

WV-19-1
SERVICE 34030

Expires 1-22-20
NEW BEDFORD WATER WORKS

APPLICATION FOR SERVICE AND METER

NEW BEDFORD 1-22-19

I HEREBY ACKNOWLEDGE the receipt of a copy of the Regulations prescribed in the Ordinance of the City, for the use of Water, and I request that the water may be furnished through a

1" inch Copper meter at Anthony Terrace
W.S. 225 Box Rebecca St.

at such rates as may from time to time be established by the City.

I hereby agree to pay promptly the bill for the Service pipe laid down for my premises, and to pay all dues for water, and I agree to conform to the said Regulations and to all provisions of the Water Ordinances, until written notice is given by me or my agent to cut off the supply.

P. 120

L. 57

Robert Correia
TELEPHONE 774-836-8800 52 Anthony Terrace
NB MA 02748

Service laid _____ Size and kind of pipe _____

From Single FAM _____ St.

Turned on _____ Meter Set _____

Reading _____ Location _____

Building rates _____ Paid _____

Cost of Service \$500.00 ack #4699 Paid _____

31-727

N X N LINE REBECCA STREET 218"

E X W LINE ANTHONY TERRACE 7"

N X S LINE HOUSE 21 Ft.

S X N LINE HOUSE 27'

E X E LINE HOUSE 37.5'

MAIN TO PROPERTY LINE : 14 Ft

PIPE INSIDE PROPERTY 32ft

DISPLAY PERMIT IN A CONSPICUOUS PLACE ON THE PREMISES



Commonwealth of Massachusetts

City of New Bedford

133 William Street New Bedford, MA 02740

WATER SERVICE PERMIT



Date: 2/1/2019

No. **W-19-1**

Permit Fee: \$500.00

Service Location: WS- ANTHONY TER

Owner Name: CORREIA ROBERT J

Owner Phone #: (774) 836-8800

Type of Occupancy: Residential

Type of Work: Water - Domestic New 1"

Work Description: service#34030
P.120
L.57

Anthony Terrace WS 225' N x Rebecca St

single family
1" COPPER

Contractor

Name: Robert J. Canessa Certificate #: _____ Type of Business : DPI - Other

Address: P. O. Box 51643 City/Town/State: New Bedford MA Phone #: (508) 998-

Type of Service Pipe Size Trench Length: 0.00

Fire Service _____

Domestic Service _____

Estimated consumption of water

Estimated average daily consumption 0.00 gallons

Cross Connection? No

Estimated maximum day consumption 0.00 gallons

Right of Way? No

Are lawn sprinklers and/or lawn irrigation proposed on site? No

Meter Impact? No

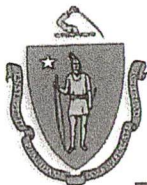
Estimated fire flows required for the project site: 0.00

Street Opening Permit Required? No

Does the project require a fire suppression system? No

Required minimum static pressure for the proposed project site 0.00

Call Phone: (781) 942-9077 For Inspection



Commonwealth of Massachusetts

CITY OF NEW BEDFORD

City Hall, Room 308, 133 William Street New Bedford, MA 02740 (508) 979-1540



FOUNDATION PERMIT

12/18/2018

No. **B-18-2886**

MSBC Sect. 111.8 - Any permit issued shall be deemed abandoned and invalid unless the work authorized by it shall have been commenced within six (6) months after its issuance.

FEE PAID \$100.00

This certifies that **JOHN J. MAFFEI**

owner/contractor has permission to:

WS

ANTHONY TER

on: **Foundations Only 1-2 Family - 100.00**

Providing that the person accepting this permit shall in every respect conform to the terms of application therefore on file in this office; to the provisions of the statute of the Commonwealth and to the by-laws of the City of New Bedford relating to the inspection, erection, enlarging, altering, raising, moving, repairing, or tearing down of a building.

