

W-19-6
SERVICE 34035

NEW BEDFORD WATER WORKS

APPLICATION FOR SERVICE AND METER

NEW BEDFORD

expires 2-26-2020

2-26-2019

I HEREBY ACKNOWLEDGE the receipt of a copy of the Regulations prescribed in the Ordinance of the City, for the use of Water, and I request that the water may be furnished through a

1" inch copper meter at Phillips Rd (WS) @
Holly Tree Lane Intersection

at such rates as may from time to time be established by the City.

I hereby agree to pay promptly the bill for the Service pipe laid down for my premises, and to pay all dues for water, and I agree to conform to the said Regulations and to all provisions of the Water Ordinances, until written notice is given by me or my agent to cut off the supply.

P. 134
L. 463.

Rosa M. M. M.

DPM Development Corp.
70 Amherst St.

TELEPHONE 508-326-1370, NB MA 02745

Single Family

Service laid

Size and kind of pipe

From

St.

Turned on

Meter Set

Reading

Location

Building rates

Contractor: H. J. M. M.

Paid

Cost of Service

\$500.00 - Ch# 7980

Paid

31-727

n	x	s	line holly tree	15 ft
e	x	w	line phillips rd	2.5 ft
n	x	s	line house	21 ft
s	x	n	line house	14 ft
house to box				50 ft
main to property line				33ft
pipe to inside property				48 ft

DISPLAY PERMIT IN A CONSPICUOUS PLACE ON THE PREMISES



Commonwealth of Massachusetts

City of New Bedford

133 William Street New Bedford, MA 02740

WATER SERVICE PERMIT



Date: 4/1/2019

No. **W-19-6**

Permit Fee: \$500.00

Service Location: WS- PHILLIPS RD

Owner Name: KJEC LLC

Owner Phone #: (508) 326-1370

Type of Occupancy: Residential

Type of Work: Water - Domestic New 1"

Work Description: water service# 34035

P.134

L.463

Phillips Rd WS @ Hollytree Lane Intersection

new build-

1" COPPER

Contractor

Name: Robert J. Canessa Certificate #: _____ Type of Business : DPI - Other

Address: P. O. Box 51643 City/Town/State: New Bedford MA Phone #: (508) 998-

Type of Service Pipe Size Trench Length: **0.00**

Fire Service _____

Domestic Service _____

Estimated consumption of water

Estimated average daily consumption 0.00 gallons

Cross Connection? **No**

Estimated maximum day consumption 0.00 gallons

Right of Way? **No**

Are lawn sprinklers and/or lawn irrigation proposed on site? **No**

Meter Impact? **No**

Estimated fire flows required for the project site: 0.00

Street Opening Permit Required? **No**

Does the project require a fire suppression system? **No**

Call Phone: (781) 942-9077 For Inspection



Department of Public Infrastructure

Jamie Ponte
Commissioner

Water
Wastewater
Highways
Engineering
Cemeteries
Park Maintenance
Forestry
Energy

CITY OF NEW BEDFORD

Jonathan F. Mitchell, Mayor

NEW WATER SERVICE

DATE OF INSPECTION: 6-2-20 TIME OF INSPECTION: _____

CONTRACTOR: FARLAND CONTACT # _____

LOCATION: Phillips RD LOT # _____ SERVICE # 34035

SIZE OF SERVICE: 1" KIND OF PIPE: Copper

FOREMAN SIGNATURE: _____

NEAREST STREET TO BOX	<u>N x S Line Holly Tree</u>	<u>15'</u>
OTHER LOCATION TO BOX		
PROPERTY LINE TO BOX	<u>E x W Line Phillips RD</u>	<u>2.5'</u>
CORNER OF BUILDING TO BOX	<u>N x S Line House</u>	<u>21'</u>
CORNER OF BUILDING TO BOX	<u>S x N Line House</u>	<u>14'</u>
HOUSE TO BOX		<u>50'</u>

MAIN TO PROPERTY LINE	<u>33'</u>
PIPE INSIDE PROPERTY	<u>48'</u>

MEASUREMENTS OF DUCTS OR CABLES

REMARKS: _____

MAP 134
LOT 458



COMMONWEALTH
LAND SURVEYORS, INC.

