

W-18-44
SERVICE 34022

NEW BEDFORD WATER WORKS

APPLICATION FOR SERVICE AND METER

NEW BEDFORD

Expires 11-28-2019

11-28-2018

I HEREBY ACKNOWLEDGE the receipt of a copy of the Regulations prescribed in the Ordinance of the City, for the use of Water, and I request that the water may be furnished through a

1" inch copper meter at NS Dutton Street
235' W x Oakeset Avenue

at such rates as may from time to time be established by the City.

I hereby agree to pay promptly the bill for the Service pipe laid down for my premises, and to pay all dues for water, and I agree to conform to the said Regulations and to all provisions of the Water Ordinances, until written notice is given by me or my agent to cut off the supply.

P. 1300

X.

Lopez Development LLC.

L. 390

34 Stocum Farm Drive

TELEPHONE 508-999-4424 x.

Service laid

R. J. CANESSA

Size and kind of pipe

From

Single Fam.

St.

Turned on

Sewer # 11,505

Meter Set

Reading

Location

Building rates

\$500.00

Paid

Cost of Service

CHK # 1305

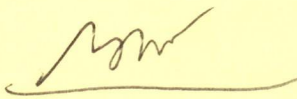
Paid

31-727

1" COPPER SERVICE:

W x W Line Acushnet Ave	220.0'
S x N Line Dutton St	11.0'
E x E Line House	2.0'
S x S Line House	59.7'
Main to Property Line	28.0'
Pipe inside property	70.0'

3-6-2019: New service installed
Inspector P. Reynolds
Contractor RJ CANESSA

picked up cuppling 10/21/19: 
appt for: 10/22/19 2:30

DISPLAY PERMIT IN A CONSPICUOUS PLACE ON THE PREMISES



Commonwealth of Massachusetts

City of New Bedford

133 William Street New Bedford, MA 02740

WATER SERVICE PERMIT



Date: 2/1/2019

No. **W-18-44**

Permit Fee: \$500.00

Service Location: NS- DUTTON ST

Owner Name: BAPTISTA CAROLBAKER

Owner Phone #: (508) 999-4424

Type of Occupancy: Residential

Type of Work: Water - Domestic New 1"

Work Description: water service # 34022

P.130C
L.390

expires: 11-28-19

Contractor

Name: Robert J. Canessa Certificate #: _____ Type of Business : DPI - Other

Address: P. O. Box 51643 City/Town/State: New Bedford MA Phone #: (508) 998-

Type of Service Pipe Size Trench Length: 0.00

Fire Service _____

Domestic Service _____

Estimated consumption of water

Estimated average daily consumption 0.00 gallons

Cross Connection? **No**

Estimated maximum day consumption 0.00 gallons

Right of Way? **No**

Are lawn sprinklers and/or lawn irrigation proposed on site? **No**

Meter Impact? **No**

Estimated fire flows required for the project site: 0.00

Street Opening Permit Required? **No**

Does the project require a fire suppression system? **No**

Required minimum static pressure for the proposed project site 0.00

Call Phone: (781) 942-9077 For Inspection



Commonwealth of Massachusetts

CITY OF NEW BEDFORD

City Hall, Room 308, 133 William Street New Bedford, MA 02740 (508) 979-1540



FOUNDATION PERMIT

No. **B-18-1306**

7/20/2018

MSBC Sect. 111.8 - Any permit issued shall be deemed abandoned and invalid unless the work authorized by it shall have been commenced within six (6) months after its issuance.

FEE PAID \$100.00

This certifies that **David Silveira**

owner/contractor has permission to:

NS

DUTTON ST

on: **Foundations Only 1-2 Family - 100.00**

Providing that the person accepting this permit shall in every respect conform to the terms of application therefore on file in this office; to the provisions of the statute of the Commonwealth and to the by-laws of the City of New Bedford relating to the inspection, erection, enlarging, altering, raising, moving, repairing, or tearing down of a building.

Permit is issued subject to the following special requirements: (Restrictions)

Wiring Inspector



Plumbing Inspector



Building Inspector

YOUR AREA INSPECTOR IS: **Thomas Welch**

Tel. (508) 979-1540 Between 8:00am - 9:00am

**NOTICE: NOTIFY INSPECTOR 48 HOURS IN
ADVANCE OF APPLYING SHEATHING OR LATHING**

OCCUPANCY PERMIT REQUIRED BEFORE OCCUPANCY

No Building or Structure shall be used or occupied until the Certificate of Use and Occupancy shall have been issued by the Building Commissioner - MSBC, Sect. 120.1

This Card Must Be Displayed in a Conspicuous Place on the Premises and Not Torn Down or Removed Until Completion of Work

SUBJECT TO MASSACHUSETTS
STATE BUILDING CODE

Danny O. Romanowicz

Building Inspector

Plan Review Comments:

: Erect a foundation for a single family dwelling
Plot 136 Lot 390

: Any changes, alterations, removal or installation of any gas or plumbing fixture will require a permit as per the provisions of Any 248 CMR.

