

W-19-4
SERVICE 34033

EXPIRES 2-11-20
NEW BEDFORD WATER WORKS

APPLICATION FOR SERVICE AND METER

NEW BEDFORD 2-11-19

I HEREBY ACKNOWLEDGE the receipt of a copy of the Regulations prescribed in the Ordinance of the City, for the use of Water, and I request that the water may be furnished through a

3/4" inch copper meter at Potter St (SS.) 213' Ex
Oakland St (formerly known as #176 Potter)

at such rates as may from time to time be established by the City.

I hereby agree to pay promptly the bill for the Service pipe laid down for my premises, and to pay all dues for water, and I agree to conform to the said Regulations and to all provisions of the Water Ordinances, until written notice is given by me or my agent to cut off the supply.

Single Family

P. 82

Empire Design Build Inc L. 13

X [Signature]
Tina Leahy

Prior fire: ReBuild TELEPHONE 508 353-2020

P.O. Box 50625
NB MA 02740

Service laid

Size and kind of pipe

From

St.

Turned on

Meter Set

Reading

Location

Building rates

Paid

Cost of Service

Paid

31-727

JLC contractor

OLD serial 7753
#

\$500 alt # 7187

✓

Ex 3
ENE

E x E Line Oakland St	177.6'
W x W Line Shawmut Ave	737.9'
N x S Line Potter	2.5'
E x W Line House	8.0'
W x E line house	36.6'
N x N line house	15.5'
Main to property line	18.0'
Pipe inside property	16.0'

5/1/2019:

RJ CANESSA connected new line; Inspected by
P. Reynolds

FORMERly #176 Potter St: HOUSE FIRE & REBUILT

DISPLAY PERMIT IN A CONSPICUOUS PLACE ON THE PREMISES



Commonwealth of Massachusetts

City of New Bedford

133 William Street New Bedford, MA 02740

WATER SERVICE PERMIT



Date: 2/13/2019

No. **W-19-4**

Permit Fee: \$500.00

Service Location: 176 POTTER ST

Owner Name: LEAHY TINA M

Owner Phone #: (508) 353-2020

Type of Occupancy: Residential

Type of Work: Water - Domestic New 3/4"

Work Description: water service# 34033
P.82
L.13
Potter St SS 213' E x Oakland St (formerly known as # 176)
fire

Contractor

Name: DEMETRI COSTA Certificate #: 076355 Type of Business: Hoisting

Address: 415 LAKE RD City/Town/State: TIVERTON RI Phone #: (508) 326-

Type of Service Pipe Size Trench Length: 0.00

Fire Service

Domestic Service

Estimated consumption of water

Estimated average daily consumption 0.00 gallons

Cross Connection? No

Estimated maximum day consumption 0.00 gallons

Right of Way? No

Are lawn sprinklers and/or lawn irrigation proposed on site? No

Meter Impact? No

Estimated fire flows required for the project site: 0.00

Street Opening Permit Required? No

Does the project require a fire suppression system? No

Required minimum static pressure for the proposed project site 0.00

Call Phone: (781) 942-9077 For Inspection



Commonwealth of Massachusetts

CITY OF NEW BEDFORD

City Hall, Room 308, 133 William Street New Bedford, MA 02740 (508) 979-1540



FOUNDATION PERMIT

2/6/2019

No. B-18-3776

MSBC Sect. 111.8 - Any permit issued shall be deemed abandoned and invalid unless the work authorized by it shall have been commenced within six (6) months after its issuance.

FEE PAID \$100.00

This certifies that Neil A Lefavre

owner/contractor has permission to:

176

POTTER ST

on: Foundations Only 1-2 Family - 100.00

Providing that the person accepting this permit shall in every respect conform to the terms of application therefore on file in this office; to the provisions of the statute of the Commonwealth and to the by-laws of the City of New Bedford relating to the inspection, erection, enlarging, altering, raising, moving, repairing, or tearing down of a building.

