representative) must contact their engineer and make them aware that they need to call D.P.I. in order to address issues regarding the site utilities and required revisions to the site plan submitted.





PROJECT

DCR HETLAND ICE RINK

310 Hathaway Boulevard
New Bedford, MA

CLIENT

Massachusetts Department of
Conservation and Recreation

251 Causeway Street
Boston, MA 02114

CONSULTANT

AECOM
250 Apollo Drive
Chelmsford, MA 01824
978.905.2100 tel 978.905.2101 fax
www.aecom.com

REGISTRATION

ISSUE/REVISION

	02/2022	
I/R	DATE	DESCRIPTION

KEY PLAN

PROJECT NUMBER

60594392

SHEET TITLE

UTILITY REPLACEMENT PLAN

SHEET NUMBER

C-04



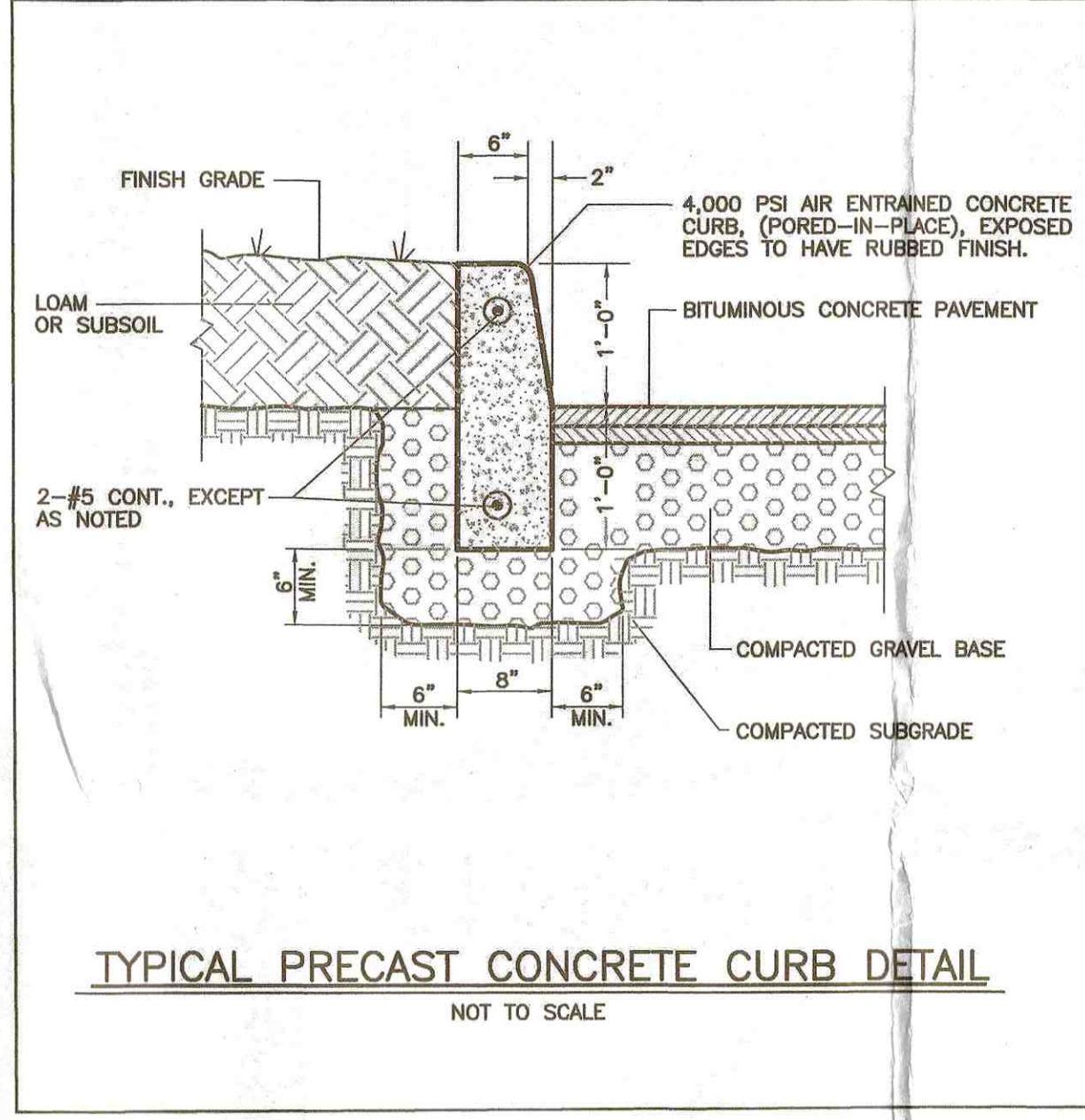
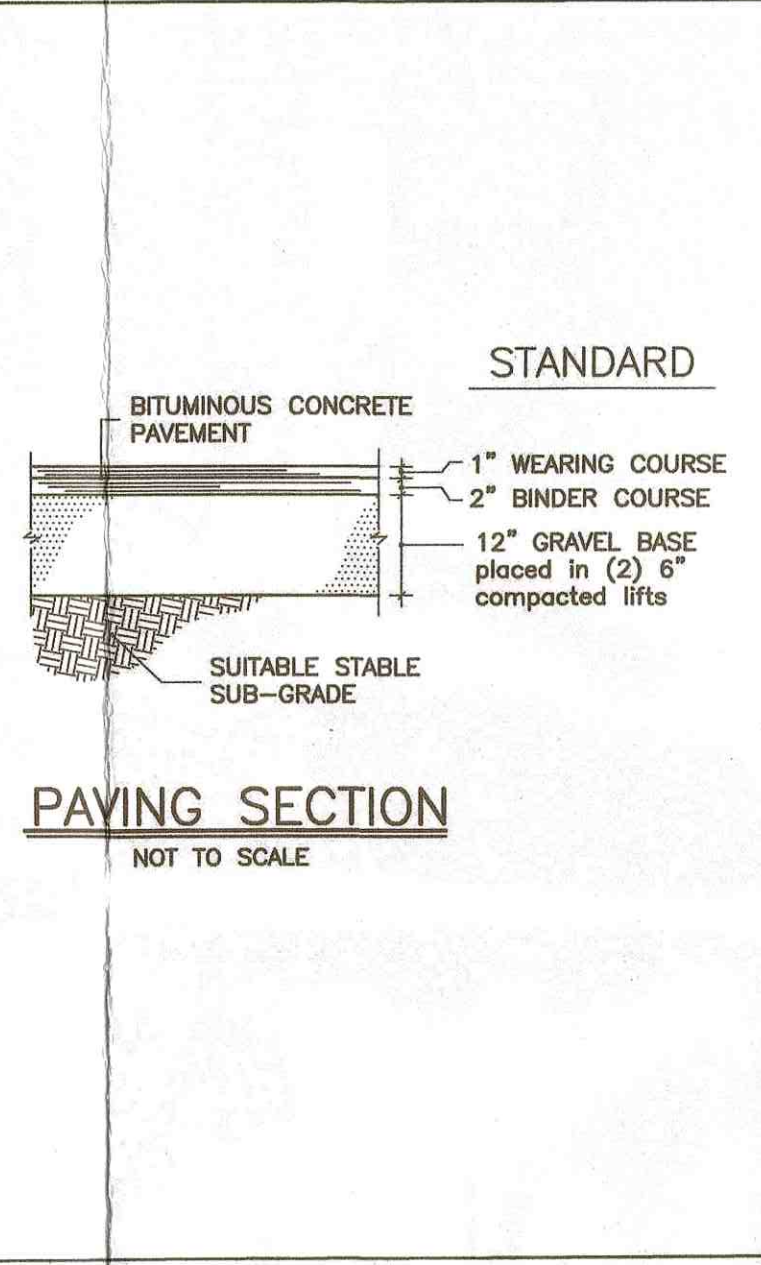
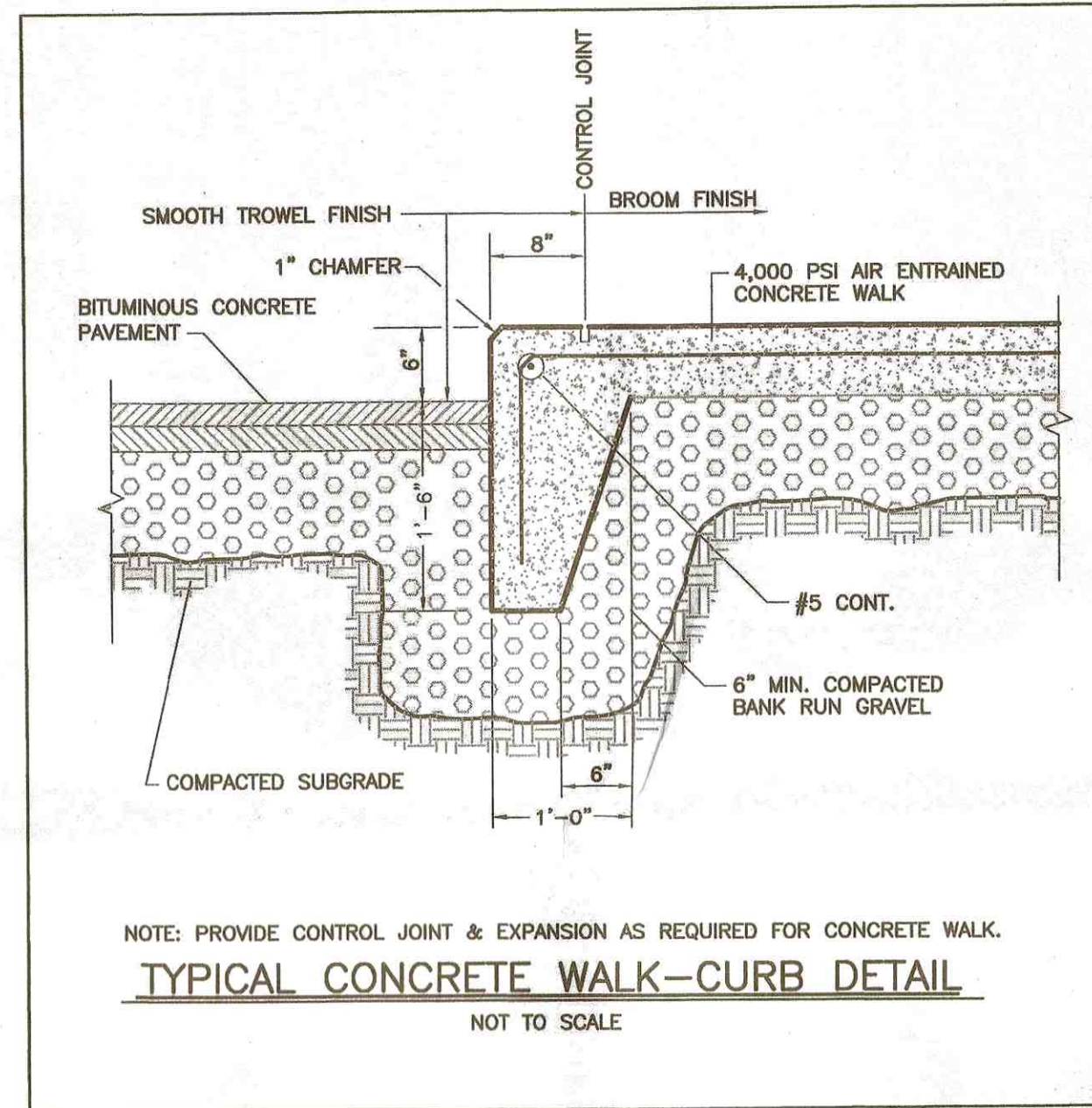
LOCUS MAP