: NOTE: FOUNDATION,,, WILL NEED ELECTRICIAN AND ELECTRICAL PERMIT AND A BONDING WHIP OFF THE FOUNDATION REBAR TO BE USED AS THE UFER GROUND

- : 1. Water service to be copper and 10ft away from sewer service.
- 2. Water curb stop/shut off to be 1.5ft from face of curb or pavement.
- 3. Water meter to be installed at the point entry 1.0ft inside cellar wall.
- 4. Owner to apply for a water permit.

: D.P.I. Eng. - SD

RE: TB-18-1306

Dutton St. (N.S.) 235' W x Acushnet Ave

Plot 130C Lot 390

Reviewed 6/28/2018

Requirements to be met by applicant (owner or owner's agent/representative) for this project:

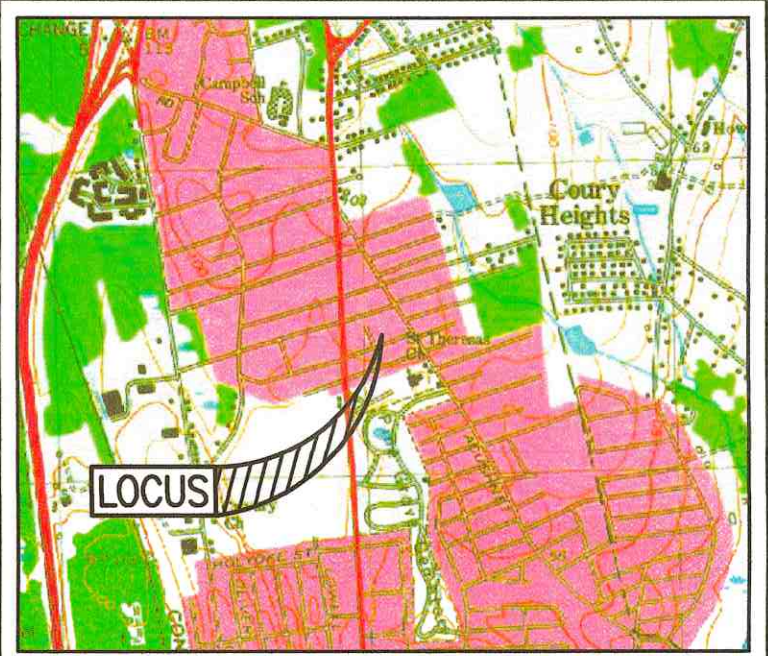
1.) The site plan submitted via the View Permit system to D.P.I., titled: "Site Plan, Dutton Street, Assessors Map 130C, Lot 390, New Bedford, MA", having a revision date of 5/29/2018 (originally dated 4/18/2018), as prepared by Farland Corp and stamped/signed by Christian Albert Farland, P.E. (Civil), was conditionally approved by D.P.I. for foundation permit ONLY.

2.) Site plan submitted will need to be revised to meet D.P.I. requirements and construction specifications/standards prior to obtaining any water, sewer/drain and driveway permits. D.P.I. has marked up the submitted site plan with required revisions. Please visit D.P.I. to obtain a copy of the revisions and to review with a D.P.I. engineer.