Permit is issued subject to the following special requirements: (Restrictions)



Wiring Inspector



Plumbing Inspector



Building Inspector

YOUR AREA INSPECTOR IS: James E. Berube

Tel. (508) 979-1540 Between 8:00am - 9:00am

**NOTICE: NOTIFY INSPECTOR 48 HOURS IN
ADVANCE OF APPLYING SHEATHING OR LATHING**

OCCUPANCY PERMIT REQUIRED BEFORE OCCUPANCY

No Building or Structure shall be used or occupied until the Certificate of Use and Occupancy shall have been issued by the Building Commissioner - MSBC, Sect. 120.1

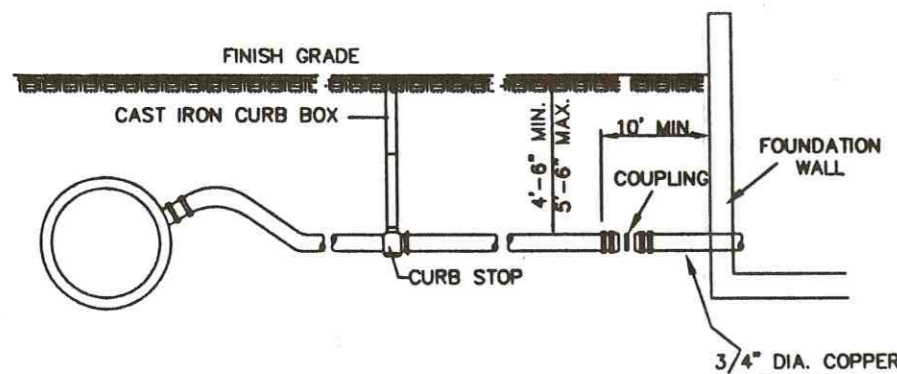
This Card Must Be Displayed in a Conspicuous Place on the Premises and Not Torn Down or Removed Until Completion of Work

SUBJECT TO MASSACHUSETTS
STATE BUILDING CODE

Danny D. Pennewitz

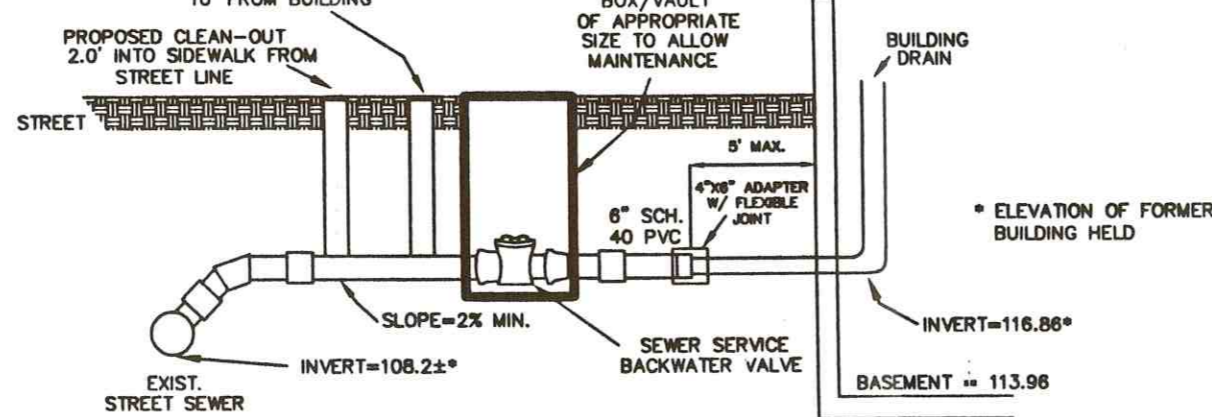
Building Inspector

Plan Review Comments:



TYPICAL WATER SERVICE CONNECTION
NOT TO SCALE

NOTE: THE MINIMUM WATER SERVICE PIPE SHALL BE 3/4" DIA. COPPER. SERVICE PIPE SHALL CONFORM TO ASTM B-88 SEAMLESS TUBING, TYPE "K" SOFT TEMPER. COPPER SERVICE PIPE MUST BE INSTALLED FROM CURB STOP TO METER. COPPER SERVICE PIPE SHALL BE INSTALLED IN ONE CONTINUOUS LENGTH OF PIPE. SEWER AND WATER LINES MUST BE SEPARATED BY A MINIMUM OF 10'. ALL INSTALLATION SHALL BE IN ACCORDANCE WITH THE CITY OF NEW BEDFORD WATER DEPARTMENT REGULATIONS.

