

SERVICE 34055

NEW BEDFORD WATER WORKS

APPLICATION FOR SERVICE AND METER

NEW BEDFORD

expires: 9-20-20

9-20-19

I HEREBY ACKNOWLEDGE the receipt of a copy of the Regulations prescribed in the Ordinance of the City, for the use of Water, and I request that the water may be furnished through a

3/4" inch copper meter at Kenney St (SS) 99' W

X Highland St

at such rates as may from time to time be established by the City.

I hereby agree to pay promptly the bill for the Service pipe laid down for my premises, and to pay all dues for water, and I agree to conform to the said Regulations and to all provisions of the Water Ordinances, until written notice is given by me or my agent to cut off the supply.

P. 83

L. 218, 264 + 265

TELEPHONE 808-961-7552

Ronald Sylvia

1 Linden Lane

Dartmouth MA 02748

Service laid

Sewer # 24839

Size and kind of pipe

From

Turned on

Reading

Building rates

Cost of Service

31-727

Chk # 651

Could not find
Plot or lot /

or description on
Vieux Permet -

6/3/2000 Fine dropped off $\frac{3}{4}$ couplings



Commonwealth of Massachusetts

CITY OF NEW BEDFORD

City Hall, Room 308, 133 William Street New Bedford, MA 02740 (508) 979-1540



FOUNDATION PERMIT

8/30/2019

No. **B-19-1821**

MSBC Sect. 111.8 - Any permit issued shall be deemed abandoned and invalid unless the work authorized by it shall have been commenced within six (6) months after its issuance.

FEE PAID **\$100.00**

This certifies that **Antonio Da Silva**

owner/contractor has permission to:

WS KENNEY ST

on: **Foundations Only 1-2 Family - 100.00**

Providing that the person accepting this permit shall in every respect conform to the terms of application therefore on file in this office; to the provisions of the statute of the Commonwealth and to the by-laws of the City of New Bedford relating to the inspection, erection, enlarging, altering, raising, moving, repairing, or tearing down of a building.

Permit is issued subject to the following special requirements: (Restrictions)



Wiring Inspector



Plumbing Inspector



Building Inspector

YOUR AREA INSPECTOR IS: **Robert Carreiro**

Tel. (508) 979-1540 Between 8:00am - 9:00am

NOTICE: NOTIFY INSPECTOR 48 HOURS IN ADVANCE OF APPLYING SHEATHING OR LATHING

OCCUPANCY PERMIT REQUIRED BEFORE OCCUPANCY

No Building or Structure shall be used or occupied until the Certificate of Use and Occupancy shall have been issued by the Building Commissioner - MSBC, Sect. 120.1

This Card Must Be Displayed in a Conspicuous Place on the Premises and Not Torn Down or Removed Until Completion of Work

SUBJECT TO MASSACHUSETTS
STATE BUILDING CODE

Danny D. Romanowicz

Building Inspector

Plan Review Comments:

: Construct a Foundation

: Construct a foundation as per plans submitted .

: NOTE: FOUNDATION,,, WILL NEED ELECTRICIAN AND ELECTRICAL PERMIT ATTACHED TO THIS FOUNDATION WORK AS WELL AS INSTALLING UFER GROUND TO THE REBAR AND LEAVING WHIP FROM THE REBAR TO BE INCORPORATED WITH THE GROUND SYSTEM OF THE STRUCTURE.

: will need P & or G permits

- : 1. Sewer service to be 10 ft away from water service.
2. Water curb stop (shut -off) to be 1.5ft from face of curb/pavement.
3. Install water meter at point of entry to building
4. Owner to apply for water and sewer permits.

: No site plan to review.

Must show existing conditions and proposed utility work.

: ASR-D.P.I. Engrg.

RE: TB-19-1821

Kenney St. (S.S.) 99' W. x Highland St.

Plot 83 Lots 218, 265 & 264*

Reviewed 7/26/2019

The plan submitted via view permit for the above location is a plot plan, and does not provide sufficient information to conduct a proper review of the site. A site plan must be submitted for review and all proposed work must meet D.P.I. requirements and construction specifications/standards.

The following is a quick checklist of the elements that need to be incorporated into all site plans submitted for review by D.P.I.:

1. Please check that all existing site conditions are shown (i.e. utilities, mains/service connections, shut offs, clean outs, septic system (if any), driveways/sidewalks, curb/berm or edge of pavement, buildings, grading, etc.) and properly labeled.
2. Clearly depict and properly label all proposed work (i.e. new structure(s), water/sewer/storm drain mains/service connections or septic system, driveway(s)-new/closure/widening, storm recharge system for roof runoff (to include calculations), details and grading, etc.).
3. Check that the proposed building footprint on the site plan and the architectural drawing are the same since D.P.I. only approves the building footprint as shown on the site plan.
4. Check that the site plan being submitted has been stamped/signed by the proper professional(s) responsible for the site development and design (i.e. Professional Engineer and/or Land Surveyor, depending on the case).

The design engineer and/or land surveyor should contact Engineering in regards to specific comments regarding the plan submitted in View Permit, and/or with any questions regarding D.P.I. requirements that need to be met and the construction specifications and standards that are to be implemented.

Note:

*The plan submitted in View Permit denotes the property as a 9,341 S.F. parcel labeled Lot 265-B. However, this property is made up of 3 lots, and all existing property lines, along with the correct Assessor's Parcel I.D.'s, should be shown. In addition, Lots 264 & 265 are recorded land, and Parcel 218 is registered land, therefore, the placement of the new dwelling will result in a structure that straddles across three independent lots, unless there is a recorded plan showing that these 3 lots were actually combined into one. In which case, a copy of said plan must be submitted to Engineering in order to assign a new lot number. The C.O. will not be signed until this issue has been addressed and resolved as required by Inspectional Services and Engineering (Department of Public Infrastructure.).