1162 SOUTH MAIN STREET
ATLANTA, MASSACHUSETTS 02468
508-557-5534

N 10°25'46" W 90.00'

MAP 134
LOT 10
18,000 S.F.

MAP 134
LOT 9

MAP 134
LOT 11

S 79°34'14" W 200.00'

N 79°34'14" E 200.00'

123.0'

12.1'

EXISTING
FNDTN.
TOF: 106.05'

40.0'

0.69'

90.00'

S 10°25'46" E

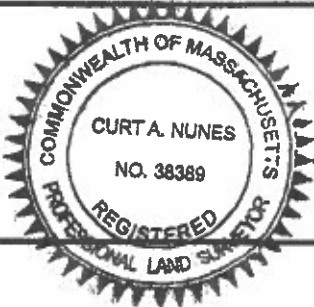
PHILLIPS (PUBLIC - VAR. WIDTH) *ROAD*

AS BUILT FOUNDATION PLAN - LOT 10

PHILLIPS ROAD

IN

NEW BEDFORD, MA.



I CERTIFY THAT THE FOUNDATION SHOWN
HEREON, AS BUILT, CONFORMS TO THE CITY
OF NEW BEDFORD ZONING SETBACK
REQUIREMENTS.

PROFESSIONAL LAND SURVEYOR

DEC. 31, 2018

DATE

DATE: DEC. 31, 2018

SCALE: 1" = 30'

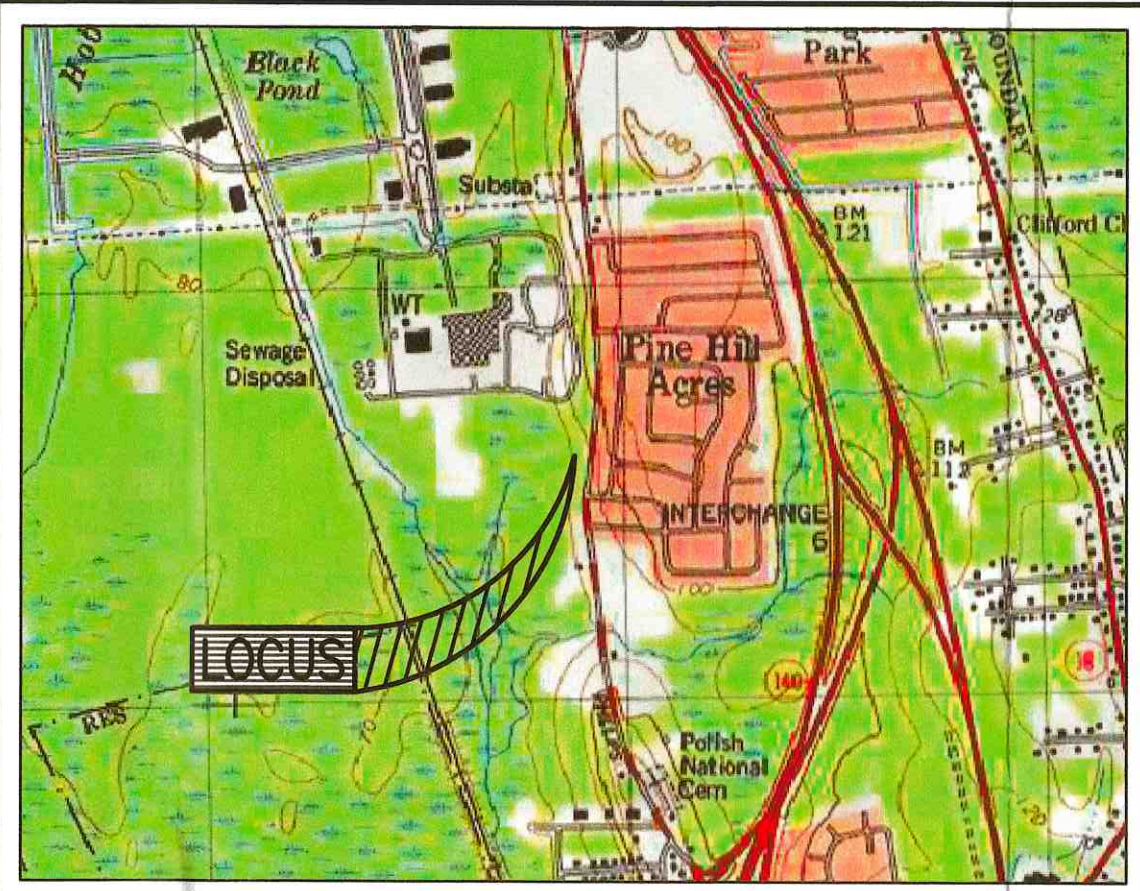
ROMANELLI ASSOCIATES INC.
PROFESSIONAL LAND SURVEYORS