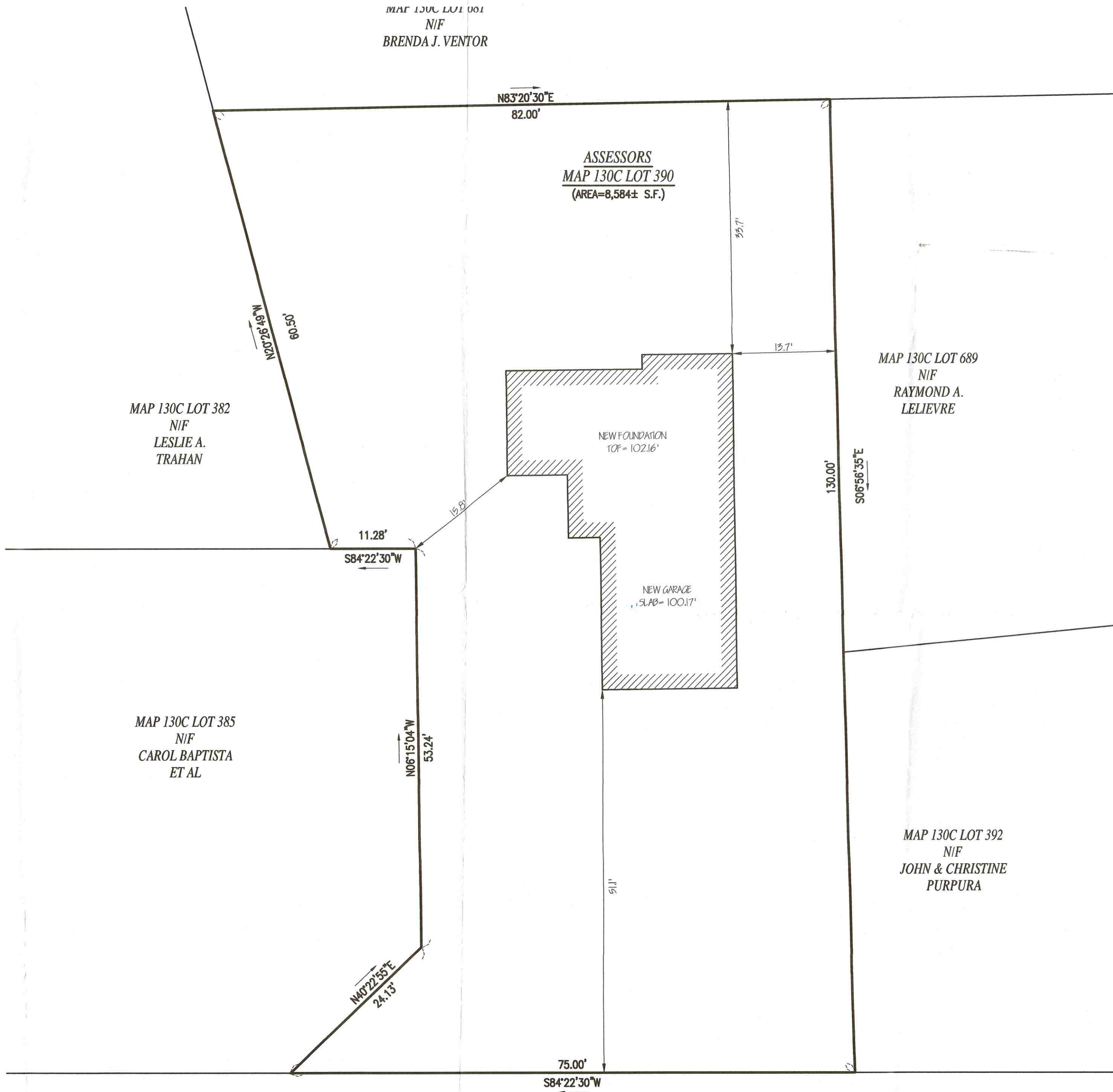
3.) Must provide 3 stamped/signed copies of the revised site plan approved by D.P.I. at the time of when applying for water, sewer/drain and driveway permits at D.P.I. [Any revisions made to the site plan after it has been approved by D.P.I. must be re-submitted for approval, even if the revisions were made per the requirements of another Department. The owner or agent/representative is responsible for making sure that the latest revised plan is provided to Inspectional Services to place on file in the View Permit System prior to D.P.I. submitting its review.] Also, a copy of the foundation permit and of the stamped/signed foundation as-built plan must also be submitted prior to applying for water, sewer/ drain and driveway permits.

Note: Any agent/representative pulling permits on behalf of the owner must provide D.P.I. with a permission slip. If the property was acquired within the past 3 months, then a copy of the recorded deed showing property ownership must also be provided.

4.) Must contact D.P.I.-Engineering to measure for building number (address) once front door is framed. The C.O. will not be signed unless the legal address assigned by the City is permanently affixed to, above, or next to, the main door entrance to which it was assigned such that it is highly visible from the street.

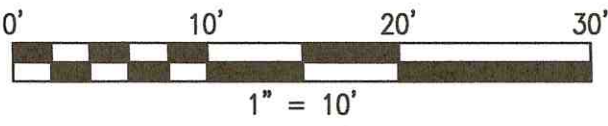


LOCUS MAP SCALE: 1"=2,000'±



RECORD OWNER:
ASSESSORS MAP 130C LOT 390
LOPEZ DEVELOPMENT, LLC
129 HUTTLESTON AVENUE
FAIRHAVEN, MA 02719
DEED BOOK 12338 PAGE 59
PLAN BOOK 177 PAGE 8

NOTES:
1. FOUNDATION AS-BUILT SURVEY PERFORMED BY FARLAND CORP. IN NOVEMBER OF 2018.