Permit is issued subject to the following special requirements: (Restrictions)



Wiring Inspector



Plumbing Inspector



Building Inspector

YOUR AREA INSPECTOR IS: **Robert Carreiro**

Tel. (508) 979-1540 Between 8:00am - 9:00am

NOTICE: NOTIFY INSPECTOR 48 HOURS IN ADVANCE OF APPLYING SHEATHING OR LATHING

OCCUPANCY PERMIT REQUIRED BEFORE OCCUPANCY

No Building or Structure shall be used or occupied until the Certificate of Use and Occupancy shall have been issued by the Building Commissioner - MSBC, Sect. 120.1

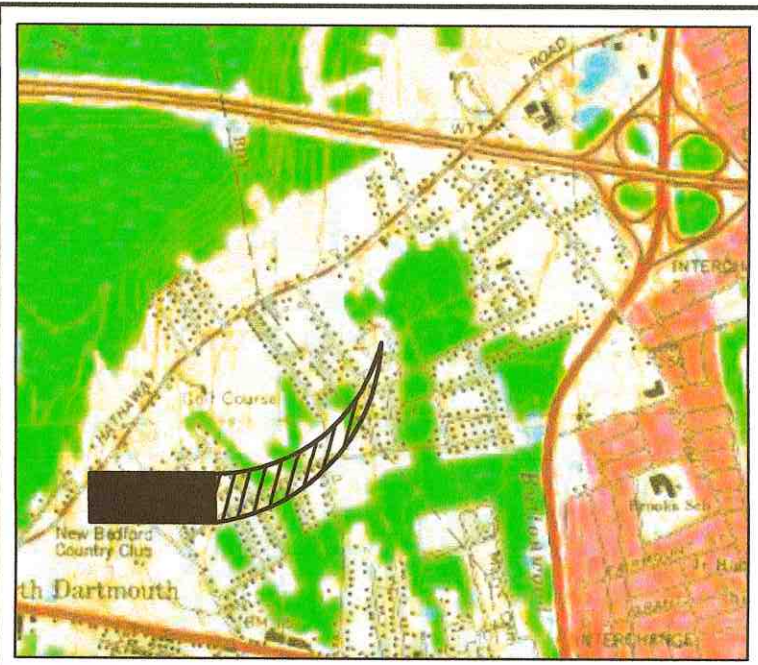
This Card Must Be Displayed in a Conspicuous Place on the Premises and Not Torn Down or Removed Until Completion of Work