1162 Rockdale Ave. New Bedford, MA 02740
Phone (508) 995-0100 - (508) 995-6678

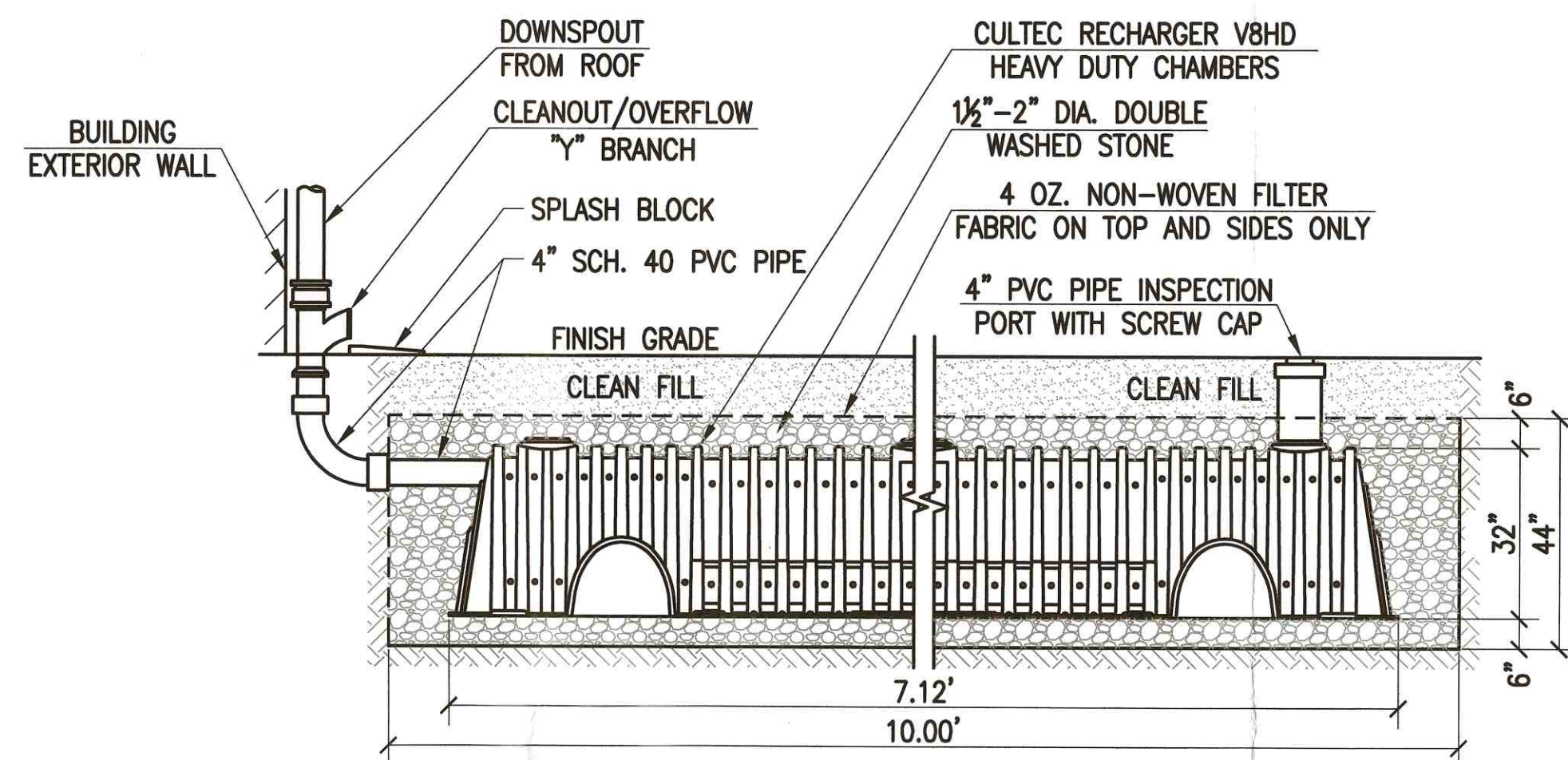
WWW.ROMANELLI-INC.COM



N 18-190



LOCUS MAP SCALE: 1"=2,000'±