SCALE: 1"=1,000'±

GENERAL NOTES:

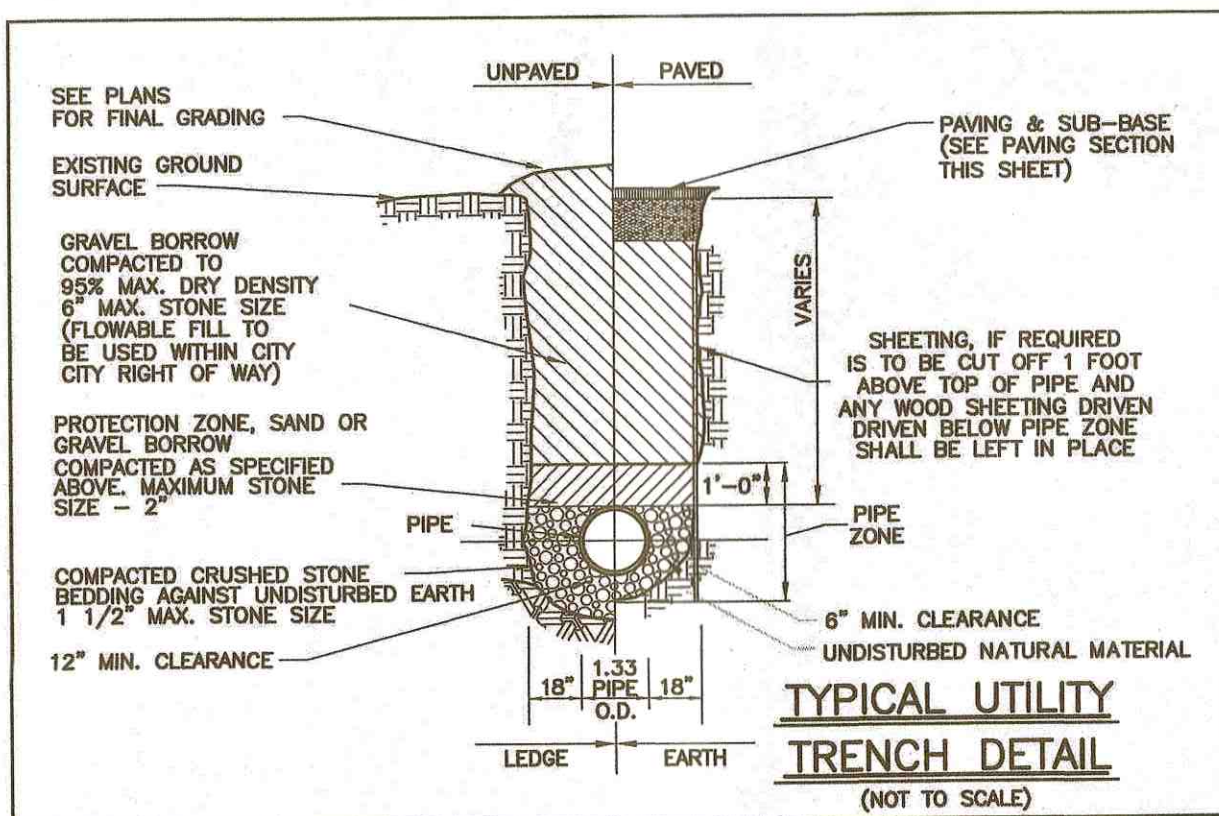
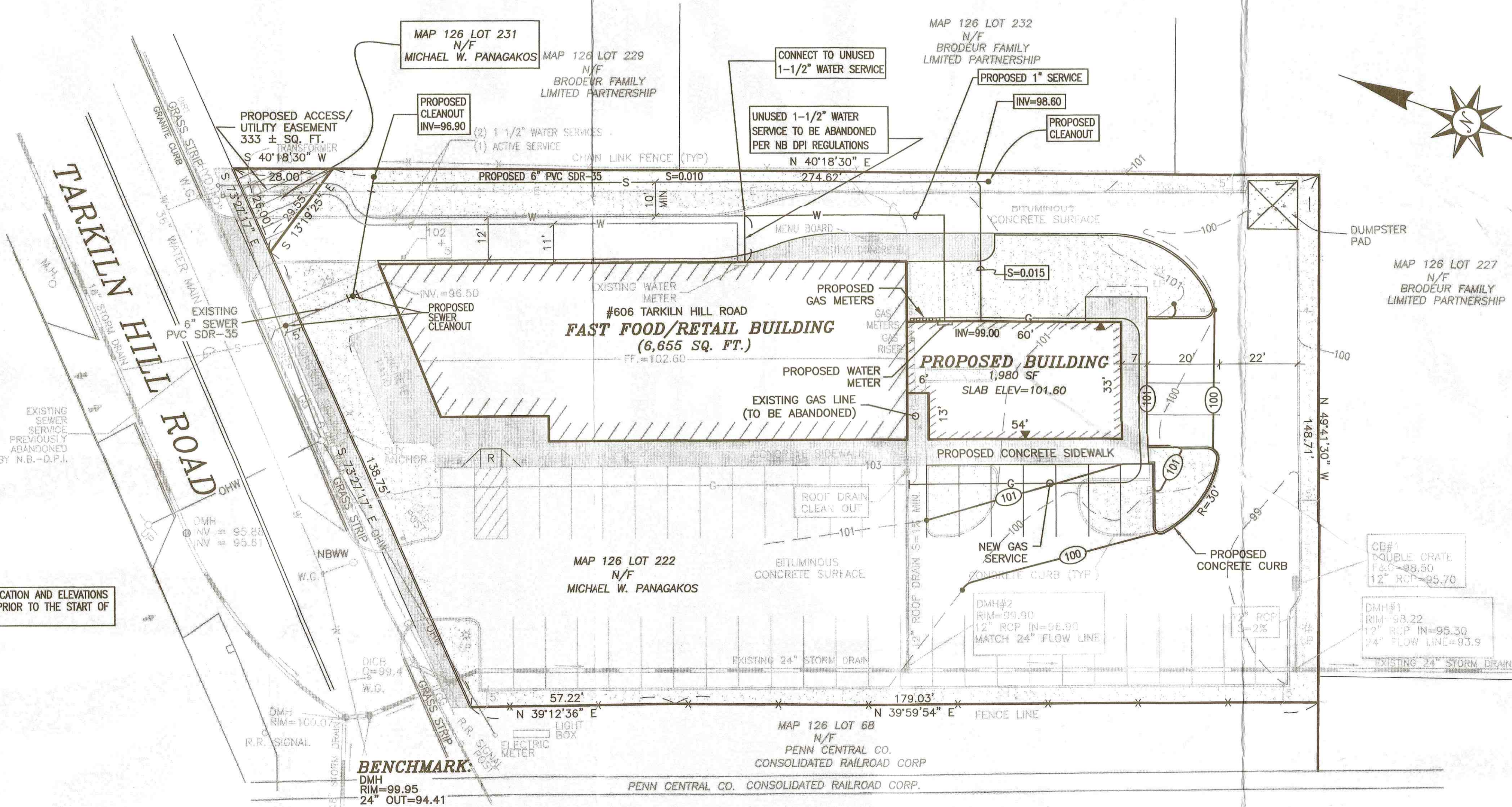
- CONTRACTOR SHALL NOTIFY DIG SAFE AT LEAST 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
- CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF ALL UTILITIES PRIOR TO THE START OF CONSTRUCTION. THESE PLANS ARE BASED ON FIELD AND RECORD INFORMATION AND, THEREFORE, MAY NOT COMPLETELY DEPICT ALL EXISTING UTILITIES.
- CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER IMMEDIATELY IF FIELD CONDITIONS ARE FOUND TO DIFFER WITH THESE DRAWINGS.
- THE CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION OF THE ADJUTING AREA AND UTILITIES IN THE CONSTRUCTION OF THIS SITE. REPAIR OF DAMAGED PROPERTY SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AT NO COST TO THE OWNER.
- THE SITE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETING ALL CONSTRUCTION.
- ALL WORK SHALL BE IN ACCORDANCE WITH THE DEPARTMENT OF PUBLIC INFRASTRUCTURE (DPI) CONSTRUCTION STANDARDS.
- ALL CONSTRUCTION SHALL COMPLY WITH THE CITY OF NEW BEDFORD DPI STANDARDS.