SUBJECT TO MASSACHUSETTS
STATE BUILDING CODE

Danny D. Romanowicz

Building Inspector

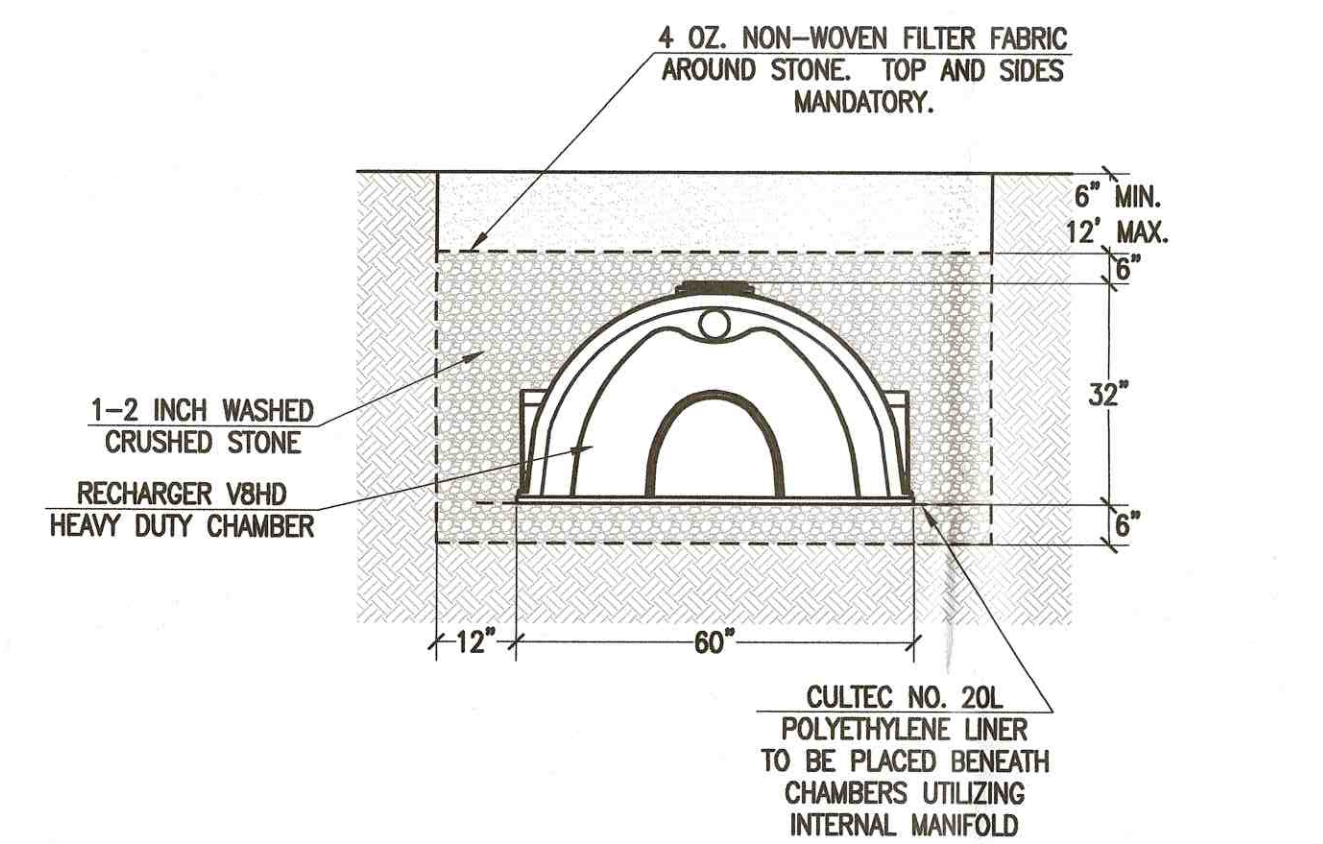
Plan Review Comments:



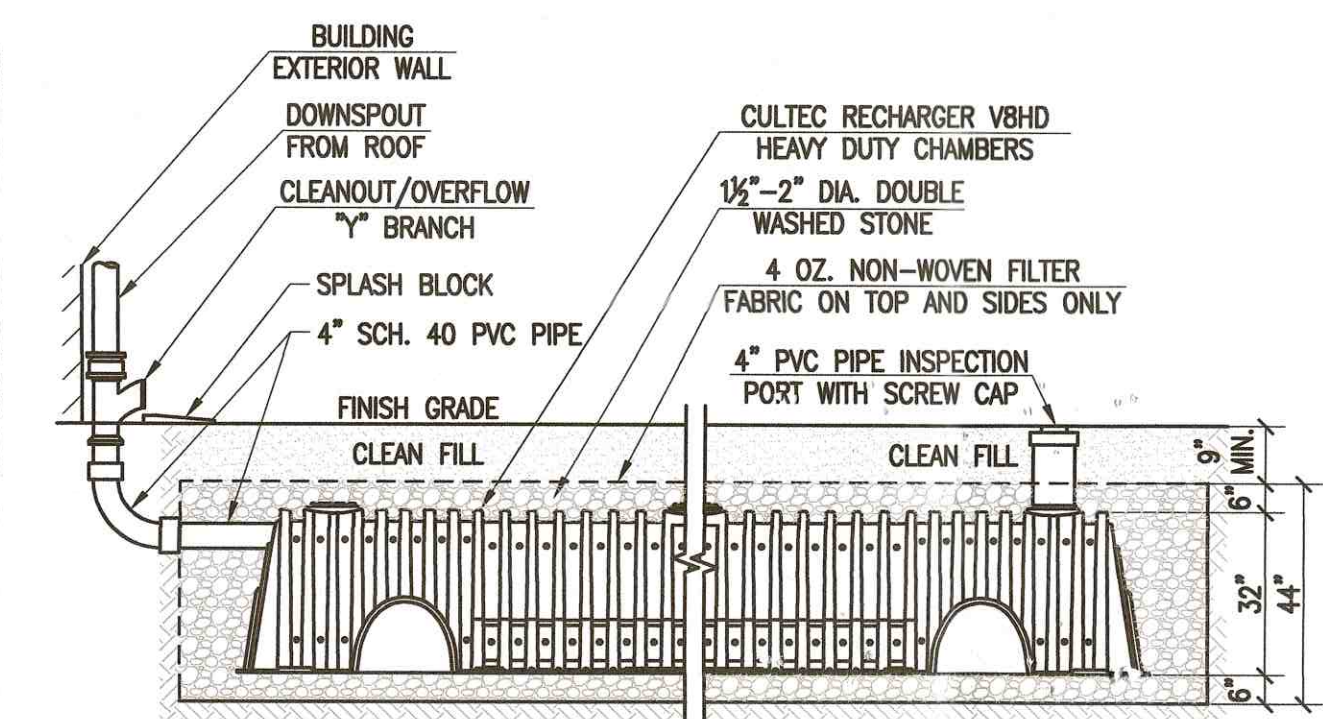
LOCUS MAP SCALE: 1"=2,000'±

SUBSURFACE ROOF RECHARGE UNIT SIZING CALCULATIONS:
INFLOW AREA = 1,196 SF, 100.00% IMPERVIOUS, INFLOW DEPTH = 2.77" FOR 2-YEAR STORM EVENT
INFLOW = 0.08 CFS @ 12.09 HRS, VOLUME= 276 CF
OUTFLOW = 0.00 CFS @ 7.95 HRS, VOLUME= 140 CF, ATTN= 98%, LAG= 0.0 MIN
DISCARDED = 0.00 CFS @ 7.95 HRS, VOLUME= 140 CF
ROUTING BY STOR-IND METHOD, TIME SPAN= 0.00-30.00 HRS, DT= 0.05 HRS
PEAK ELEV= 99.53' @ 17.48 HRS SURF AREA= 126 SF REQUIRED STORAGE= 182 CF
VOLUME INVERT AVAIL STORAGE STORAGE DESCRIPTION
#1 155.93' 134 CF 7.00'W X 9.00'L X 3.66'H PRISMATOID X 2
461 CF OVERALL - 127 CF EMBEDDED = 335 CF X 40.0% VOIDS
#2 156.42' 127 CF 60.0'W X 32.0'H X 7.12'L PARABOLIC ARCH X 2 INSIDE #1
TOTAL AVAILABLE STORAGE = 260 CF >>> 182 CF

- ZONING DATA -		
DISTRICT: RA - RESIDENTIAL A		
DESCRIPTION	REQUIRED	PROVIDED
LOT AREA	8,000 S.F.	9,435± S.F.
LOT FRONTAGE	75 FT	81.27 FT
FRONT SETBACK	20 FT	29.4± FT
SIDE SETBACK	10/12 FT	20.3±/12.9± FT
REAR SETBACK	30 FT	59.4± FT
BUILDING HEIGHT (MAXIMUM)	45 FT	30± FT
BUILDING COVERAGE (MAXIMUM)	30 %	11.7± %
LOT COVERAGE (MAXIMUM)	65 %	19.2± %