: ASR-D.P.I. Engrg.

RE: TB-19-1821

Kenney St. (S.S.) 99' W. x Highland St.

Plot 83 Lots 218, 265 & 264*

Reviewed 8/29/2019

PLEASE NOTE:

It is the responsibility of the applicant and the contractors to be familiar with D.P.I. procedures/regulations and ascertain that all proposed work which falls under D.P.I. jurisdiction, whether shown on the submitted site plan or not, is identified and executed in accordance with City of New Bedford D.P.I. Construction Standards/Specifications. The Certificate of Occupancy (C.O.) will not be signed for any work performed that is non-compliant and/or if any of the following conditions are not met.

The following conditions are to be met by the applicant (being the owner and/or their representative) as part of this permit approval:

1.) The site plan submitted to D.P.I., titled: "Building Permit Plan, Ronald W.P. Sylvia, Assessors Map 83 Lot 264, 265, 218, Kenney Street, New Bedford, MA", dated 8/20/2019), as prepared by S&K Engineering, LLC and stamped/signed by Kevin J. Silva, P.E. (Civil), was not approved as the "final" site plan, and thus the above foundation permit is being "conditionally" approved by D.P.I., pending the following revisions to the plan:

a. The width of the proposed driveway apron within the City Layout must be adjusted. Per Manny Silva, the 18' driveway apron that is being proposed between the 2 existing City trees will not be allowed. The maximum width that will be allowed is 12' (centered between the 2 City trees). The plan must be updated accordingly. If the applicant requires the 18' width and moving the originally proposed location is not an option, they need to contact D.P.I. regarding the process/costs associated with the removal of the two City trees. If the applicant chooses to proceed with the tree removal, the plan must be updated with a note: "The owner (or their representative) must contact the City to arrange for the removal of the existing City trees in accordance to D.P.I.'s requirements."

b. The other revisions that need to be made include adding the "Record Owner" information on the plan; removing the Parcel One and Parcel Two notes (this is confusing, as there are 3 lots); labeling of each of the lots with its respective parcel i.d. and legal refs. (2 lots should Bk./Pg. and 1 lot has certificate #); updating of the legal refs. called out on the plan (the land transferred to new ownership back in January of this year, yet the submitted plan has a recent date); and, adding the driveway brow detail, or a note stating that the contractor will be required to grade and loam/seed the City Layout area abutting the driveway in accordance with D.P.I. requirements.

Once said site plan has been re-submitted and approved by D.P.I., it must be placed on file with Inspectional Services in the View Permit system. No D.P.I. permits will be issued for any of the proposed work until item 1 has been completed.

2.) Must provide 6 stamped/signed copies of the "final" site plan approved by D.P.I. when applying for the water, sewer/drain and sidewalk/driveway permits for the proposed structure. In addition, a copy of the foundation permit and of the stamped/signed foundation as-built plan must also be submitted.

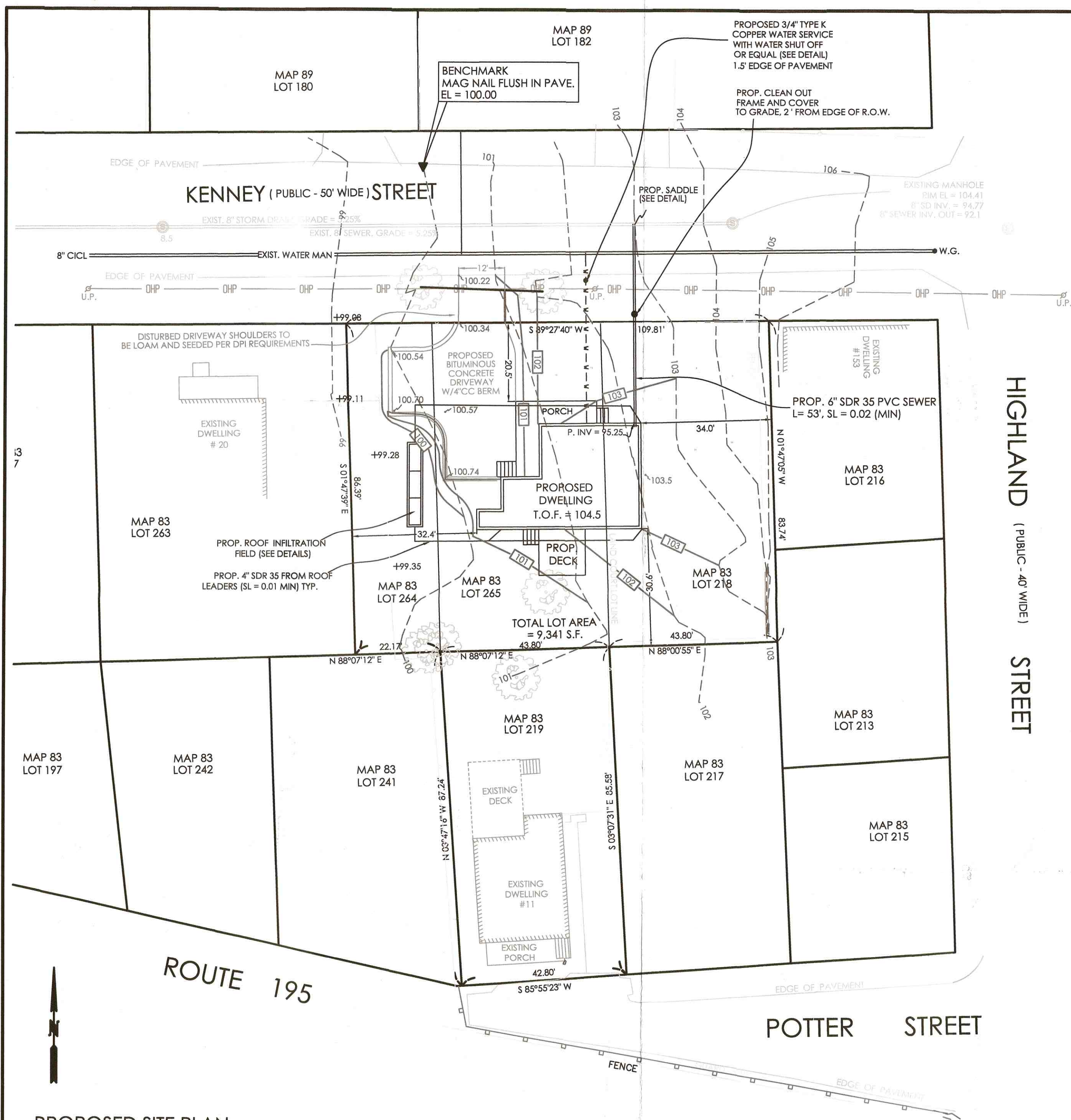
Please Note: Any representative pulling permits on behalf of the owner must provide D.P.I. with a permission slip. If the property was acquired within the past 3 months, then a copy of the recorded deed showing property ownership must also be provided.