REVISIONS



www.FarlandCorp.com

401 COUNTY STREET
NEW BEDFORD, MA 02740
P. 508.717.3479
OFFICES IN:
• TAUNTON
• MARLBOROUGH
• WARWICK, RI

DRAWN BY: JT
DESIGNED BY: ***
CHECKED BY: BJM

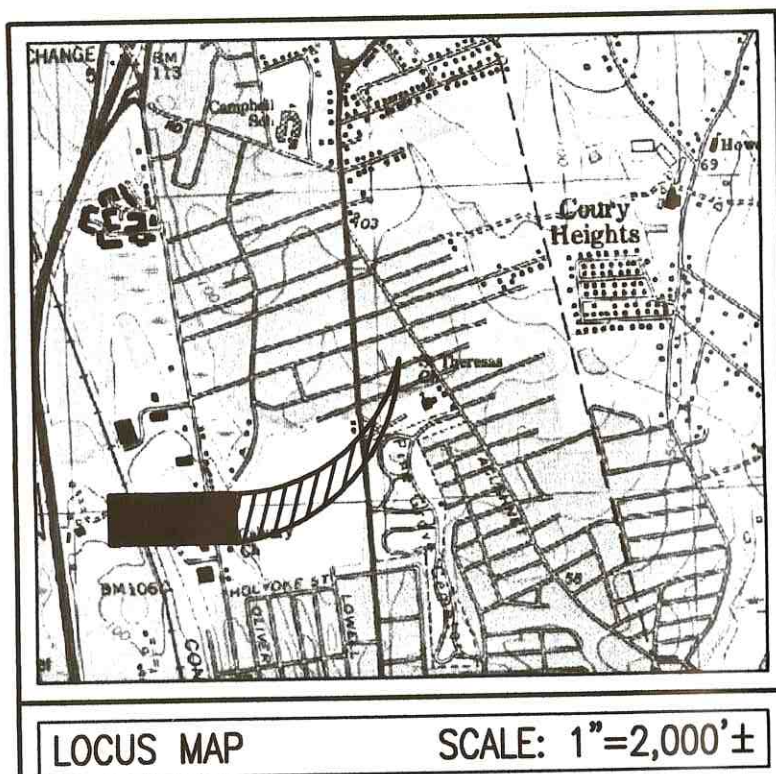
FOUNDATION AS-BUILT PLAN

1035 DUTTON STREET
ASSESSORS MAP 130C LOT 390
NEW BEDFORD, MASSACHUSETTS

PREPARED FOR:
LOPEZ DEVELOPMENT, LLC - EDDIE LOPEZ
129 HUTTLESTON AVENUE
FAIRHAVEN, MA 02719

NOVEMBER 21, 2018
SCALE: 1"=10'
JOB NO. 18-107
LATEST REVISION:

SHEET 1 OF 1



- ZONING DATA -		
DISTRICT: RA		
DESCRIPTION	REQUIRED	PROVIDED
FRONT SETBACK	20 FT	51.5± FT
SIDE SETBACK	10/12 FT	14.5± FT
REAR SETBACK	30 FT	33.3± FT
BUILDING COVERAGE (MAXIMUM)	30 %	11.6 %
GREEN SPACE (MINIMUM)	35 %	72.2 %

SUBSURFACE ROOF RECHARGE UNIT SIZING CALCULATIONS:

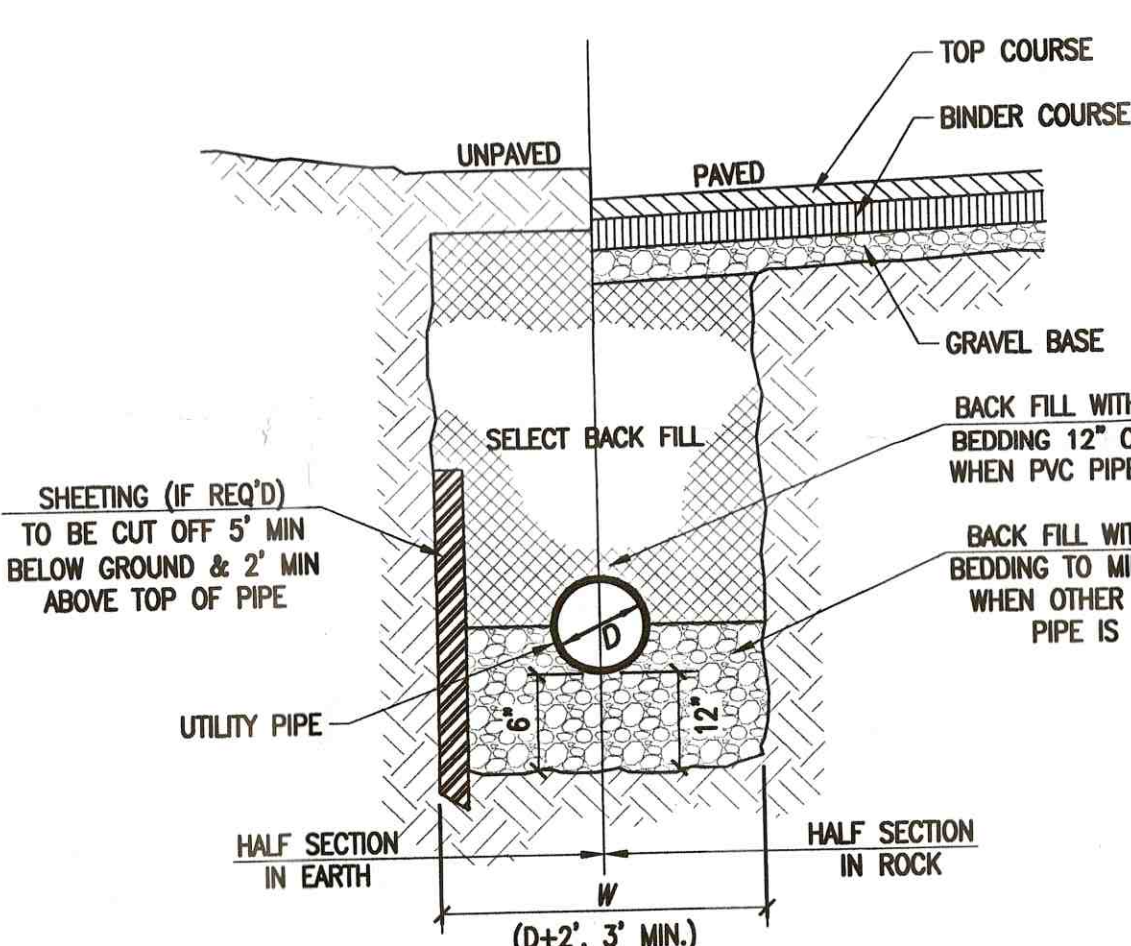
INFLOW AREA	= 998 SF, 100.00% IMPERVIOUS,	INFLOW DEPTH = 2.77" FOR 2-YEAR STORM EVENT
INFLOW	= 0.07 CFS @ 12.09 HRS,	VOLUME= 230 CF
OUTFLOW	= 0.00 CFS @ 8.45 HRS,	VOLUME= 138 CF, ATTN= 98%, LAG= 0.0 MIN
DISCARDED	= 0.00 CFS @ 8.45 HRS,	VOLUME= 138 CF

ROUTING BY STOR-IND METHOD, TIME SPAN= 0.00-30.00 HRS, DT= 0.05 HRS
 PEAK ELEV= 97.69' @ 16.72 HRS SURF AREA= 126 SF REQUIRED STORAGE= 144 CF

VOLUME	INVERT	AVAIL STORAGE	STORAGE DESCRIPTION
#1	95.83'	134 CF	7.00'W X 9.00'L X 3.66'H PRISMATOID X 2 461 CF OVERALL - 127 CF EMBEDDED = 335 CF X 40.0% VOIDS