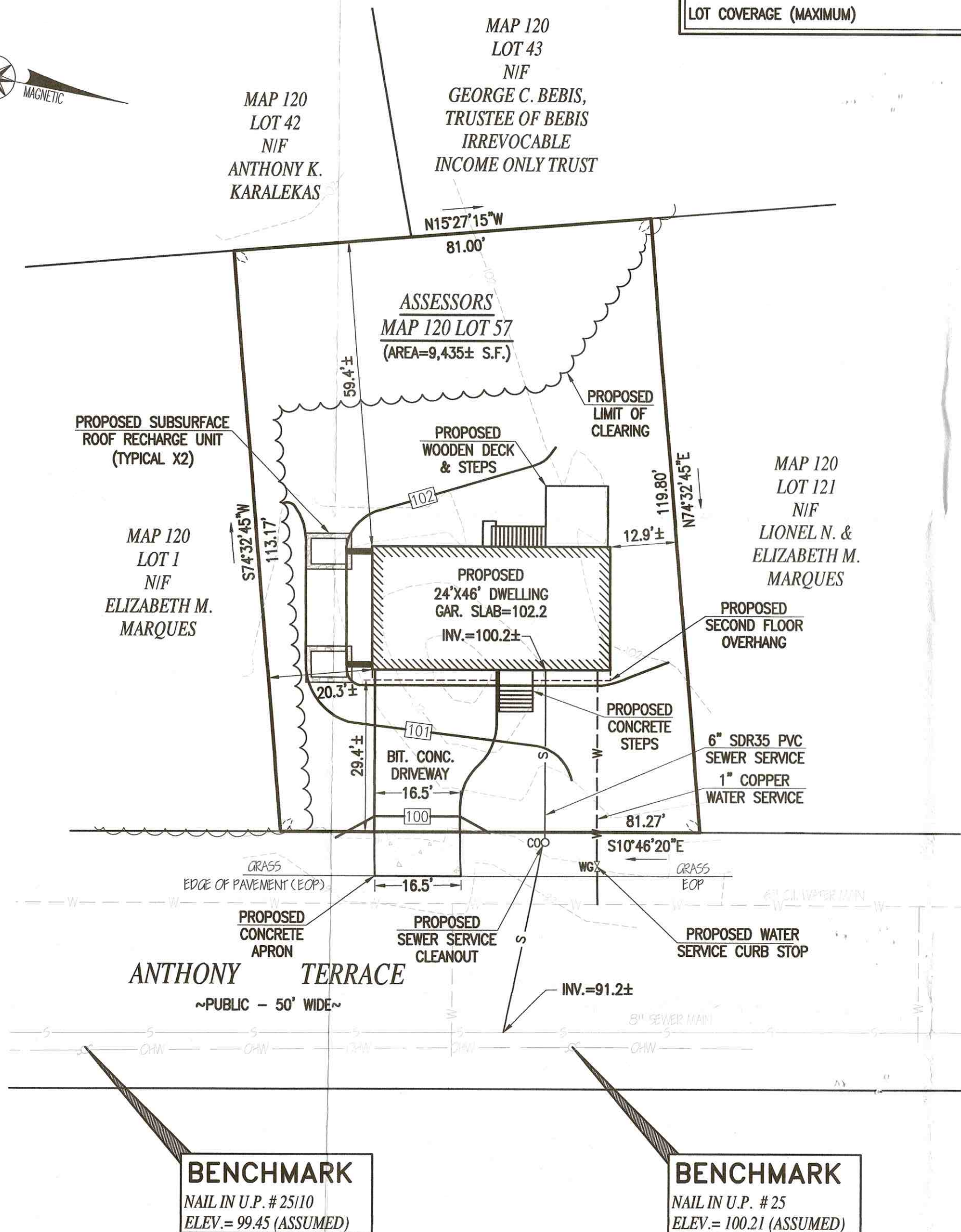


CULTEC RECHARGER V8HD STANDARD CROSS SECTION
NOT TO SCALE

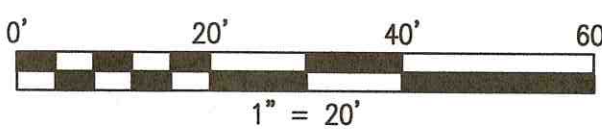


ROOF RECHARGE SYSTEM
NOT TO SCALE

- NOTES:
- TOPOGRAPHIC AND PROPERTY LINE SURVEY PERFORMED BY FARLAND CORP. IN AUGUST OF 2018.
 - PORTION OF DRIVEWAY BETWEEN EDGE OF ROADWAY AND PROPERTY LINE SHALL BE CONCRETE.