3.) Must contact D.P.I.-Engineering to measure for an address number once the front door is framed. The C.O. will not be signed unless the legal address assigned by the City is permanently affixed to, above, or next to, the main door entrance to which it was assigned such that it is highly visible from the street.

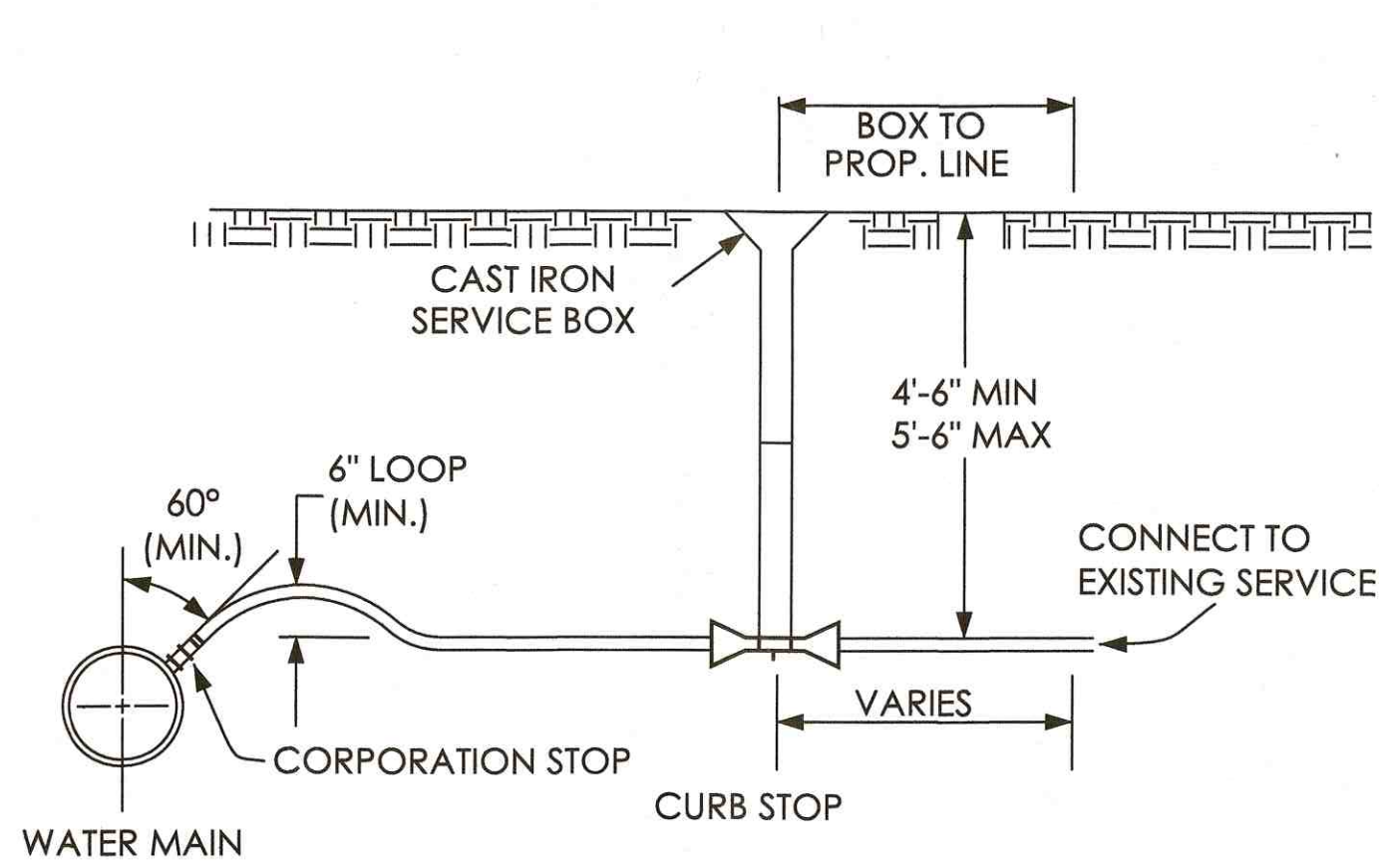
Please be advised that any and all future modifications to the site plan that was reviewed/approved for the above project and placed on file at D.P.I. as the "final" site plan must be resubmitted for review/approval if said changes entail work that falls under the jurisdiction of D.P.I.