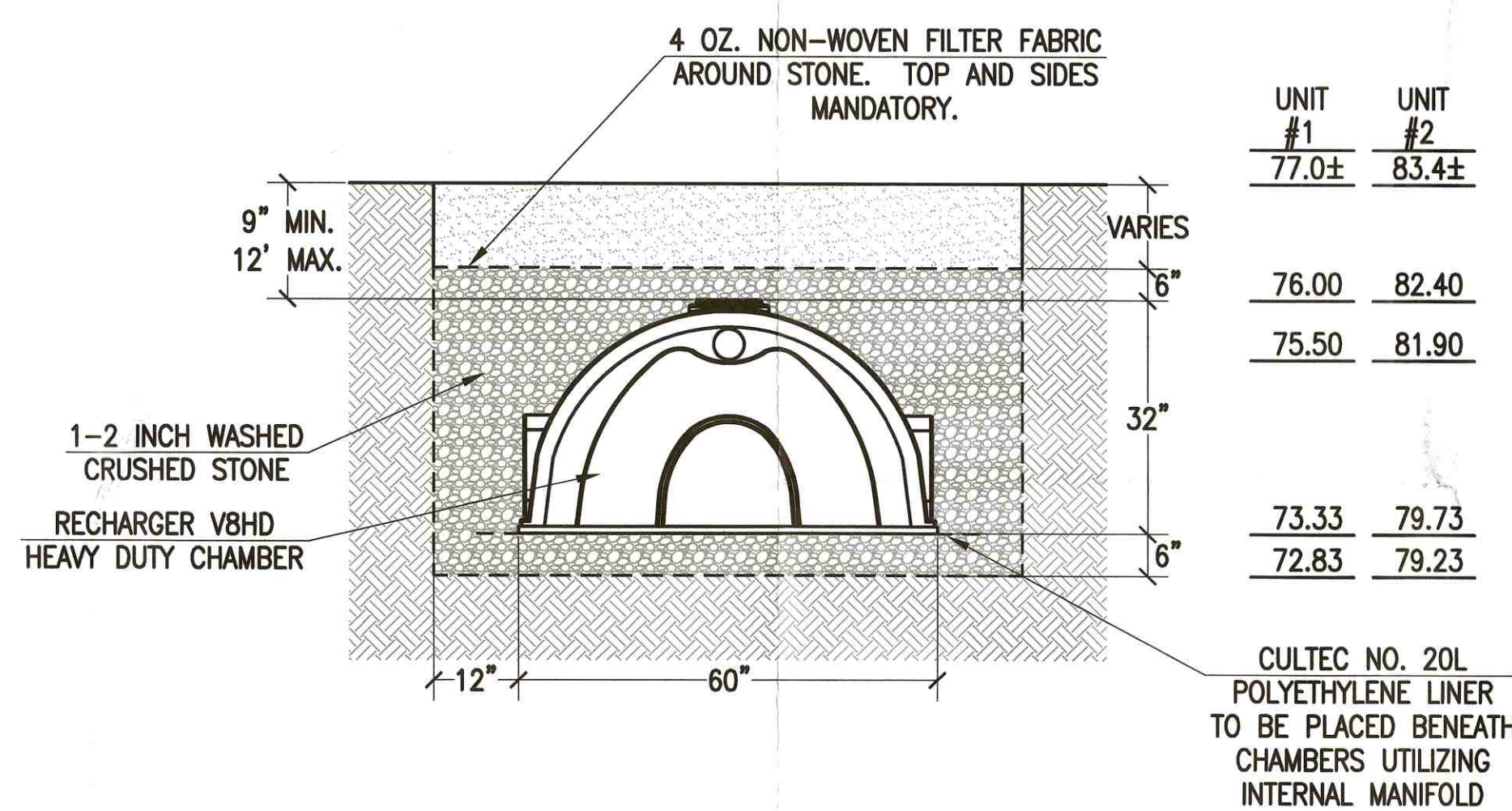
ROOF RECHARGE SYSTEM

NOT TO SCALE

- ZONING DATA -	
DISTRICT: RESIDENTIAL A	
DESCRIPTION	REQUIRED
LOT AREA	8,000 S.F.
LOT FRONTAGE	75 FT
FRONT SETBACK	20 FT