- WITHIN 30 DAYS FOLLOWING COMPLETION OF SEWER AND STORM DRAIN CONSTRUCTION, THE DEPARTMENT OF PUBLIC INFRASTRUCTURE SHALL BE GIVEN TWO (2) COPIES OF AS-BUILT DRAWINGS, SO MARKED AND SIGNED AND STAMPED BY A MASSACHUSETTS PROFESSIONAL ENGINEER.
- ALL WATER LINE MATERIAL USED MUST BE SAME AS USED BY NEW BEDFORD WATER DEPARTMENT - CITY SPECIFICATIONS.
- ALL WATER WORK MUST BE DONE UNDER THE SUPERVISION OF WATER DEPT.
- NEW BEDFORD DPI REQUIRES 24 HOUR NOTICE TO SCHEDULE INSPECTIONS.
- WATER DEPT. IS TO BE NOTIFIED 48 HOURS BEFORE ANY WORK IS TO BE STARTED.
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- THE OWNER/APPLICANT SHALL PROVIDE PROOF THAT AN EASEMENT PLAN HAS BEEN RECORDED AT THE REGISTRY OF DEEDS ESTABLISHING AN "ACCESS/UTILITY EASEMENT" FOR THE BENEFIT OF PLAT 126 LOT 222 OVER THE ENTIRETY OF LOT 231 (AS SHOWN) PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY BY NEW BEDFORD DPI FOR THE BUILDING ADDITION AS SHOWN AT 606 TARKILN HILL ROAD. ALL DPI PERMITS ISSUED WILL BE CONTINGENT UPON THE CONDITION THAT SAID EASEMENT PLAN IS TO BE RECORDED BY THE OWNER/APPLICANT PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.

CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATIONS OF THE EXISTING SEWER SERVICE PRIOR TO THE START OF CONSTRUCTION.



LEGEND

- PROPERTY LINE
- LP * LIGHT POLE
- THURST BLOCK
- W.S. WATER SERVICE SHUT OFF
- W.G. WATER GATE
- HYD. HYDRANT
- S.P. SIGN POST
- C.B. CATCH BASIN
- M.H. MANHOLE
- OHW OVERHEAD WIRE
- W. WATER LINE
- G. GAS LINE
- E UNDERGROUND ELECTRIC
- UP UTILITY POLE
- MW MONITORING WELL
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED SPOT GRADE ELEVATION
- FF. FINISHED FLOOR ELEVATION



SITEC, Inc.
Civil & Environmental Engineering
Land Use Planning

Acad. No. NB 99-1899 GU SEP 26 2019.dwg
File No. 99-1899

Project: TARKILN HILL ROAD COMMERCIAL DEVELOPMENT
TARKILN HILL ROAD
NEW BEDFORD, MA

Client: **PANAGAKOS DEVELOPMENT**

Drawing Title: **GRADING & UTILITIES**

Scale: 1"=20'

Date: FEBRUARY 15, 2019

Drawn: DHA
Reviewed: DHA
Approved: SDG

Sheet 2 of 2
Drawing number: GU-1

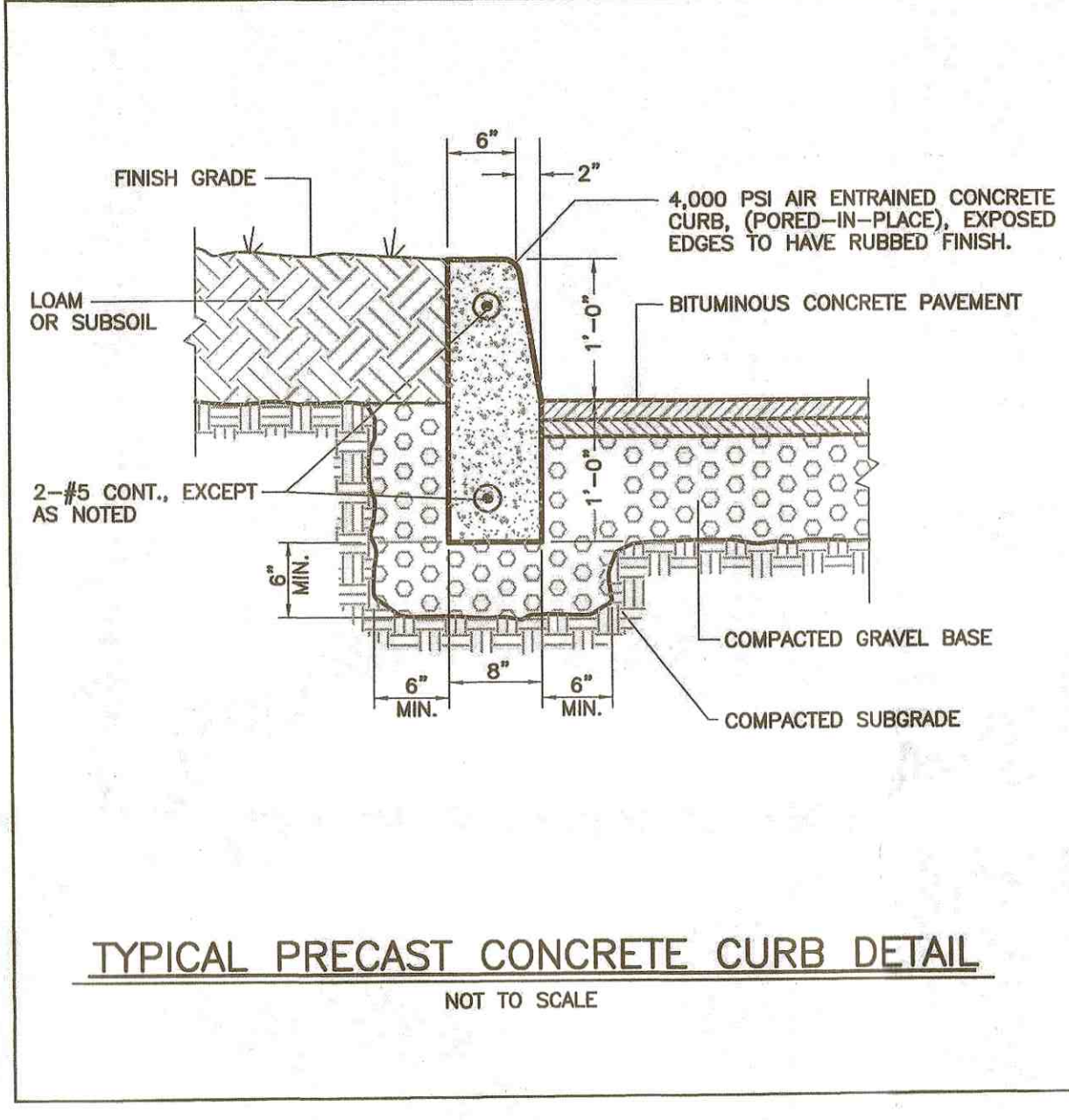
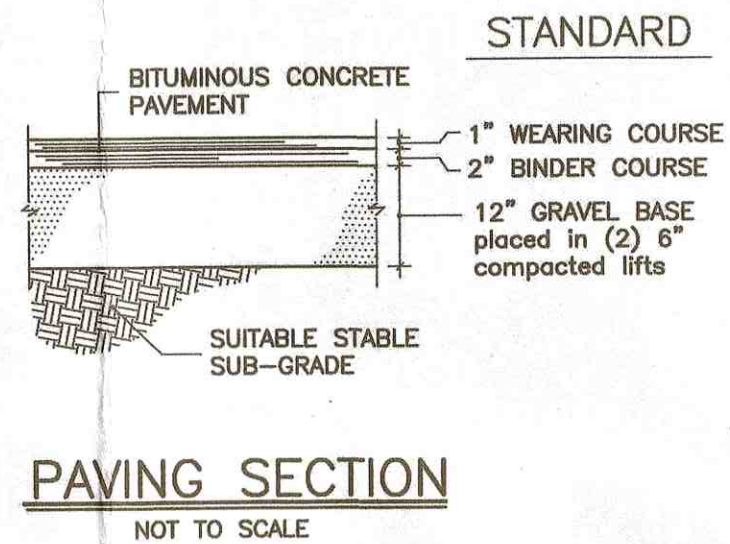
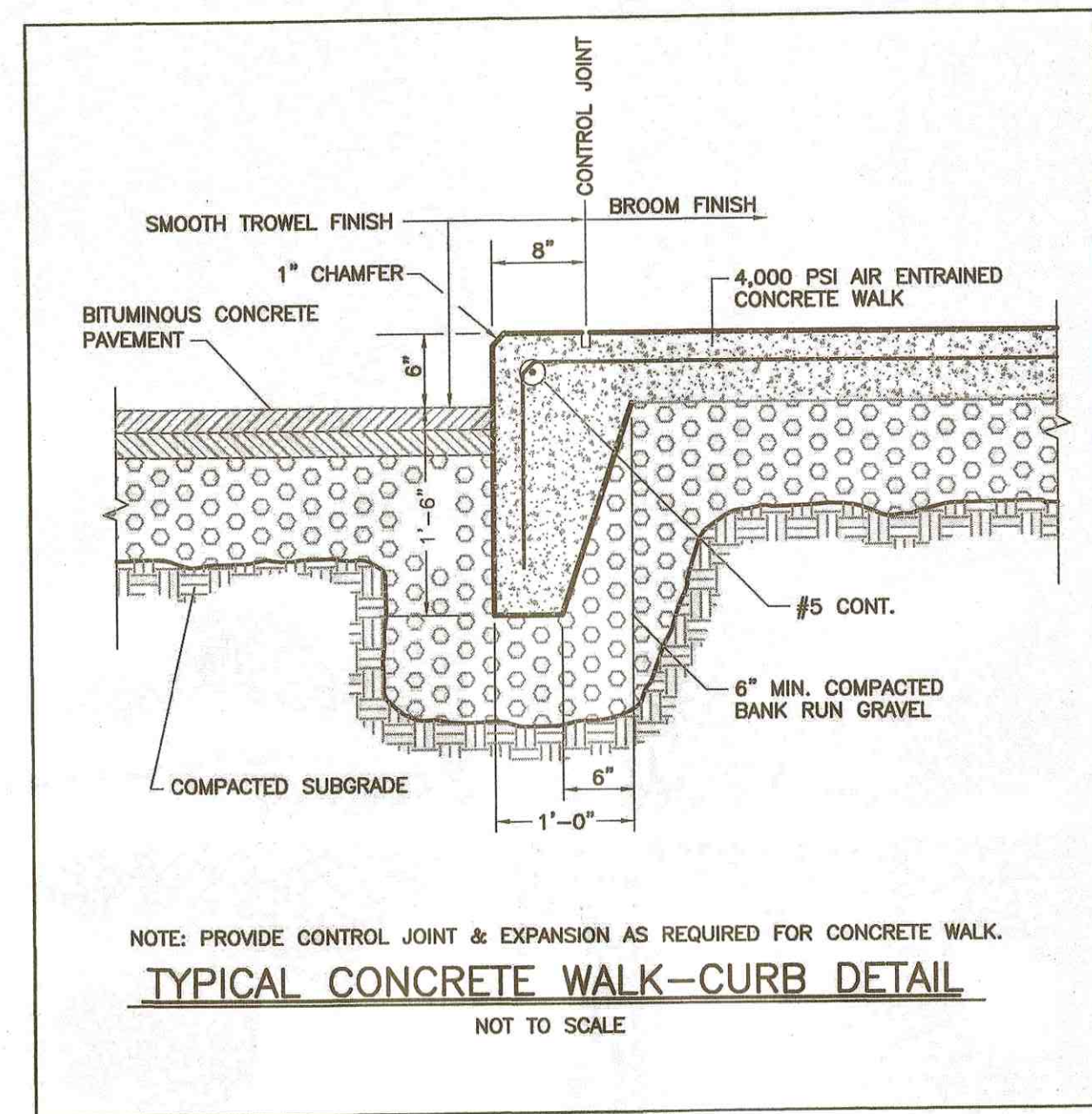
No.	Date	Revision Description	Checked by	Approved by
8	APRIL 3, 2020	REVISE PER NB-DPI COMMENTS	SDG	SDG
7	MAR. 20, 2020	REVISE PER NB-DPI COMMENTS	SDG	SDG
6	MAR. 19, 2020	REVISE SEWER CONNECTION	SDG	SDG
5	MAR. 13, 2020	REVISE SEWER CONNECTION	SDG	SDG
4	FEB. 27, 2020	REVISE PER NB-DPI COMMENTS	SDG	SDG
3	FEB. 27, 2020	REVISE PER NB-DPI COMMENTS	SDG	SDG
2	JULY 28, 2019	REVISE PER NB-DPI COMMENTS	SDG	SDG
1	MAY 31, 2019	MODIFY LAYOUT	SDG	SDG