Note:

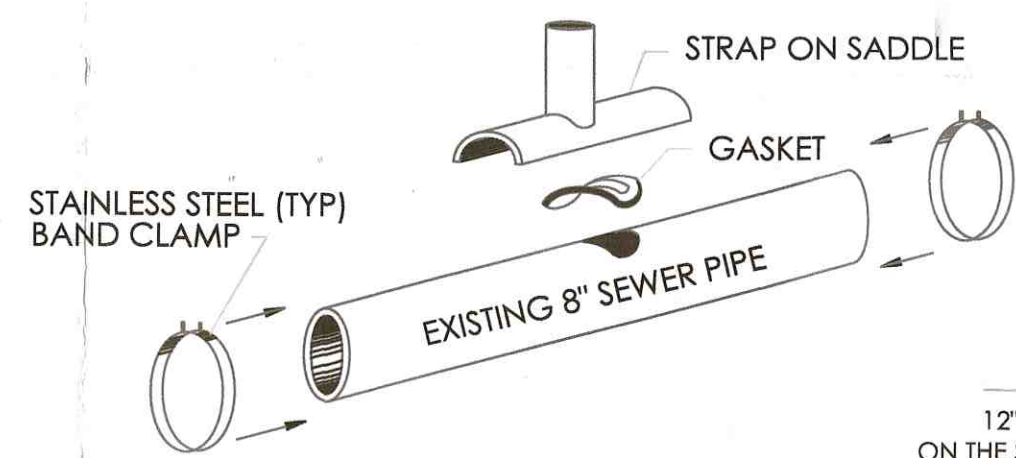
*The plan submitted in View Permit denotes the property as having a total lot area of 9,341 S.F. that is made up of 3 lots (Lots 218, 264 & 265). Lots 264 and 265 are recorded land, and Lot 218 is registered land. Unless there is a plan in process to combine said lots, or there is a recorded plan showing that these 3 lots were actually combined into one, the placement of the new dwelling will result in a structure that straddles across three independent lots. Until a copy of the recorded plan is submitted to D.P.I., Engineering will not be able to consolidate the lots to show as a 9,341 S.F. lot, nor be able to assign a new lot number. The C.O. will not be signed unless this issue has been addressed and resolved as required by Inspectional Services and Engineering (Department of Public Infrastructure.).



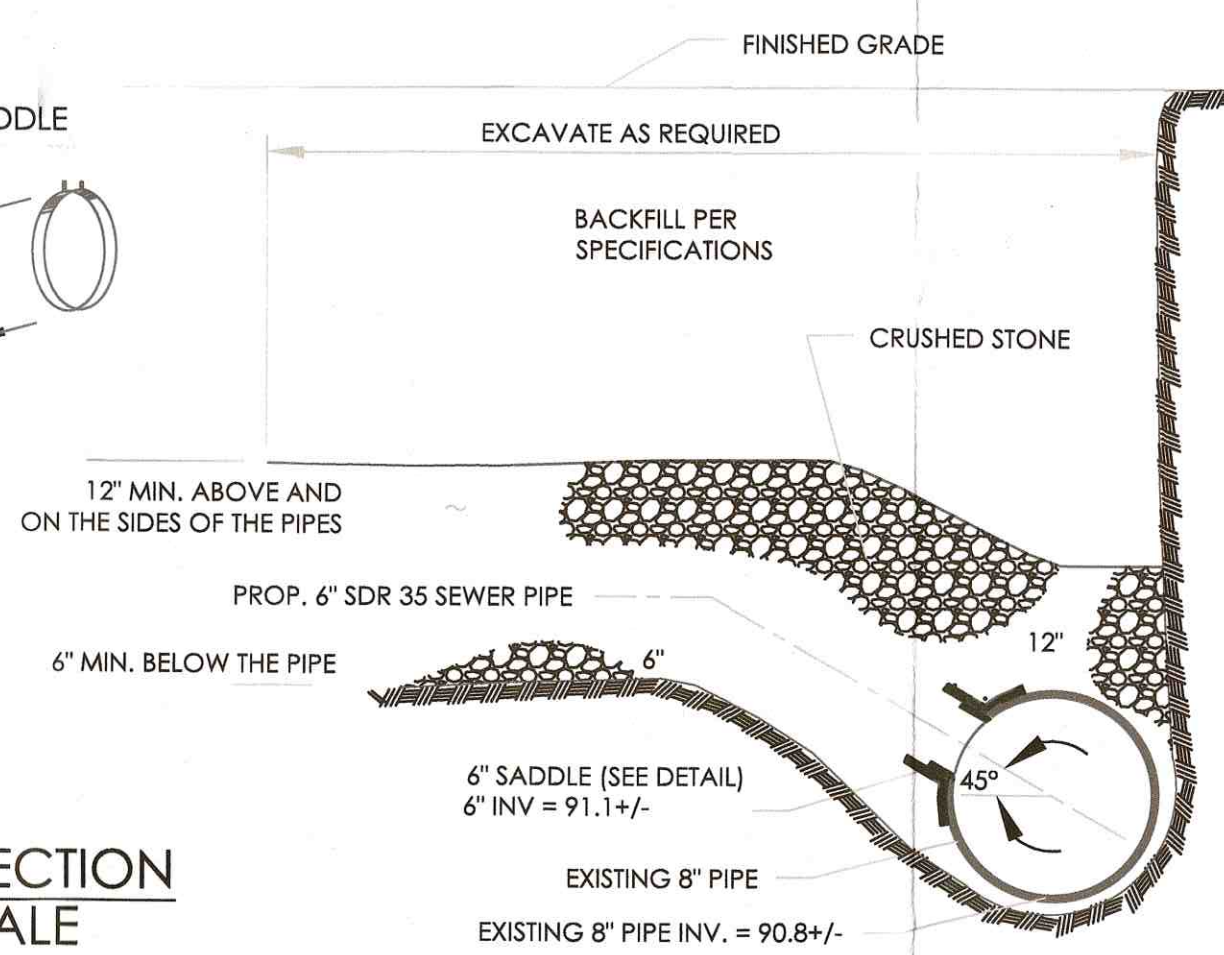
PROPOSED SITE PLAN
SCALE: 1" = 20'



