

Fire Supply
SERVICE 34032

NEW BEDFORD WATER WORKS
APPLICATION FOR SERVICE AND METER

NEW BEDFORD

I HEREBY ACKNOWLEDGE the receipt of a copy of the Regulations prescribed in the Ordinance of the City, for the use of Water, and I request that the water may be furnished through a

10 inch D.I. meter at 75 MacArthur Drive

at such rates as may from time to time be established by the City.

I hereby agree to pay promptly the bill for the Service pipe laid down for my premises, and to pay all dues for water, and I agree to conform to the said Regulations and to all provisions of the Water Ordinances, until written notice is given by me or my agent to cut off the supply.

P. 31
Q. 241, 255 + 256

TELEPHONE

(988) 509 1570 16 Hassey St NB MA 02740

Ann Church - Office Manager

Street Side Realty LLC

Service laid _____ Size and kind of pipe _____

From contractor JB Lenagan _____ St.

Turned on _____ Meter Set _____

Reading _____ Location _____

Building rates \$2465.00 - Paid _____

Cost of Service 31-727 CLK#: 411874 Paid _____



N x N line Wright St.	102.0 ft.
S x S line South St.	280.0 ft.
E x W line MacArthur Dr.	14.0 ft.
N x S line	25.0 ft.
S x N line New Building	88.0 ft.
E x E line Building	25.0 ft.
Pipe inside property	12.0 ft.

J.B. Lanagan installed new 10" D.I. fire supply.
Inspected by Manny Rose on 05/08/19

DISPLAY PERMIT IN A CONSPICUOUS PLACE ON THE PREMISES



Commonwealth of Massachusetts

City of New Bedford

133 William Street New Bedford, MA 02740

WATER SERVICE PERMIT



Date: 2/13/2019

No. **W-19-3**

Permit Fee: \$465.00

Service Location: WS-31- MACARTHUR DR

Owner Name: STREETSIDE REALTY LLC

Owner Phone #: (508) 509-1570

Type of Occupancy: Commercial

Type of Work: Water - Fire Supply New 10"

Work Description: water#34032 FIRE SUPPLY

P.31
L.241, 255, 256

Contractor

Name: J. B. Lanagan Co., Inc.

Certificate #: _____

Type of Business : DPI - Other

Address: 21 East River Drive

City/Town/State: North Dartmouth

MA

Phone #: (508) 984-

Type of Service

Pipe Size

Trench Length:

0.00

Fire Service

Domestic Service

Estimated consumption of water

Estimated average daily consumption 0.00 gallons

Cross Connection? No

Estimated maximum day consumption 0.00 gallons

Right of Way? No

Are lawn sprinklers and/or lawn irrigation proposed on site? No

Meter Impact? No

Estimated fire flows required for the project site: 0.00

Street Opening Permit Required? No

Does the project require a fire suppression system? No

Required minimum static pressure for the proposed project site 0.00

GRANTED WITH THE USUAL CONDITIONS

Call Phone: (781) 942-9077 For Inspection



Department of Public Infrastructure

Jamie Ponte
Commissioner

Water
Wastewater
Highways
Engineering
Cemeteries
Park Maintenance
Forestry
Energy

CITY OF NEW BEDFORD

Jonathan F. Mitchell, Mayor

To Whom It May Concern:

I MICHAEL T. FERNANDES 16 HASSEY ST New Bedford MA., being
(Name) (Mailing Address)

Owner of property located at

75 MacArthur Drive, New Bedford, MA

Plot 81, Lot 248, hereby agree to allow J.B. Lanagan + Company, Inc.
(Name)

980 Reed Rd - Unit A, Dartmouth, MA, to act on my behalf including affixing my
(Mailing Address) 02747

signature in securing permit for:

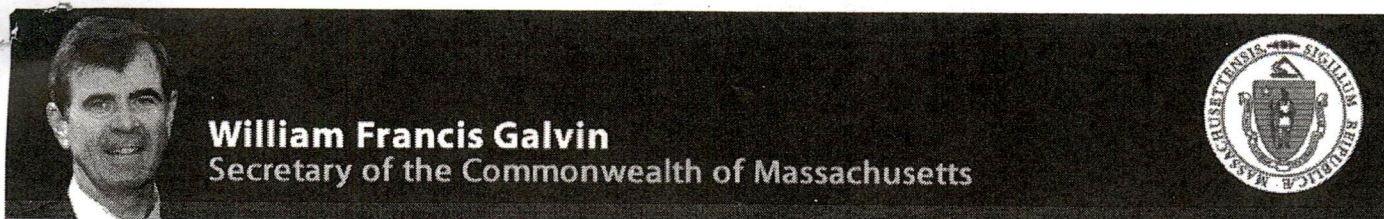
☒ Sewer/Drain Service Permits
☒ Water Service Permits
☒ 15' RES'D Driveway Installation Permits
☒ Sidewalk Installation Permits

I further agree to conform to, and abide by, All City rules and ask regulations applicable to the permit (s) being applied for:

Name Michael T. Lanagan, Manager of Streetside Realty LLC
Signature

16 HASSEY ST. New Bedford MA 02740
Address

1/29/19 5085091570
Date Telephone Number



Corporations Division

Business Entity Summary

ID Number: 001047637

[Request certificate](#)[New search](#)Summary for: **STREETSIDE REALTY LLC****The exact name of the Domestic Limited Liability Company (LLC):** STREETSIDE REALTY LLC**Entity type:** Domestic Limited Liability Company (LLC)**Identification Number:** 001047637**Date of Organization in Massachusetts:**
03-03-2011**Last date certain:****The location or address where the records are maintained** (A PO box is not a valid location or address):

Address: 16 HASSEY STREET

City or town, State, Zip code, NEW BEDFORD, MA 02740 USA
Country:**The name and address of the Resident Agent:**

Name: KENNETH A. MELANSON

Address: 16 HASSEY STREET

City or town, State, Zip code, NEW BEDFORD, MA 02740 USA
Country:**The name and business address of each Manager:**

Title	Individual name	Address
MANAGER	KENNETH A. MELANSON	16 HASSEY STREET NEW BEDFORD, MA 02740 USA
MANAGER	MICHAEL T. FERNANDES	16 HASSEY STREET NEW BEDFORD, MA 02740 USA

In addition to the manager(s), the name and business address of the person(s) authorized to execute documents to be filed with the Corporations Division:

Title	Individual name	Address

The name and business address of the person(s) authorized to execute, acknowledge, deliver, and record any recordable instrument purporting to affect an interest in real property:

Title	Individual name	Address
REAL PROPERTY	KENNETH A. MELANSON	16 HASSEY STREET NEW BEDFORD, MA 02740 USA
REAL PROPERTY	MICHAEL T. FERNANDES	16 HASSEY STREET NEW BEDFORD, MA 02740 USA



Consent

Confidential
DataMerger
Allowed

Manufacturing

View filings for this business entity:

ALL FILINGS
Annual Report
Annual Report - Professional
Articles of Entity Conversion
Certificate of Amendment
Certificate of Incorporation

[View filings](#)**Comments or notes associated with this business entity:**[New search](#)

ASR-D.P.I. Engrg.

RE: TB-18-3787

75 MacArthur Dr. (Purported Address)*

[Proposed Refrigerated Food Warehouse—Northern Wind]

Plot 31/Lots 241, 255 & 256**

Reviewed: 2/1/2019

PLEASE NOTE:

It is the responsibility of the applicant and the contractors to be familiar with D.P.I. procedures/regulations and ascertain that all proposed work which falls under D.P.I. jurisdiction, whether shown on the submitted site plan or not, is identified and executed in accordance with City of New Bedford D.P.I. Construction Standards/Specifications. **The Certificate of Occupancy will not be signed for any work performed that is non-compliant and/or any of the following conditions are not met.**

The following conditions are to be met by the owner/representative as part of this permit approval:

1.) Per the preconstruction meeting held at D.P.I. on 1/22/2019 in regards to the above project site, all requirements/conditions as set forth by D.P.I. at said meeting in regards to the development of this site must be met, and all construction must be performed in accordance with City of New Bedford D.P.I. Construction Standards and Specifications. Please note that all issues discussed at said meeting and in subsequent phone conversations, along with the respective site plan revisions requested, must have been addressed prior to this department issuing any permits. The latest revised site plan delivered to D.P.I. (and also submitted via View Permit) is titled: "Site Plan, #75 MacArthur Drive, Assessors Map #31 Lots #248 & 255, New Bedford, Massachusetts," with a date of 10/12/2018 (and latest revision date of 2/1/2019), has been conditionally approved, with the following comments:

- a.) Hydrant flow test will be required for the proposed fire system. See additional comments under D.P.I. —Water.
- b.) Please be advised that the northernmost sewer service presently exiting the east side of the main building can only be utilized strictly for sanitary purposes, since there is no sampling manhole proposed at this location. D.P.I. was informed that there are only bathrooms that are tied into this exit point. The southernmost sewer service presently exiting the east side of the main building goes into a sewer manhole just east of said building wall. D.P.I. was informed that it was not clear as to whether the floor drains/process water/bathrooms were tied into this exit point. Thus, at the request of Wayne Perry/IPP/FOG program, it was requested that the site plan reflect said sewer manhole as a sampling manhole, being that the proposed 6" sewer service exiting the new addition (refrigerated warehouse) is also to be tied into said sewer manhole also, and there were no plans were submitted showing where the existing/proposed floor drain locations, process water exit points, bathrooms are located. The permit application, as well as an as-built depicting the floor drain, process water and bathroom locations/discharge exit points, must have been submitted and approved. All program requirements must have been met before D.P.I. signs off on the Certificate of Occupancy.

2.) This project must be built in accordance with the approved Site Plan Review and all D.P.I. comments on said review (per Memo to Planning Board dated 11/6/2018), and in accordance with the final revised plans that were submitted/approved by D.P.I.

3.) When applying for the sewer/storm drain, water and/or sidewalk/driveway permit(s): Two full scale paper copies per permit being pulled must be provided for permitting purposes, and must clearly show the proposed work. A permission letter from the property owner will be required in order for a representative/agent to be able to sign the permits. For additions only, D.P.I. will issue permits contingent upon a copy of the stamped foundation as-built plan and the foundation permit issued being submitted to D.P.I. immediately following the installation of the addition's foundation. If the property was acquired in the past 3 months, a copy of the recorded deed showing the new ownership must also be provided.

4.) Legal address number assigned by the City of New Bedford must be posted on the door it was assigned to, and if said door is set back from the street, a marker must be placed on the private property close to the street indicating the existence of said address. Please contact D.P.I.-Engineering at (508) 979-1550 with any questions.

5.) Submit a stamped final site as-built to D.P.I. showing the location of building/structure and all utilities (i.e. sewer, storm drain, water, etc.) installed as part of this project for City records.

Please be advised that any and all future modifications to the above mentioned site plan that is being conditionally approved as part of this project review must be resubmitted for review/approval if said changes entail work that falls under the jurisdiction of D.P.I.

Please Note:

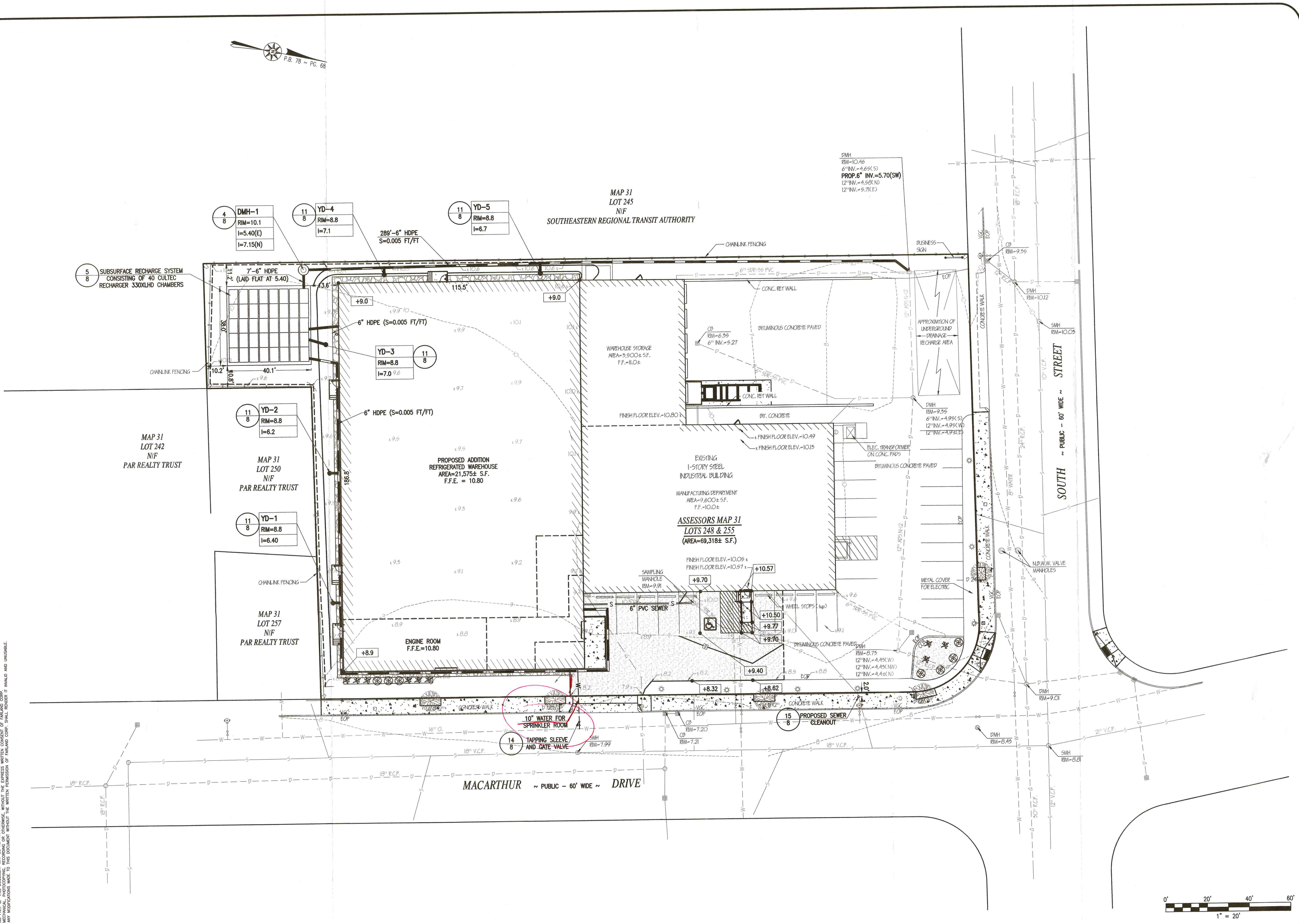
*If it is determined by D.P.I. that the address being utilized as that of the main entrance of the structure is not the address on record with the City as corresponding to said main entrance, the applicant/representative will be required to contact D.P.I. to rectify the issue before D.P.I. signs off on the C.O.

**This property is comprised of 3 lots (Lots 241, 255 & 256). The property lines of these parcels are not properly depicted on the site plan submitted, and the lot numbers noted are not correct. Even though in the View Permit system the building permit is filed under Lot 248, the correct lot numbers are as listed above.

THE COMMENT BELOW WAS ALSO ADDED SEPARATELY AS A "PRIVATE COMMENT" TO INSPECTIONAL SERVICES AND IS PART OF THE ABOVE REVIEW:

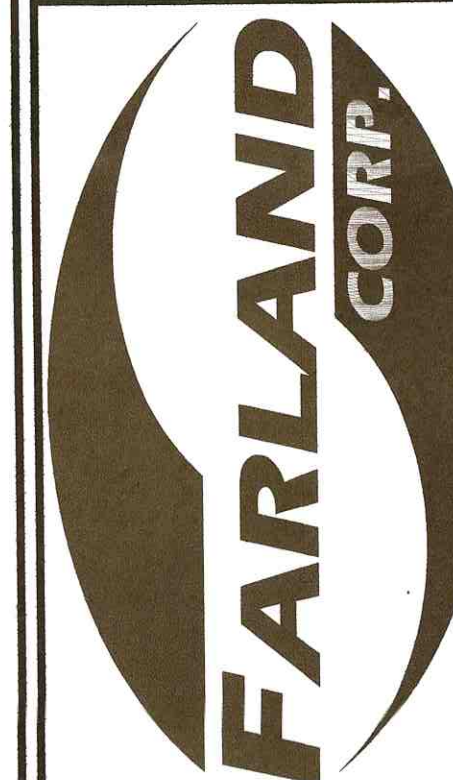
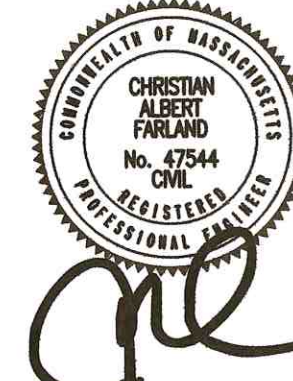
Note to Inspectional Services: Kindly provide the applicant with a copy of the D.P.I. comments attached to this review in View Permit, or please direct them to D.P.I. and we will be glad to provide them with a copy. It is important that they are aware of the conditions of their approval.

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REVISIONS

NO.	DATE	DESCRIPTION
2	12/17/18	SIDEWALKS
3	01/04/19	FINAL
4	01/25/19	PER DPA COMMENTS
5	01/30/19	PER DPA COMMENTS
6	02/01/19	PER DPA COMMENTS



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401 COUNTY STREET

NEW BEDFORD, MA 02740

P. 508.717.3479

OFFICES IN:

• TAUNTON

• MARLBOROUGH

• WARWICK, RI

DRAWN BY: JKM

DESIGNED BY: CAF

CHECKED BY: CAF

SITE PLAN
#75 MACARTHUR DRIVE
ASSESSORS MAP 31 LOTS 248 & 255
NEW BEDFORD, MASSACHUSETTS
PREPARED FOR:
STREETSIDE REALTY LLC
14 HASSETT STREET
NEW BEDFORD, MA 02740

OCTOBER 12, 2018

SCALE: 1"=20'

JOB NO. 18-850

LATEST REVISION:

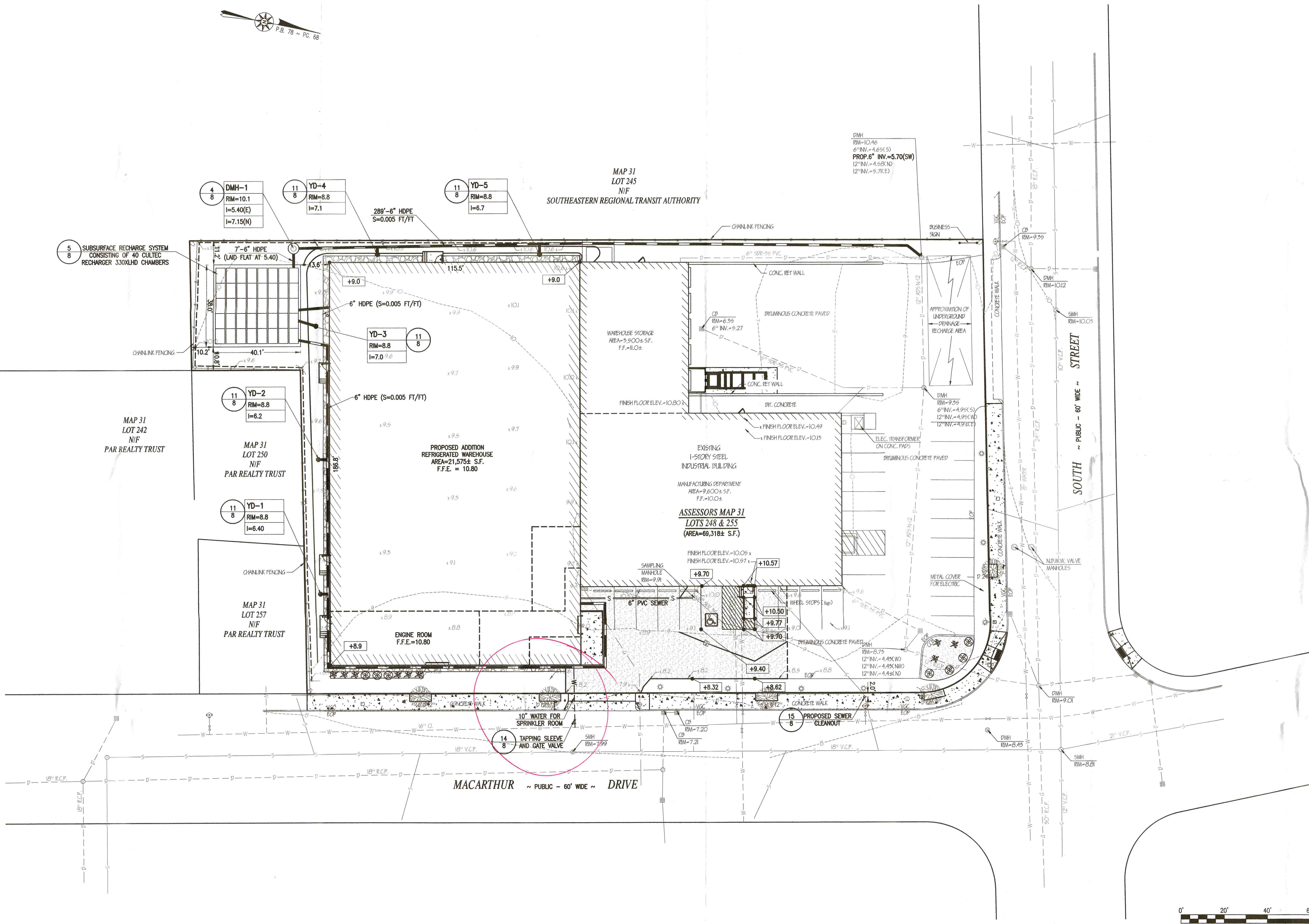
020119

GRADING &

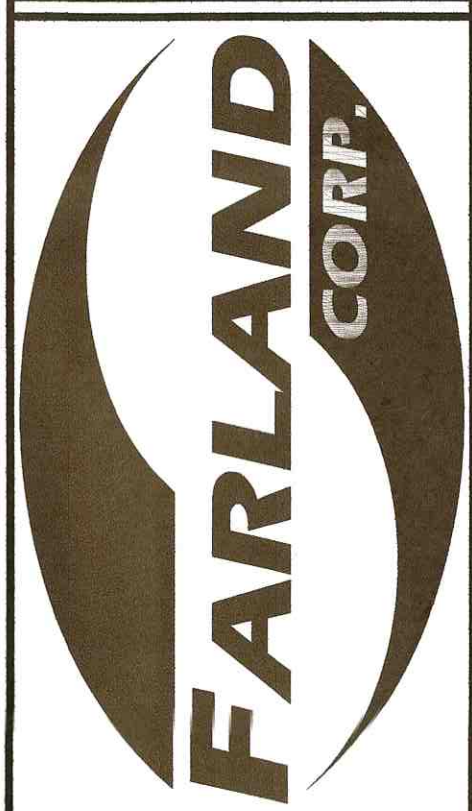
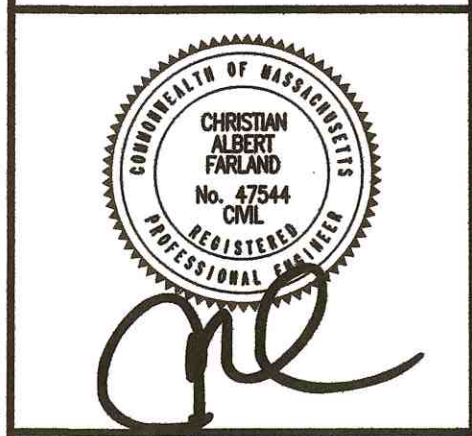
DRAINAGE PLAN

SHEET 5 OF 8

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REVISIONS	
2	121718 SIDEWALKS
3	010419 FINAL
4	012519 PER DPL COMMENTS
5	013019 PER DPL COMMENTS
6	020119 PER DPL COMMENTS



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PREPARED FOR:

OCTOBER 12, 2018
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GRADING &
DRAINAGE PLAN
SHEET 5 OF 8