LOCUS MAP
SCALE: 1"=1,000'±

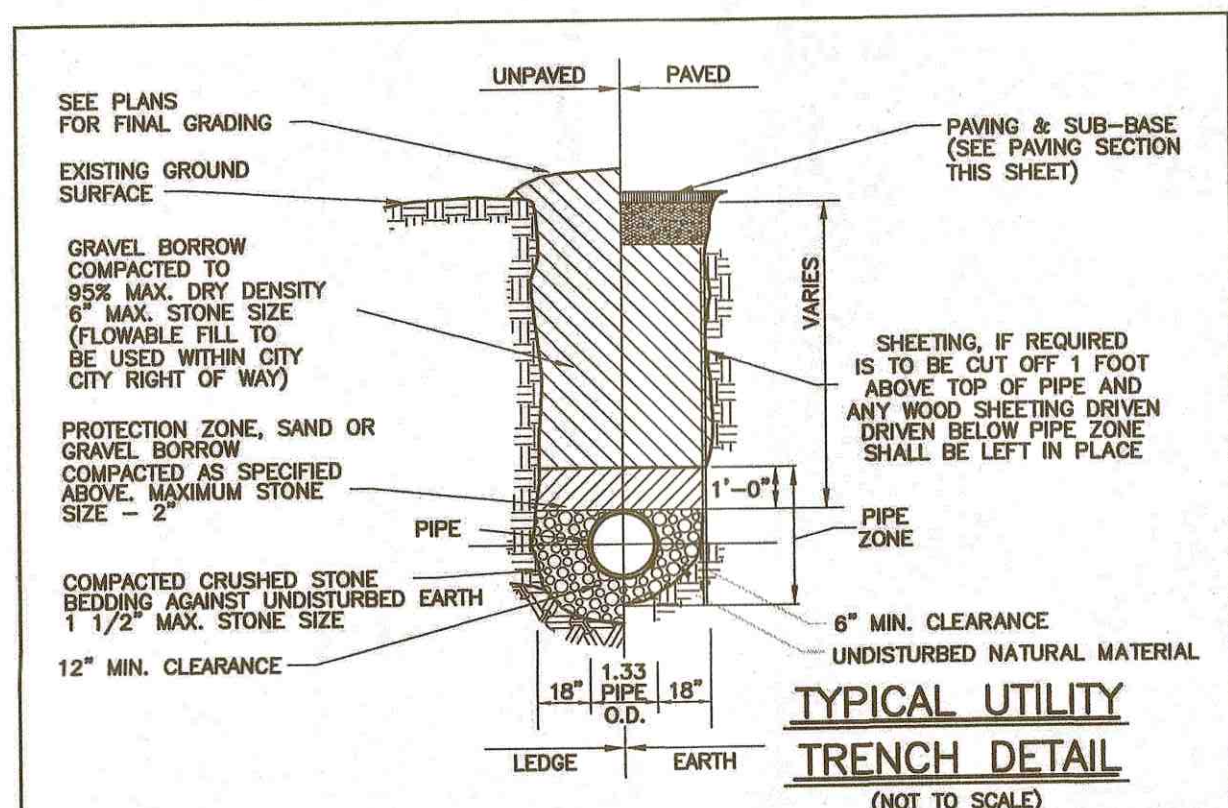
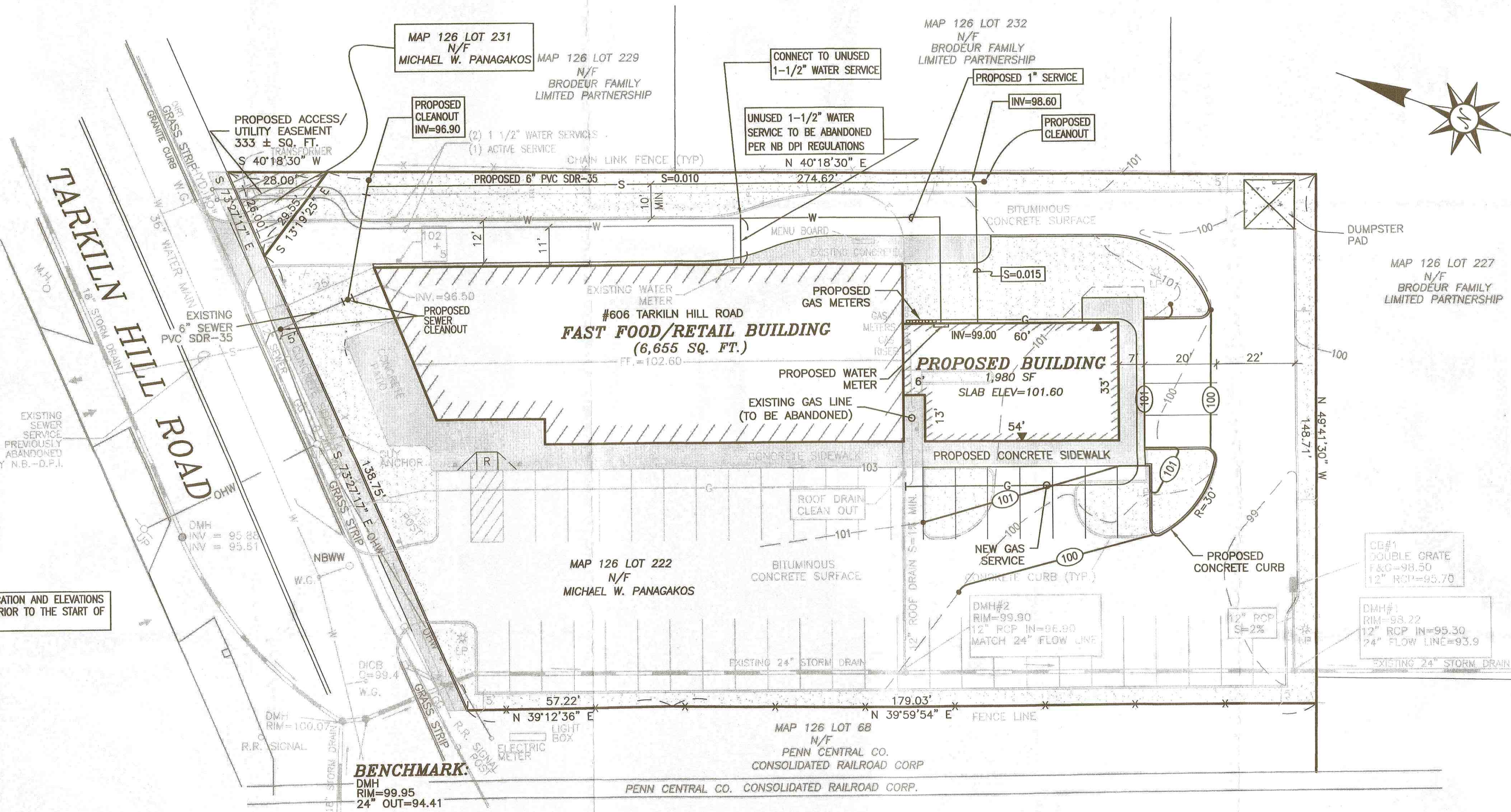
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CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATIONS OF THE EXISTING SEWER SERVICE PRIOR TO THE START OF CONSTRUCTION.