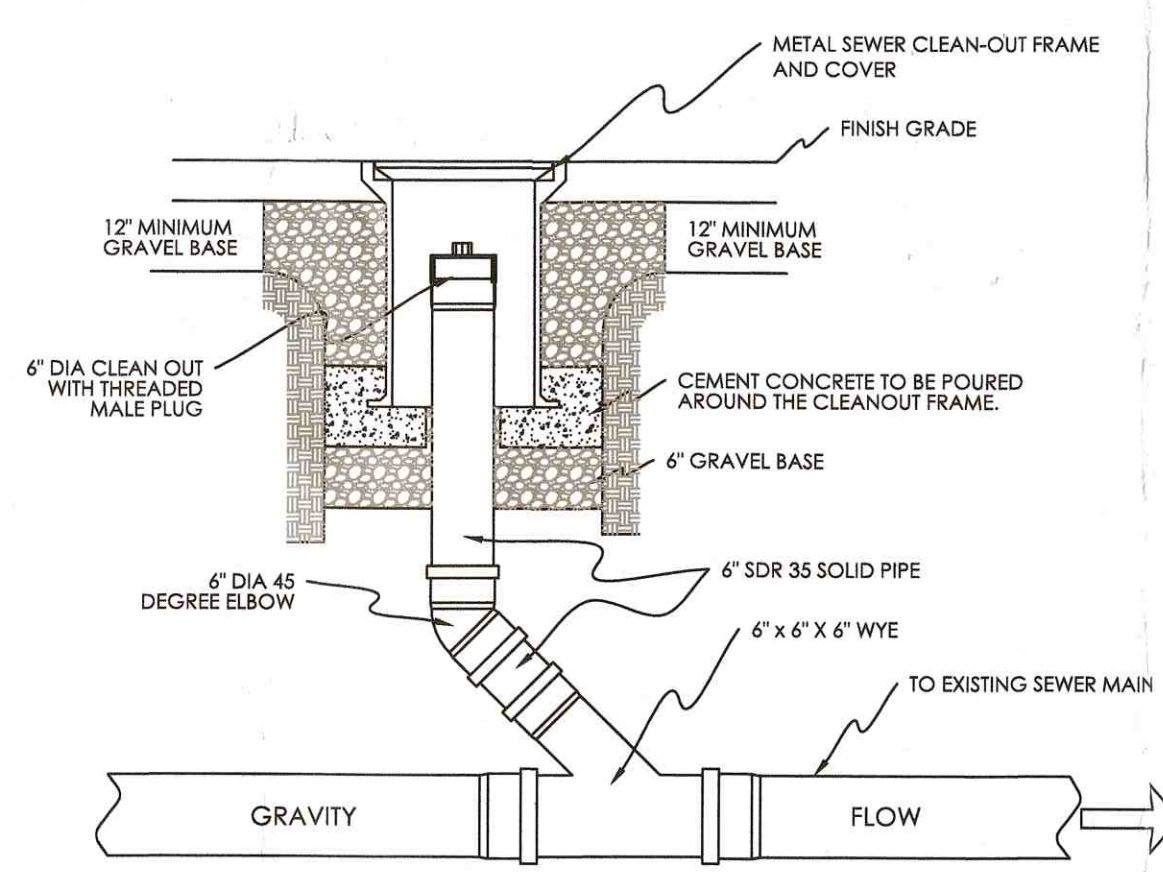
TYPICAL WATER SERVICE DETAIL
NOT TO SCALE