VOLUME	INVERT	AVAIL STORAGE	STORAGE DESCRIPTION
#2	96.33'	127 CF	60.0'W X 32.0'H X 7.12'L PARABOLIC ARCH X 2 INSIDE #1

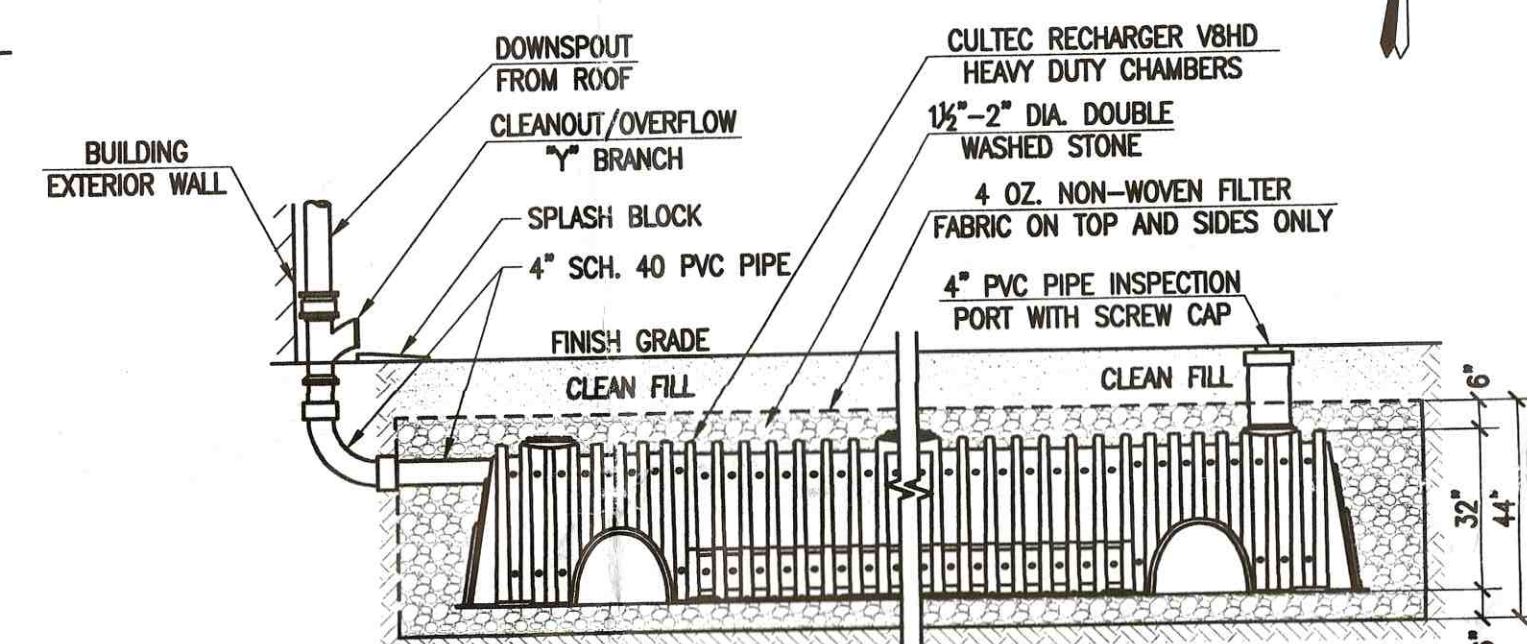
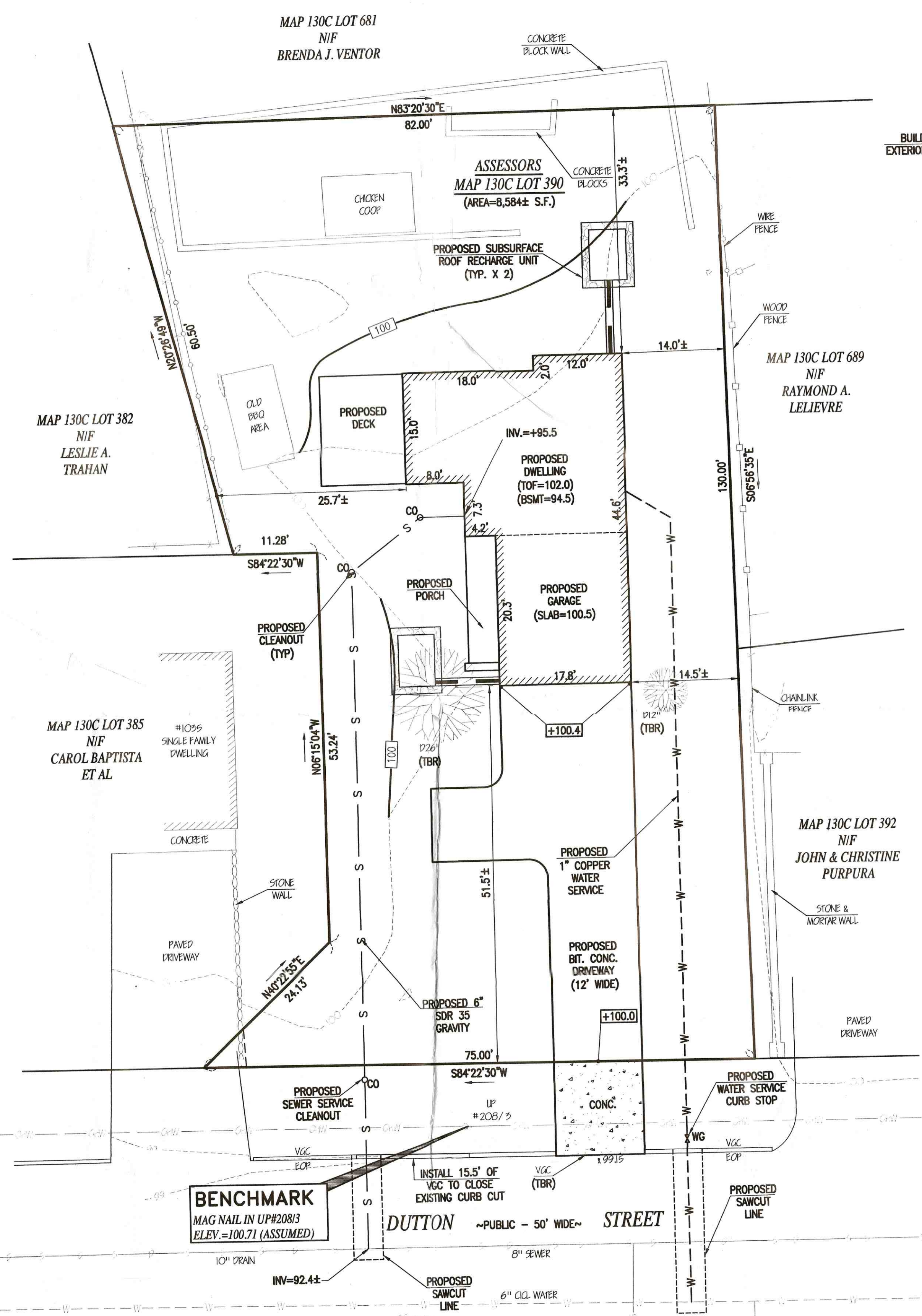
TOTAL AVAILABLE STORAGE = 260 CF >>> 144 CF