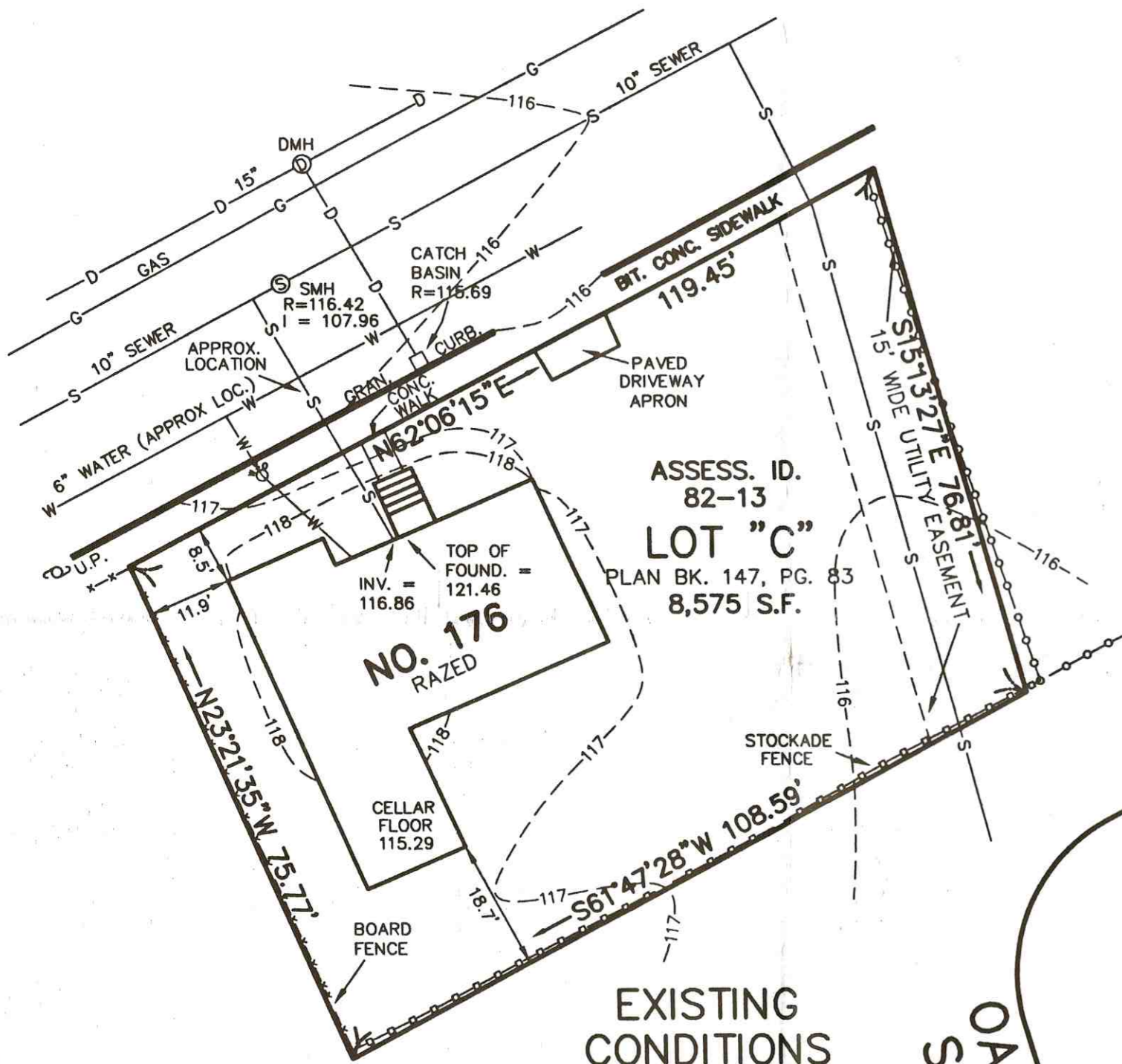


TYPICAL HOUSE SEWER CONNECTION
NOT TO SCALE

NOTE: INSPECT, REPAIR OR REPLACE IF NEEDED THE EXISTING SEWER SERVICE FROM BACK EDGE OF SIDEWALK (APPROX.) TO EXIST. 10" SEWER MAIN. SEWER CONNECTION TO BE INSTALLED BY LICENSED CITY CONTRACTOR AND INSTALLED IN ACCORDANCE WITH THE CITY OF NEW BEDFORD SEWER CONNECTION SPECIFICATIONS.
*ELEVATION MUST BE VERIFIED