LEGEND

LP	PROPERTY LINE
*	LIGHT POLE
+	THRUST BLOCK
W.S.	WATER SERVICE SHUT OFF
W.G.	WATER GATE
HYD.	FIRE HYDRANT
S.P.	SIGN POST
C.B.	CATCH BASIN
M.H.	MANHOLE
OHW	OVERHEAD WIRE
W	WATER LINE
G	GAS LINE
E	UNDERGROUND ELECTRIC
UP	UTILITY POLE
MW	MONITORING WELL
	EXISTING CONTOUR
	PROPOSED CONTOUR
102	PROPOSED SPOT GRADE ELEVATION
FF=101.5	FINISHED FLOOR ELEVATION



Revision	Description	Date	By	App'd. By
8	APRIL 3, 2020 REVISE PER NB-DPI COMMENTS			SDG
7	MAR. 20, 2020 REVISE PER NB-DPI COMMENTS			SDG
6	MAR. 19, 2020 REVISE SEWER CONNECTION			SDG
5	MAR. 13, 2020 REVISE PER NB-DPI COMMENTS			SDG
4	FEB. 21, 2020 REVISE PER NB-DPI COMMENTS			SDG
3	FEB. 21, 2020 REVISE PER NB-DPI COMMENTS			SDG
2	JULY 28, 2019 REVISE PER NB-DPI COMMENTS			SDG
1	MAY 31, 2019 MODIFY LAYOUT			SDG

project: TARKILN HILL ROAD COMMERCIAL DEVELOPMENT
 client: TARKILN HILL ROAD NEW BEDFORD, MA
 engineer: **PANAGAKOS DEVELOPMENT**
 drawing title: **GRADING & UTILITIES**

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