SIDE SETBACK	10,12 FT
REAR SETBACK	30 FT
MAXIMUM BUILDING COVERAGE	30 %
MINIMUM GREEN SPACE	35 %

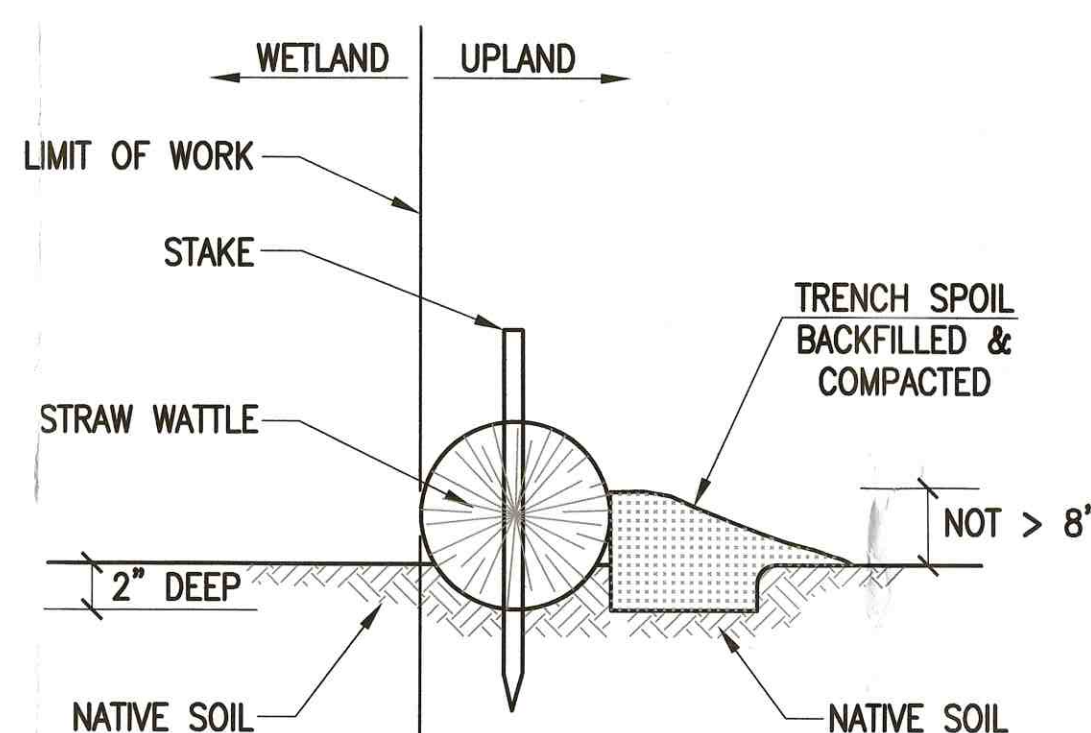
ROOF RECHARGE CALCULATIONS: (DESIGNED FOR 2-YEAR STORM EVENT)