PROJECT BENCHMARK

TOP OF IRON ROD WITH PUNCH MARK AT CORNER OF CHAIN LINK FENCE AND AT LOT CORNER. IRON ROD IS FLUSH TO GROUND. ELEVATION = 118.00 APPROX. NAVD88



EXISTING CONDITIONS PLAN
1" = 20'

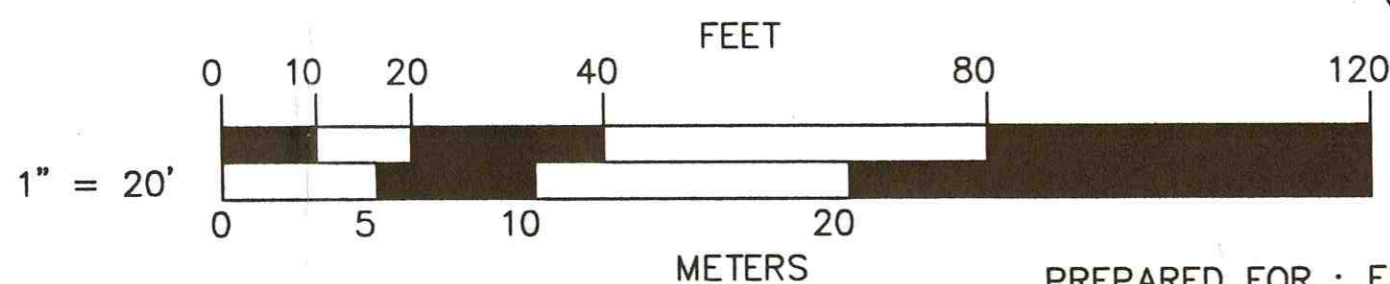
NOTE: AT THE TIME OF FOUNDATION EXCAVATION THIS OFFICE MUST BE CONTACTED TO INSPECT THE OPEN HOLE TO DETERMINE THE WATER TABLE ELEVATION.

LEGEND

- UTILITY POLE
- PROPOSED CONTOUR
- EXISTING CONTOUR
- EXISTING SPOT ELEVATION
- CHAIN LINK FENCE
- STOCKADE FENCE
- BOARD FENCE
- SEWER LINE
- GAS LINE
- WATER LINE
- SEWER SERVICE CLEANOUT
- SEWER SERVICE BACKWATER VALVE

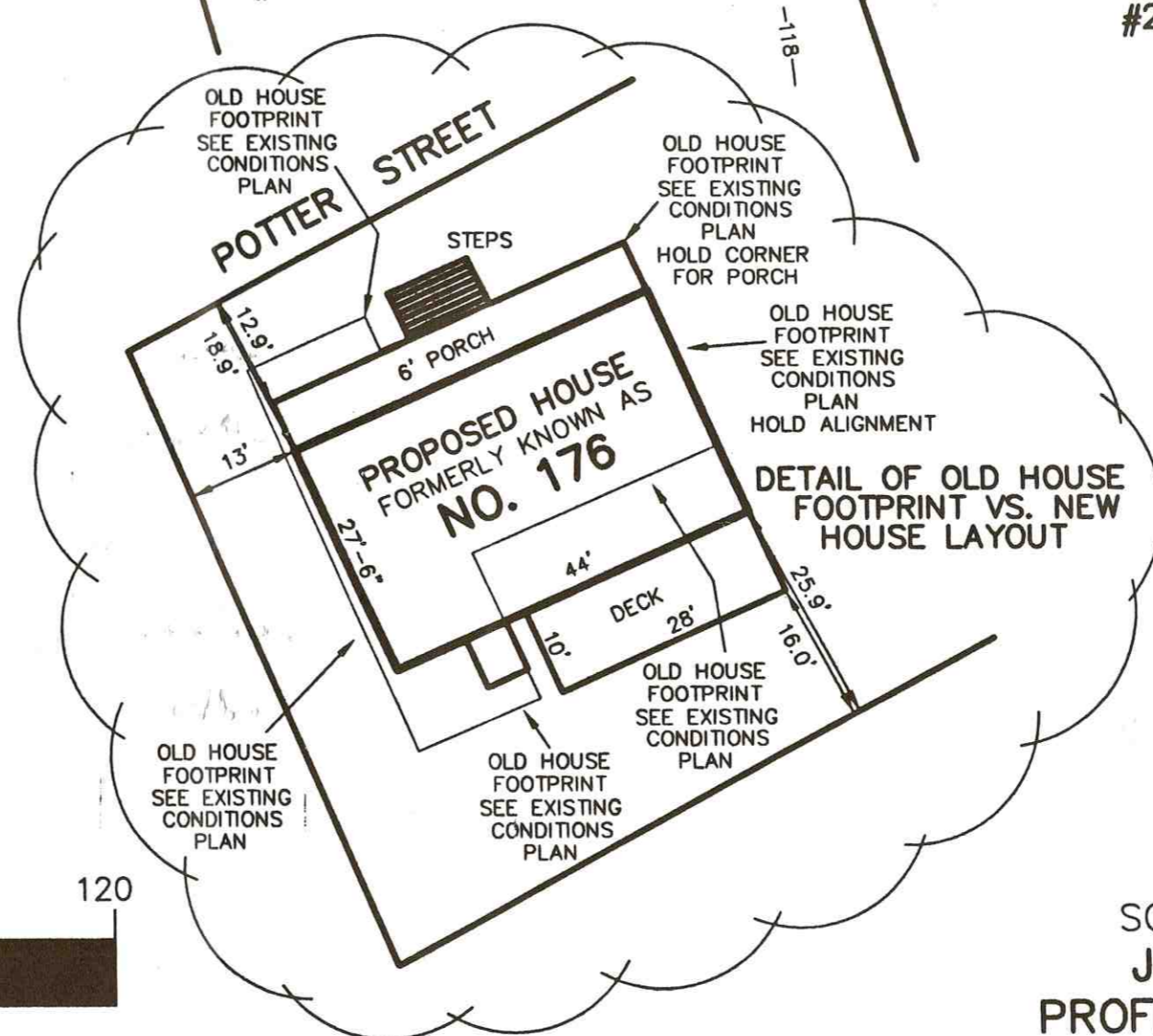
OWNER : TINA M. LEAHY
DEED REF. : DEED BOOK 5171, PAGE 313
ASSESSORS ID.: 82-13