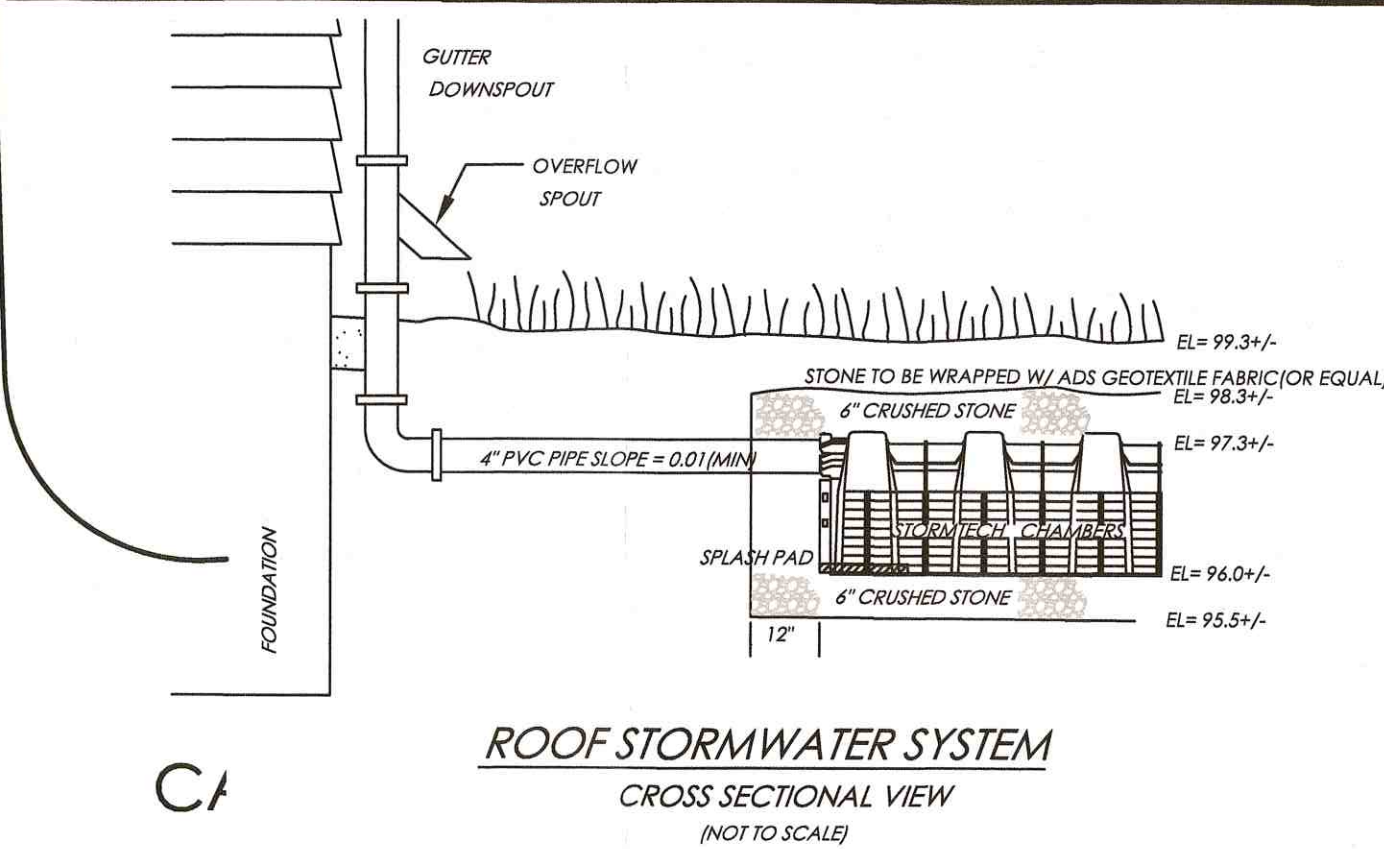
SADDLE CONNECTION
NOT TO SCALE



TYPICAL TRENCH DETAILS
(NOT TO SCALE)



TYPICAL CLEAN OUT DETAIL
NOT TO SCALE



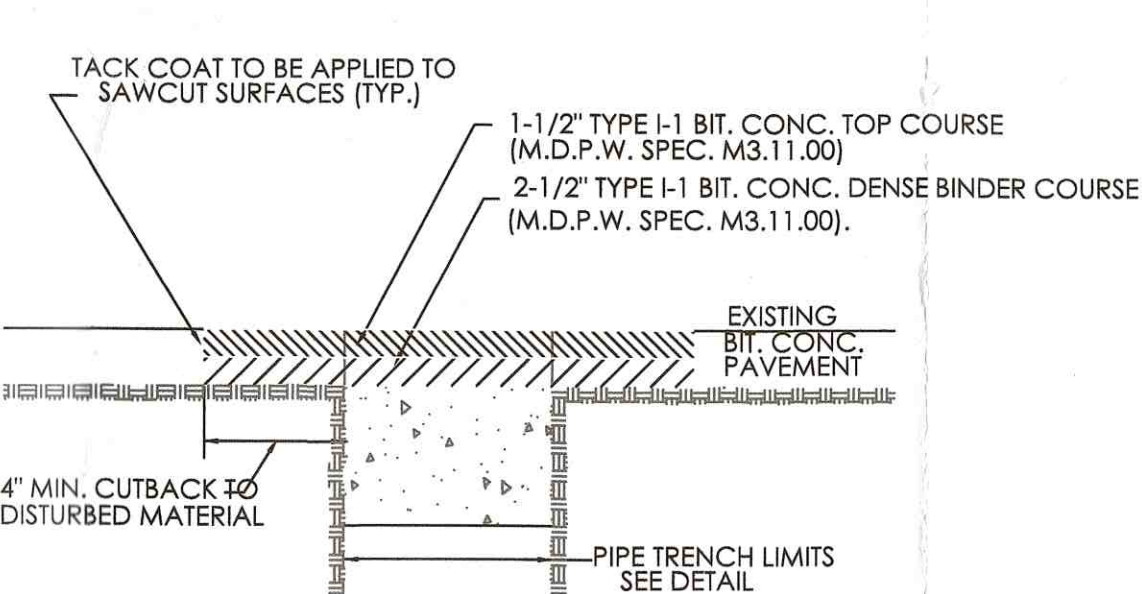
ROOF STORMWATER SYSTEM
CROSS SECTIONAL VIEW
(NOT TO SCALE)