SEE ATTACHED HYDROCAD CALCULATIONS DATED JULY 10, 2017.



CULTEC RECHARGER V8HD STANDARD CROSS SECTION

NOT TO SCALE



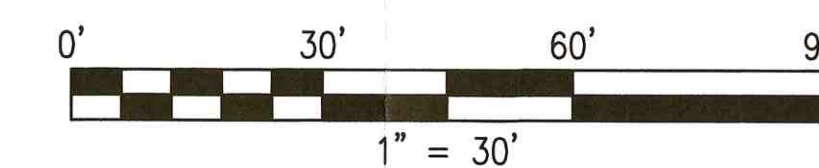
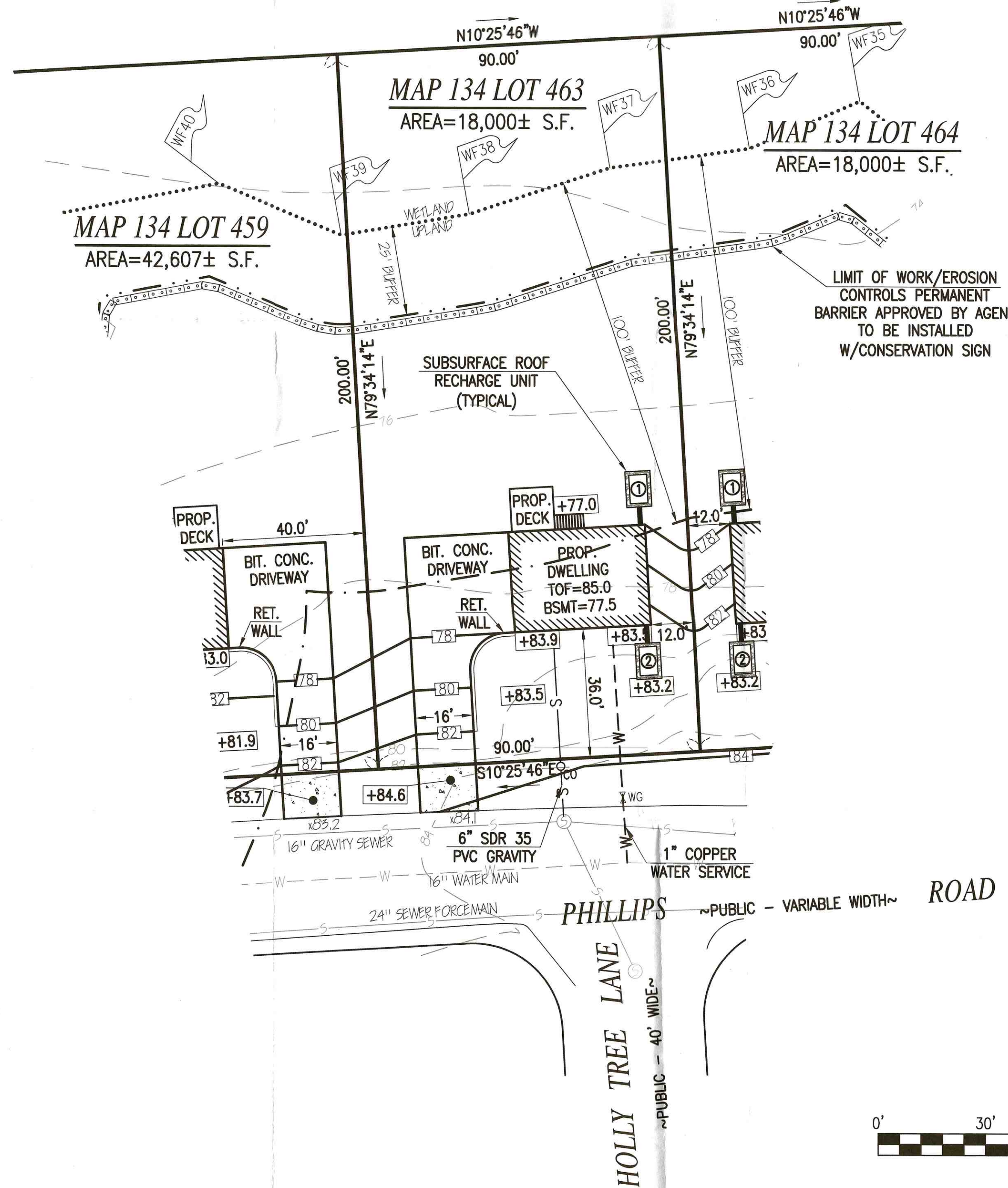
STAKED STRAW WATTLE