ZONING DISTRICT : RESIDENTIAL A
ZONING SET-BACK REQUIREMENTS:
FRONT YARD - 20'
SIDE YARD - 10'/12'
REAR YARD - 30'



PREPARED FOR : EMPIRE DESIGN BUILD

JN - 7227



BUILDING PERMIT PLOT PLAN

FORMERLY KNOWN AS
176 POTTER STREET
IN
NEW BEDFORD, MA

PREPARED FOR
EMPIRE DESIGN BUILD

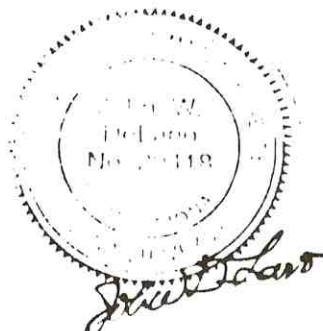
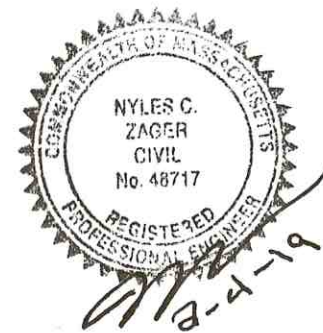
REV. 1/23/19

NOVEMBER 20, 2018

SCALE : 1" = 20'
JOHN W. DELANO AND ASSOCIATES, INC.
PROFESSIONAL LAND SURVEYORS AND ENGINEERS
27 JEFFERSON STREET (508)824-6609 TAUNTON, MA

C-5024

SHEA CONCRETE PRODUCTS
4x4 GALLEY
CENTER AND END



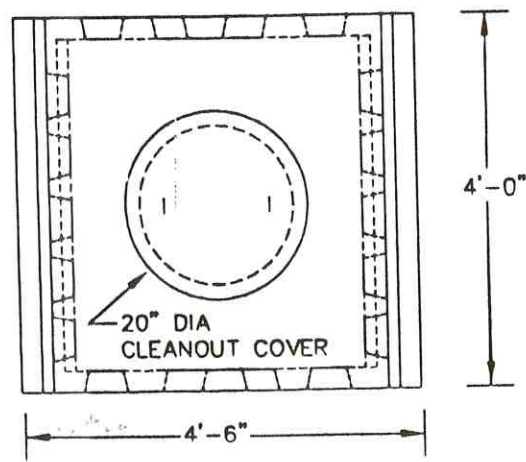
VOLUME OF GALLEY
 $3.5' \times 3.5' \times 3.25' = 39.8$