DOWNSPOUT DRAINAGE DESIGN
ASSUME 1" OF RAINFALL ON THE ENTIRE ROOF AREA.
ROOF AREA = 900 Sq.Ft.
USE THE HIGH CAPACITY STORMTECH CHAMBER
SC310EP061 AS DETAILED (OR EQUAL).
THEREFORE:
900 Sq.Ft. x 1 1/2" / 12 inches per foot = 75 Cu.Ft.
75 Cu.Ft. / 31 Cu.Ft./chamber = 3 Chamber

However if contractor finds location and piping to be unfeasible
an alternate configuration may be used, with a minimum of 1
unit per downspout leader if separated and a total of 3 chambers.
All gutters downspouts to be equipped w/ overflow Leaf Screens.
All piping and fittings used to connect to the downspouts are to
be 4" SCH 40.
Gutters, downspouts and recharge system to be inspected and
cleaned twice a year (June and December).
Not designed for traffic applications (see manual)

* NOTE: CHAMBER SYSTEM INSTALLATION MUST BE IN
ACCORDANCE WITH STORMTECH DESIGN MANUAL
NOMINAL CHAMBER SPECIFICATIONS
SIZE (W x H x INSTALLED LENGTH)
CHAMBER STORAGE
MINIMUM INSTALLED STORAGE
WEIGHT

34.0" x 16.0" x 85.4"
14.7 CUBIC FEET
31.0 CUBIC FEET W/6" OF STONE
35 LBS.

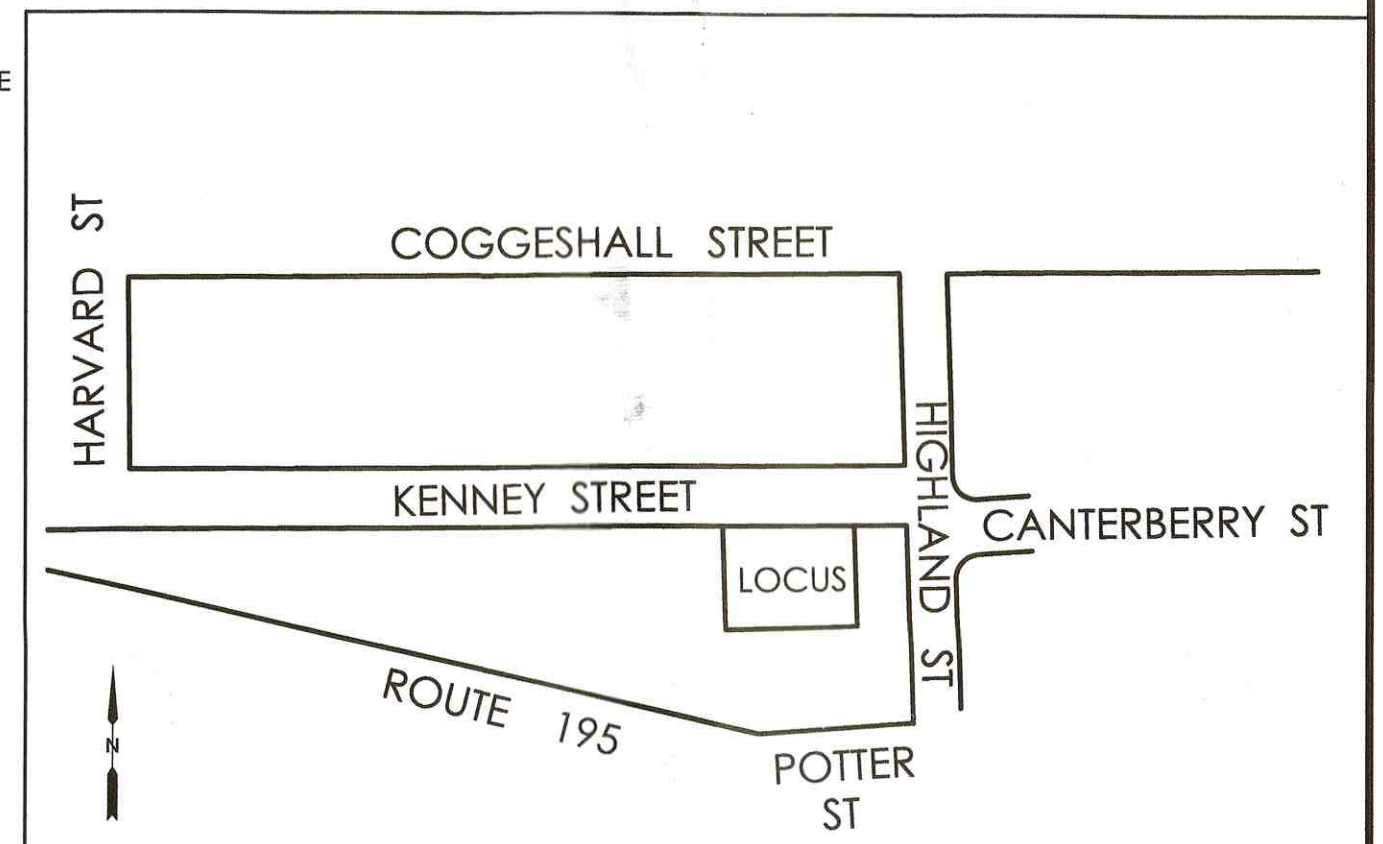


ZONING REQUIREMENTS:		SETBACK REQUIREMENTS:	
ZONING IS R8 - RESIDENCE B (TWO FAMILY)		MINIMUM FRONT YARD	
MINIMUM LOT FRONTAGE	75.00' (100.00')	MINIMUM SIDE YARD	20.00'
MINIMUM TOTAL AREA	8,000 sq. ft. (10,000 sq.ft.)	MINIMUM REAR YARD	10.0' & 12.0'
MAXIMUM % LOT COVERAGE	30% (Required)	REAR YARD	30.00'
23.81% INCLUDING DECK & PORCH (PROVIDED)			