RECORD OWNER:
ASSESSORS MAP 120 LOT 57
ROBERT J. CORREIA
215 THOMAS STREET, UNIT 3
FALL RIVER, MA 02723
DEED BOOK 9214 PAGE 240



REVISIONS

1	11/9/18	DPI COMMENTS

www.FarlandCorp.com

401 COUNTY STREET
NEW BEDFORD, MA 02740
P.508.717.3479
OFFICES IN:
•TAUNTON
•MARLBOROUGH
•WARWICK, RI

DRAWN BY: MIW
DESIGNED BY: MIW
CHECKED BY: CAF

SITE PLAN
WS ANTHONY TERRACE
ASSESSORS MAP 120 LOT 57
NEW BEDFORD, MASSACHUSETTS

PREPARED FOR:
JOHN WATTE
132 MYSTIC DRIVE
MASSON MILLS, MA 02846

SEPTEMBER 19, 2018
SCALE: 1"=20'
JOB NO. 18-731
LATEST REVISION:
NOVEMBER 9, 2018

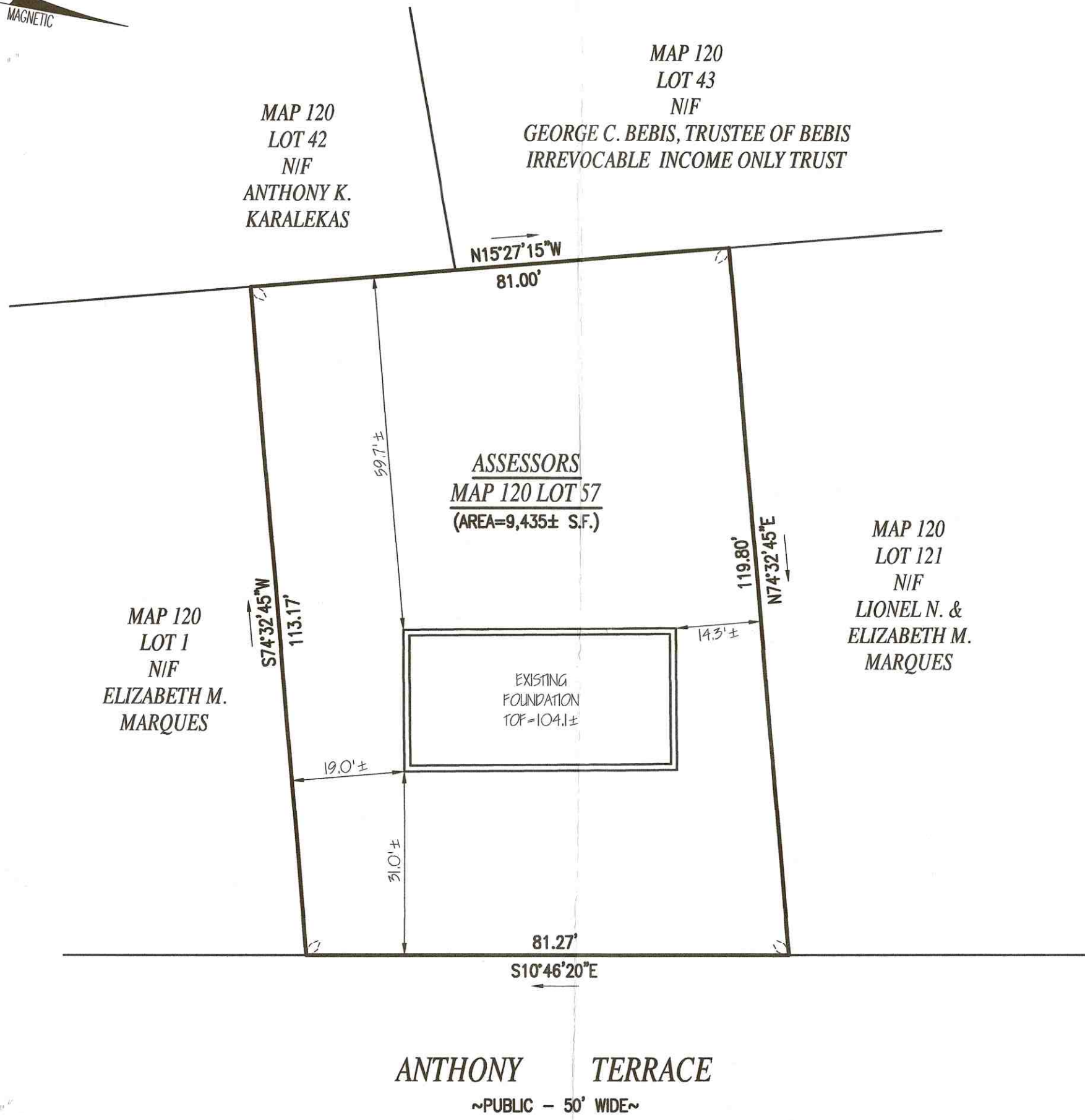
SHEET 1 OF 1



LOCUS MAP SCALE: 1"=2,000'±

I CERTIFY THAT THE LOCATION OF THE FOUNDATION SHOWN ON THIS PLAN HAS BEEN LOCATED ON THE GROUND BY INSTRUMENT SURVEY AND THAT SAID FOUNDATION IS IN CONFORMANCE WITH LOCAL ZONING BY-LAWS IN EFFECT AT THE TIME THIS PLAN WAS PREPARED.

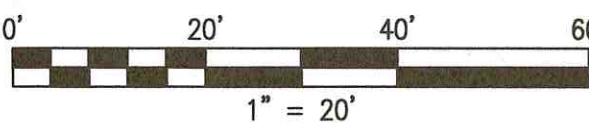
BRIAN J. MURPHY
1-11-19
DATE



BENCHMARK
NAIL IN U.P. # 25/10
ELEV = 99.45 (ASSUMED)

BENCHMARK
NAIL IN U.P. # 25
ELEV = 100.21 (ASSUMED)

RECORD OWNER:
ASSESSORS MAP 120 LOT 57
ROBERT J. CORREIA