VOLUME OF STONE

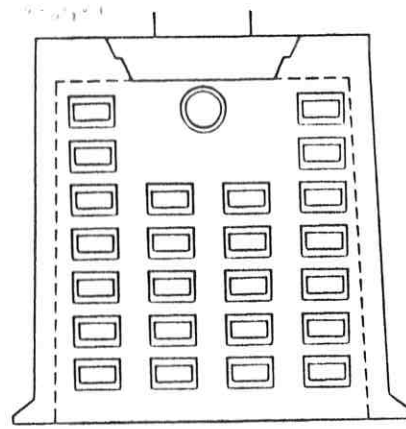
BOTTOM = $6.33' \times 6.33' \times 1.0' = 40$ C.F.
2 SIDES = $2 \times 6.33' \times 3.25' \times 1.17' = 48.1$ C.F.
2 SIDES = $2 \times 4' \times 3.25' \times 1.17' = 30.4$ C.F.
TOTAL = 118.5 C.F.
36% VOIDS = $.36 \times 118.5$ C.F. = 42.7 C.F.

IMPERVIOUS AREA

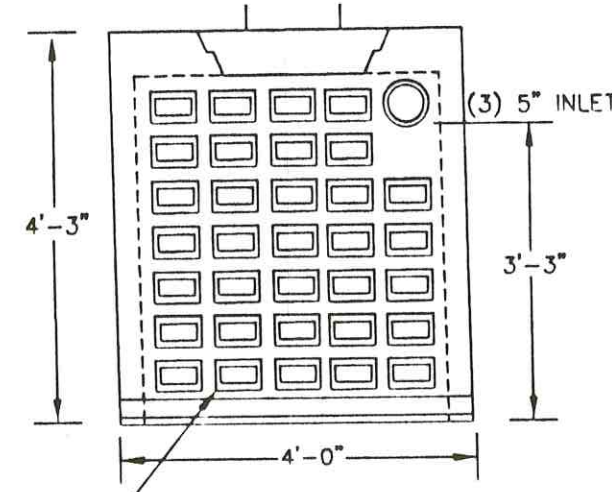
WALK	-	48	S.F.
STEPS	-	60	S.F.
HOUSE	-	1210	S.F.
DRIVE	-	450	S.F.
BULKHEAD	-	30	S.F.
PORCH	-	264	S.F.
TOTAL	-	2062	S.F.