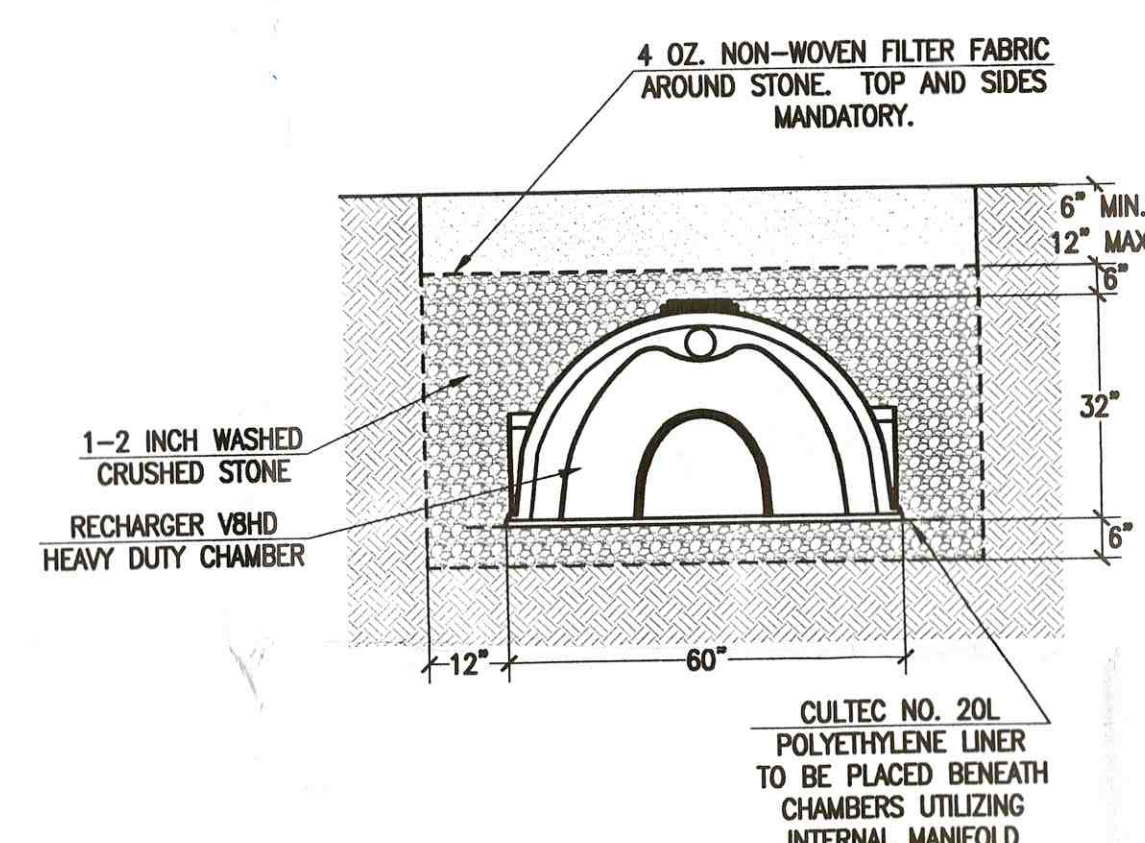
UTILITY TRENCH
NOT TO SCALE

BENCHMARK
X-CUT IN HYDRANT
ELEV=101.35 (ASSUMED)