215 THOMAS STREET, UNIT 3
FALL RIVER, MA 02723
DEED BOOK 9214 PAGE 240



— ZONING DATA —		
DISTRICT: RA - RESIDENTIAL A		
DESCRIPTION	REQUIRED	EXISTING
FRONT SETBACK	20 FT	31.0± FT
SIDE SETBACK	10/12 FT	14.3±/19.0± FT
REAR SETBACK	30 FT	59.7± FT
BUILDING COVERAGE (MAXIMUM)	30 %	11.7± %

REVISIONS



401 COUNTY STREET
NEW BEDFORD, MA 02740
P.508.717.3479
OFFICES IN:
• TAUNTON
• MARLBOROUGH
• WARWICK, RI

DRAWN BY: MJW
DESIGNED BY: MJW
CHECKED BY: BJM

FOUNDATION AS-BUILT PLAN
ANTHONY TERRACE
ASSESSORS MAP 120 LOT 57
NEW BEDFORD, MASSACHUSETTS
PREPARED FOR:
JOHN WAFFE
192 MYSTIC DRIVE
MASSON MILLS, MA 02848

JANUARY 11, 2019
SCALE: 1"=20'
JOB NO. 18-731
LATEST REVISION:

SHEET 1 OF 1

COPYRIGHT © 2017 FARLAND CORP. ALL RIGHTS RESERVED. NO TRANSMISSION IN ANY FORM OR BY ANY MEANS, ELECTRONIC, MECHANICAL, PHOTOCOPYING, RECORDING OR OTHERWISE, WITHOUT THE EXPRESS WRITTEN CONSENT OF FARLAND CORP. ANY REPRODUCTION MADE TO THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF FARLAND CORP. SHALL BE SUBJECT TO PENALTY AND DAMAGES.

NOTES:
1. FOUNDATION AS-BUILT SURVEY PERFORMED BY FARLAND CORP. IN JANUARY OF 2019.