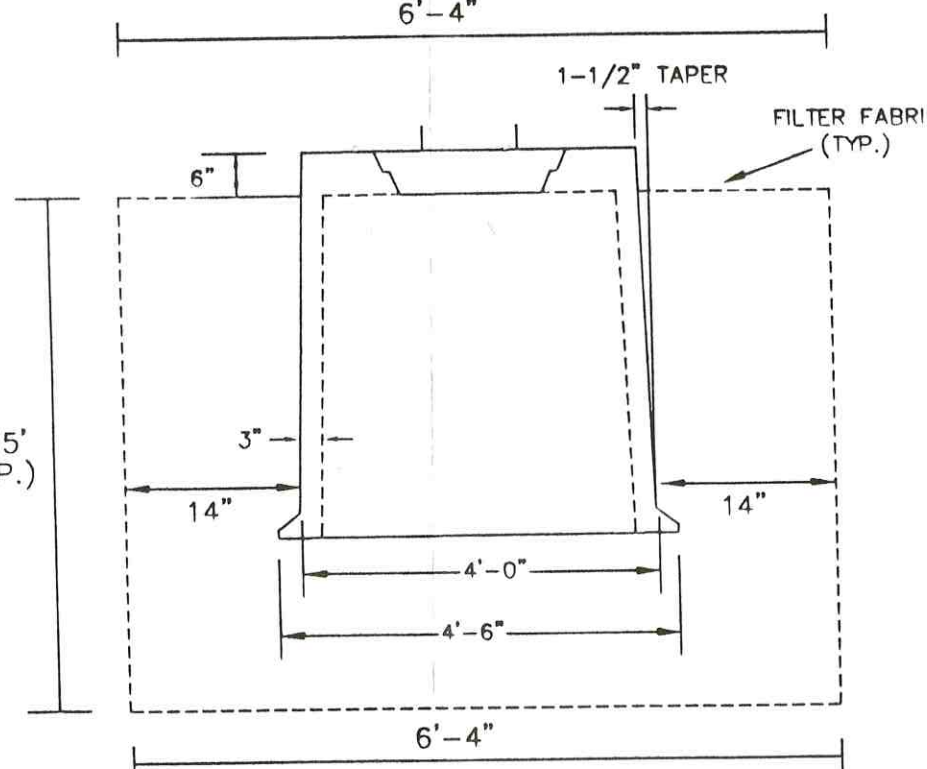
PLAN VIEW



SIDE VIEW



DRAIN HOLES 6"x4" TO 5"x2" TAPER
SIDE VIEW



CALCULATIONS

IMPERVIOUS AREA = 2062 S.F.
 $1' = .08'$
REQ. VOLUME = 164.96 CF
SAY 165 CF TOTAL

VOLUME OF STONE VOIDS = 42.7 CF
VOLUME OF GALLEY = 39.8 CF
82.5 CF TOTAL

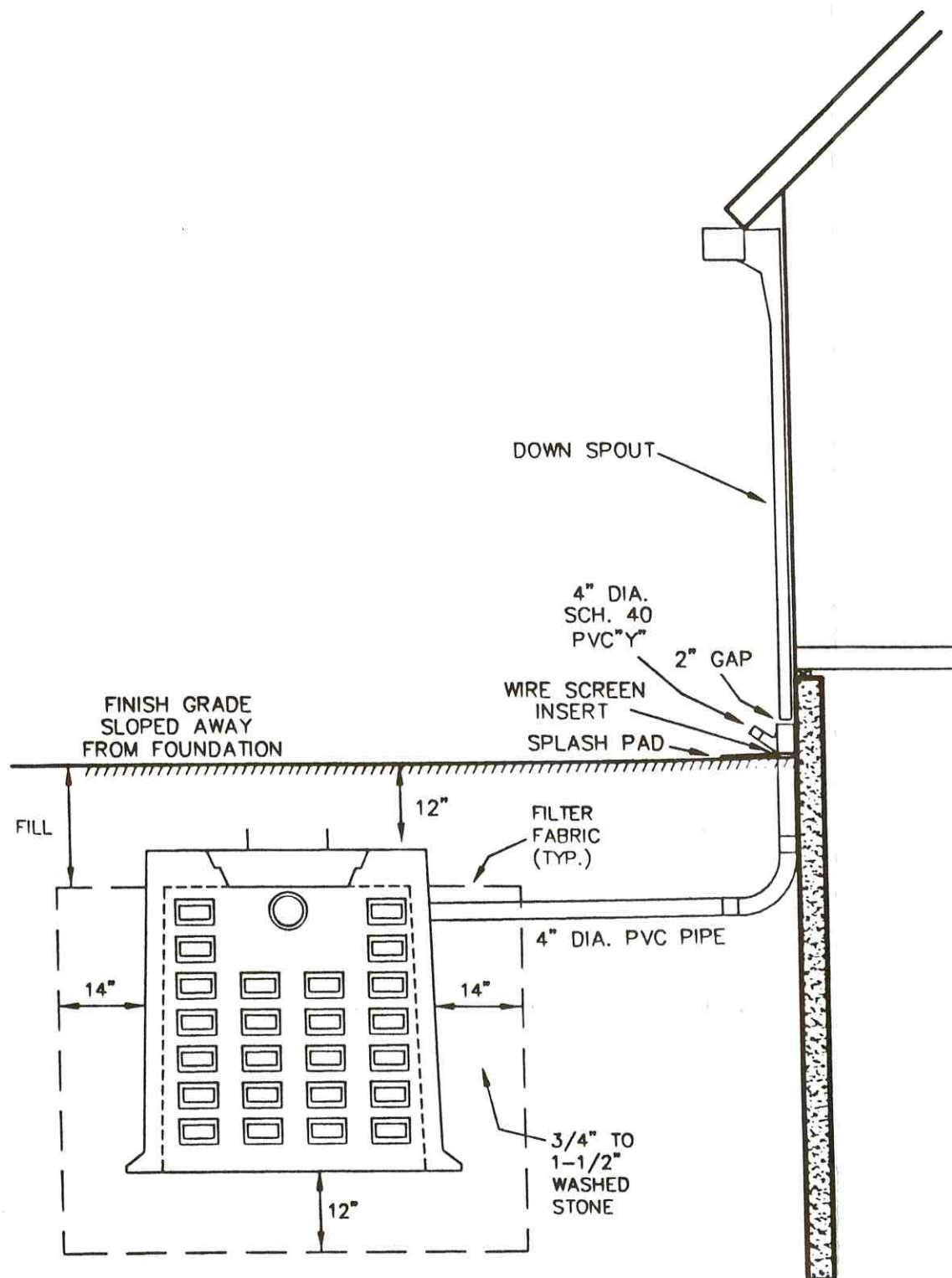
USE 2 GALLEYS $82.5 \times 2 = 165.0$ C.F.