*** REFER TO VARIANCE AS GRANTED BY THE CITY OF NEW BEDFORD W/ CASE # 4354, ON 12/13/18, AND FILED IN THE NEW BEDFORD REGISTRY OF DEEDS IN BOOK 12698, PG 108. APPROVED VARIANCE TO ALLOW LOCUS LOTS TO BE SOLD, LEAVING THE UNDERSIZED LOT 219 WITH DWELLING #11 POTTER STREET.

- GENERAL NOTES:
- SITE IS SHOWN AS LOTS 264, 265, & 218 ON NEW BEDFORD ASSESSORS MAP 83.
 - LOCUS IS TO BE SERVICED BY MUNICIPAL WATER AND SEWER. EXISTING STUBS, IF ANY, TO BE EXPOSED, INSPECTED AND UTILIZED IF FEASIBLE. ALL WORK TO BE IN ACCORDANCE WITH THE CITY OF NEW BEDFORD DPI STANDARDS.
 - LOCUS IS NOT LOCATED WITHIN AN AQUIFER PROTECTED DISTRICT.
 - LOCUS IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONES AS DELINEATED ON THE FIRM MAP.
 - REFER TO PARCEL 1 (ASSESSORS LOTS 264 & 265) & PARCEL 2 (ASSESSORS LOT 218) ON DEED BOOK 12699, PAGE 232, PARCEL 2 AS SHOWN ON LAND COURT PLAN 38480A IN LAND REGISTRATION BOOK 64, PG 79. REFER TO PORTION OF LOT 26, LOT 27, LOT 28 AS SHOWN IN PLAN BOOK 19, PAGE 81.
 - EXISTING UTILITIES SHOWN HAVE BEEN TAKEN FROM RECORD DRAWINGS &/OR ON THE GROUND LOCATIONS VISIBLE AT TIME OF SURVEY. NO REPRESENTATION AS TO THE ACCURACY OR COMPLETENESS OF THE UTILITIES SHOWN IS MADE BY THE SURVEYOR/ENGINEER. VERIFICATION OF UTILITIES AND LOCATIONS ARE THE RESPONSIBILITY OF THE CONTRACTOR WITH THE AID OF DIG SAFE AND OTHER RESPECTIVE UTILITY COMPANIES.
 - ALL CONSTRUCTION MATERIALS AND INSTALLATION METHODS TO CONFORM TO THE CITY OF NEW BEDFORD DEPARTMENT OF PUBLIC INFRASTRUCTURE (DPI) SPECIFICATIONS AND THE COMMONWEALTH OF MASSACHUSETTS DEPARTMENT OF PUBLIC WORKS CONSTRUCTION STANDARDS, AS MOST RECENTLY AMENDED.
 - CONTRACTOR SHALL KEEP RECORDS OF LOCATIONS FOR ALL UNDERGROUND UTILITIES INSTALLED FOR USE IN COMPILING AN AS-BUILT SITE PLAN.
 - CONTRACTOR TO VERIFY AND CHECK BENCHMARK AND ELEVATIONS AS SHOWN ON THIS PLAN PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL PERMITS, AS MAY BE REQUIRED. CONTRACTOR ALSO REQUIRED TO PAY ALL FEES ASSOCIATED WITH COMPLETION OF THE WORK, AS WELL AS, ENSURE PERMISSION IS GRANTED TO REDIRECT ANY PRIVATE SERVICE LINES PRIOR TO CONSTRUCTION.
 - ANY LAWN AREA DISTURBED DURING CONSTRUCTION TO BE LOAM AND SEEDED AFTER PROPER BACKFILLING AND ALL TRENCHES WITHIN THE EXISTING PAVEMENT TO BE REPAIRED PER DPI STANDARDS.
 - SITE IS NOT LOCATED WITHIN AN ESTIMATED HABITAT OF RARE WETLAND WILDLIFE SPECIES.
 - LOT CONFIGURATION AND EXISTING CONDITION TOPOGRAPHIC SURVEY SHOWN AS PREPARED BY ROMANELLI ASSOCIATES, INC AND SUPPLIED TO THIS OFFICE.

OWNER OF RECORD:
RONALD W.P. SYLVIA & CURT PERRY
1 LINDEN LANE
DARTMOUTH, MA 02748



LOCUS MAP (not to scale)

BUILDING PERMIT PLAN

RONALD W.P. SYLVIA
ASSESSORS MAP 83, LOT 264,265,218
KENNEY STREET
NEW BEDFORD, MA

S & K ENGINEERING, LLC
P.O. BOX 1338
WESTPORT, MASSACHUSETTS 02790
(774) 319 - 5305



DATE	PER DPI COMMENTS	BY
8/30/19	REVISION	KJS
DATE: 8/20/2019	SURVEYED BY: RAI	BY
SCALE: AS NOTED	CHECKED BY: KJS	
DRAWN BY: KJS	JOB No: 19-048	