NOT TO SCALE

RECORD OWNER:
ASSESSORS MAP 134 LOT 463
KJEC, LLC
401 COUNTY STREET
NEW BEDFORD, MA 02740
LC CERT# 24345
LC PLAN# 36318E

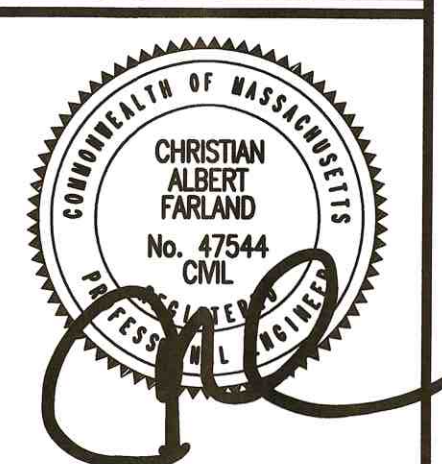
NOTES:

1. PROPERTY LINE SURVEY PERFORMED BY FARLAND CORP. IN SEPTEMBER 2015.
2. WETLAND DELINEATION PERFORMED BY ECOSYSTEM SOLUTIONS, INC. IN JUNE 2015.
3. PORTION OF DRIVEWAY BETWEEN EDGE OF ROADWAY AND PROPERTY LINE SHALL BE CONCRETE AND PITCH TOWARD ROAD AT A MINIMUM OF 0.5% TO AVOID ROADWAY RUNOFF ONTO LOT



REVISIONS

1	5/25/17	BUILDING DEPT. REQS
2	7/10/17	DPI COMMENTS
3	2/1/18	DPI STANDARDS



www.FarlandCorp.com

401 COUNTY STREET
NEW BEDFORD, MA 02740
P.508.717.3479
OFFICES IN:
•TAUNTON
•MARLBOROUGH
•WARWICK, RI

DRAWN BY: MJW
DESIGNED BY: MJW
CHECKED BY: CAF

SITE PLAN
— L.C. LOT 10 PHILLIPS ROAD
ASSESSORS MAP 134 LOT 463
NEW BEDFORD, MASSACHUSETTS

PREPARED FOR:
SCOTT MONIZ
19 ANTHONY TERRACE
NEW BEDFORD, MA 02740

APRIL 20, 2017
SCALE: 1"=30'
JOB NO. 17-354.8
LATEST REVISION:
FEBRUARY 1, 2018

SHEET 1 OF 1

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