- NOTES:
1. CONCRETE: 4,000 PSI MINIMUM AFTER 28 DAYS.
 2. DESIGNED FOR AASHTO HS-20 LOADING, 1 TO 3 FEET COVER.
 3. GALLEY AVAILABLE IN BOTH END AND CENTER SECTIONS. CENTER SECTIONS HAVE LARGE OPENING IN BOTH THE BACK AND FRONT SIDES.

SHEET 2 OF 2
BUILDING PERMIT
PLOT PLAN
FORMERLY KNOWN AS
176 POTTER STREET
IN
NEW BEDFORD, MA

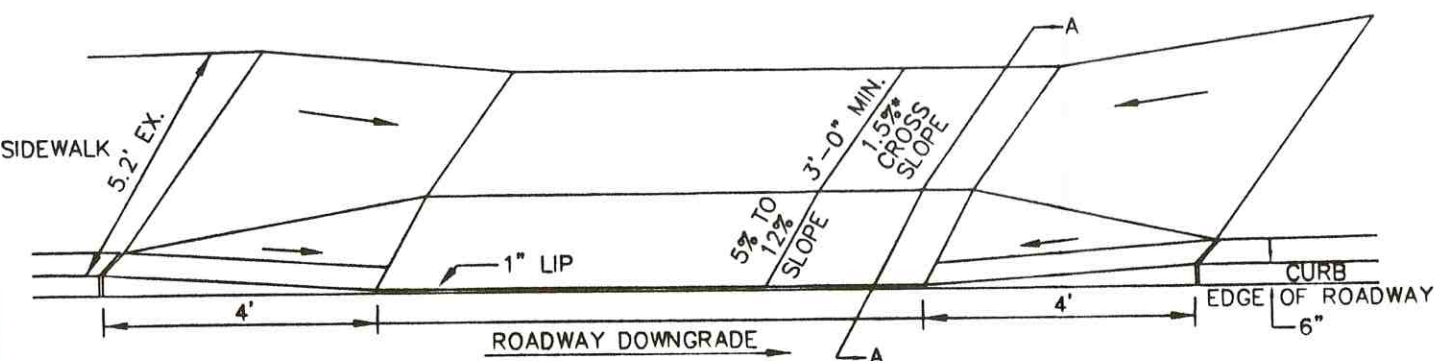
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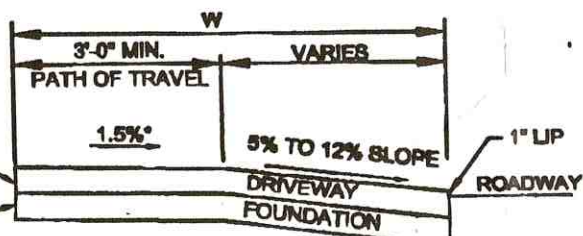
ROOF DRAIN GALLEY DETAIL
(NOT TO SCALE)

NOTE:
ON 01-11-2019 JOHN W. DELANO INSPECTED THE EXCAVATION AROUND THE RECENTLY INSTALLED FOUNDATION. NO EVIDENCE OF GROUNDWATER WAS OBSERVED TO 6'. THE SOIL IN SITU WAS CONSISTENT WITH URBAN SOIL & WAS A LOAMY SAND WITH SOME GRAVEL.



SIDEWALK THICKNESS
AS DRIVEWAYS

CC = 8" MIN.
HMA = 3 1/2" MIN.



SECTION A-A

SIDEWALK THROUGH DRIVEWAYS
WITHOUT CURB RETURNS

LEGEND

W = SIDEWALK WIDTH
T = TOLERANCE FOR CONSTRUCTION $\pm 0.5\%$
CC = CEMENT CONCRETE
HMA = HOT MIX ASPHALT

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JN - 7227

C-5034