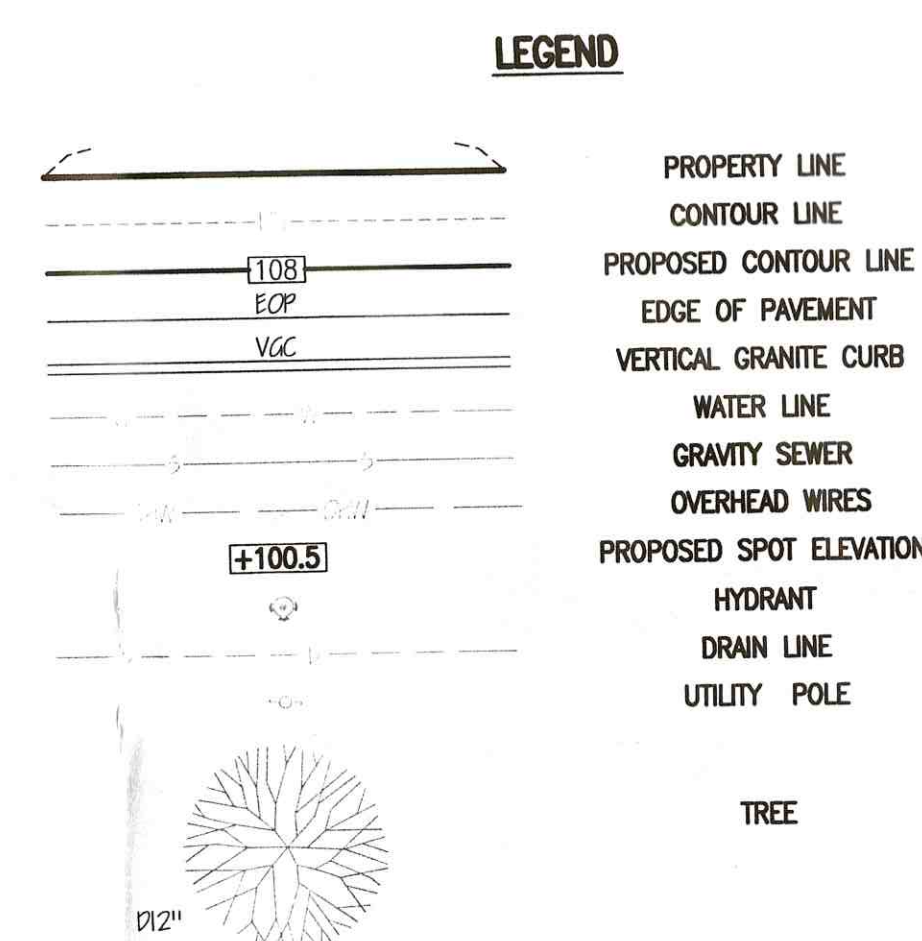
BENCHMARK
MAG NAIL IN UP#20813
ELEV=100.71 (ASSUMED)



ROOF RECHARGE SYSTEM
NOT TO SCALE



CULTEC RECHARGER V8HD STANDARD CROSS SECTION
NOT TO SCALE



0' 10' 20' 30'
1" = 10'

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- NOTES:**
1. TOPOGRAPHIC AND PROPERTY LINE SURVEY PERFORMED BY FARLAND CORP. IN FEBRUARY 2018
 2. VERTICAL ELEVATIONS REFER TO AN ASSUMED DATUM.
 3. PROPOSED UTILITIES TO BE INSTALLED PER NEW BEDFORD, DPI STANDARDS.
 4. PORTION OF DRIVEWAY BETWEEN EDGE OF ROADWAY AND PROPERTY LINE SHALL BE CONCRETE AND PITCH TOWARD ROAD AT A MINIMUM OF 0.5% TO AVOID ROADWAY RUNOFF ONTO LOT.

REVISIONS

NO.	DATE	REVISION
1	5/29/18	BUILDING DEPT. COMMENTS
2	11/5/18	DPI COMMENTS



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OFFICES IN:
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•MARLBOROUGH
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DRAWN BY: CKG/SP
DESIGNED BY: CKG/SP
CHECKED BY: CAF

SITE PLAN
DUTTON STREET
ASSESSORS MAP 130C LOT 390
NEW BEDFORD, MASSACHUSETTS
PREPARED FOR: LOPEZ DEVELOPMENT, LLC - EDDIE LOPEZ
129 HUTTLESTON AVENUE
FAIRHAVEN, MA 02719

APRIL 18, 2018
SCALE: 1"=10'
JOB NO. 18-107
LATEST REVISION:
NOVEMBER 5, 2018

SHEET 1 OF 1