

W-18-39  
SERVICE 34017

NEW BEDFORD WATER WORKS

APPLICATION FOR SERVICE AND METER

NEW BEDFORD

8-29-18

Expires 8/29/19

I HEREBY ACKNOWLEDGE the receipt of a copy of the Regulations prescribed in the Ordinance of the City, for the use of Water, and I request that the water may be furnished through a

1" inch Copper meter at Tradewind St (W.S.)

@ Rebecca Street Intersection

at such rates as may from time to time be established by the City.

I hereby agree to pay promptly the bill for the Service pipe laid down for my premises, and to pay all dues for water, and I agree to conform to the said Regulations and to all provisions of the Water Ordinances, until written notice is given by me or my agent to cut off the supply.

P. 7B  
L. 6.

X. [Signature]  
Contractor

David Silverio

Lopez Development LLC  
391 Hatteston Ave  
Fairhaven MA

TELEPHONE 508 962-0977

Service laid

Size and kind of pipe

02 1/2"

From

RO CANESSA (Bonded Contractor)

St.

Turned on

Meter Set

Reading

Location

Building rates

Paid

Cost of Service

Paid

31-727

\$500.00 Chk # 1036

1" COPPER  
34017

S x N Line Rebecca Street	5.0'
E x W Line Tradewind Street	8.0'
N x N Line House	2.8'
E x E Line Garage St	96.0'
Main to property line	14.0'
Pipe inside property	112.0'

12/26/18: Contractor RJ CANESSA  
Inspector P Reynolds New Service install

DISPLAY PERMIT IN A CONSPICUOUS PLACE ON THE PREMISES



Commonwealth of Massachusetts

# City of New Bedford

133 William Street New Bedford, MA 02740

## WATER SERVICE PERMIT



Date: 9/17/2018

No. **W-18-39**

Permit Fee: \$500.00

Service Location: WS TRADEWIND ST

Owner Name: LOPEZ DEVELOPMENT LLC

Owner Phone #: (508) 962-0977

Type of Occupancy: Residential

Type of Work: Water - Domestic New 1"

Work Description: service # 34017

P.73  
L.6

Tradewind St WS @ Reecca St Intersection;

expires 08/29/18

### Contractor

Name: Robert J. Canessa Certificate #: \_\_\_\_\_ Type of Business : DPI - Other

Address: P. O. Box 51643 City/Town/State: New Bedford MA Phone #: (508) 998-

Type of Service Pipe Size Trench Length: 0.00

Fire Service \_\_\_\_\_

Domestic Service \_\_\_\_\_

### Estimated consumption of water

Estimated average daily consumption 0.00 gallons

Cross Connection? **No**

Estimated maximum day consumption 0.00 gallons

Right of Way? **No**

Are lawn sprinklers and/or lawn irrigation proposed on site? **No**

Meter Impact? **No**

Estimated fire flows required for the project site: 0.00

Street Opening Permit Required? **No**

Does the project require a fire suppression system? **No**

Required minimum static pressure for the proposed project site 0.00

**Call Phone: (781) 942-9077 For Inspection**





**ENGINEERING A BETTER TOMORROW**  
ENGINEERING | SITE WORK | LAND SURVEYING

February 13, 2018

Ana S. Rosa, *Civil Engineer*  
City of New Bedford  
Dept. of Public Infrastructure  
1105 Shawmut Avenue  
New Bedford, MA 02746

**RE: Subsurface Roof Recharge Calculations  
Map 73 Lot 6 Tradewind Street – New Bedford, MA**

Dear Ana,

The following attachment is a flow chart with calculations of the required storage volume for a subsurface roof recharge system that will service the proposed single family dwelling at the above referenced property address. The required volume is based off of the 2-year, 24 hour storm event of this geographical region, which can be found in the Hydrology Handbook, *Rainfall Frequency Atlas of the United States* (TP-40).

If you should have any questions, please feel free to contact me.

Very truly yours,

FARLAND CORP., INC.

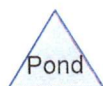
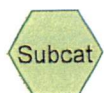
*Christian A. Farland*  
Christian A. Farland, P.E., LEED AP  
Principal Engineer and President



Rooftop



Subsurface Recharge  
System



Drainage Diagram for **TEMPLATE - Cultec Single Chamber**  
Prepared by Farland Corp.

HydroCAD® 8.50 s/n 002159 © 2007 HydroCAD Software Solutions LLC

**TEMPLATE - Cultec Single Chamber**

Type III 24-hr 2-Year Storm Rainfall=3.00"

Prepared by Farland Corp.

HydroCAD® 8.50 s/n 002159 © 2007 HydroCAD Software Solutions LLC

Page 2

**Summary for Subcatchment S-1: Rooftop**

Runoff = 0.07 cfs @ 12.09 hrs, Volume= 230 cf, Depth= 2.77"

Runoff by SCS TR-20 method, UH=SCS, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs  
Type III 24-hr 2-Year Storm Rainfall=3.00"

Area (sf)	CN	Description
* 998	98	Rooftop
998		Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					Direct Entry, Min. Tc

**Summary for Pond SRS: Subsurface Recharge System**

Inflow Area = 998 sf, 100.00% Impervious, Inflow Depth = 2.77" for 2-Year Storm event  
 Inflow = 0.07 cfs @ 12.09 hrs, Volume= 230 cf  
 Outflow = 0.00 cfs @ 8.45 hrs, Volume= 138 cf, Atten= 98%, Lag= 0.0 min  
 Discarded = 0.00 cfs @ 8.45 hrs, Volume= 138 cf

Routing by Stor-Ind method, Time Span= 0.00-30.00 hrs, dt= 0.05 hrs  
 Peak Elev= 95.69' @ 16.72 hrs Surf.Area= 126 sf Storage= 144 cf

Plug-Flow detention time= 418.0 min calculated for 137 cf (60% of inflow)  
 Center-of-Mass det. time= 310.9 min ( 1,068.7 - 757.8 )

Volume	Invert	Avail.Storage	Storage Description
#1	93.83'	134 cf	7.00'W x 9.00'L x 3.66'H Prismatic x 2 461 cf Overall - 127 cf Embedded = 335 cf x 40.0% Voids
#2	94.33'	127 cf	60.0"W x 32.0"H x 7.12'L Parabolic Arch x 2 Inside #1
		260 cf	Total Available Storage

Device	Routing	Invert	Outlet Devices
#1	Discarded	93.83'	0.270 in/hr Exfiltration X 2.00 over Surface area

Discarded OutFlow Max=0.00 cfs @ 8.45 hrs HW=93.87' (Free Discharge)  
 1=Exfiltration (Exfiltration Controls 0.00 cfs)



— ZONING DATA —

DISTRICT: RESIDENTIAL A

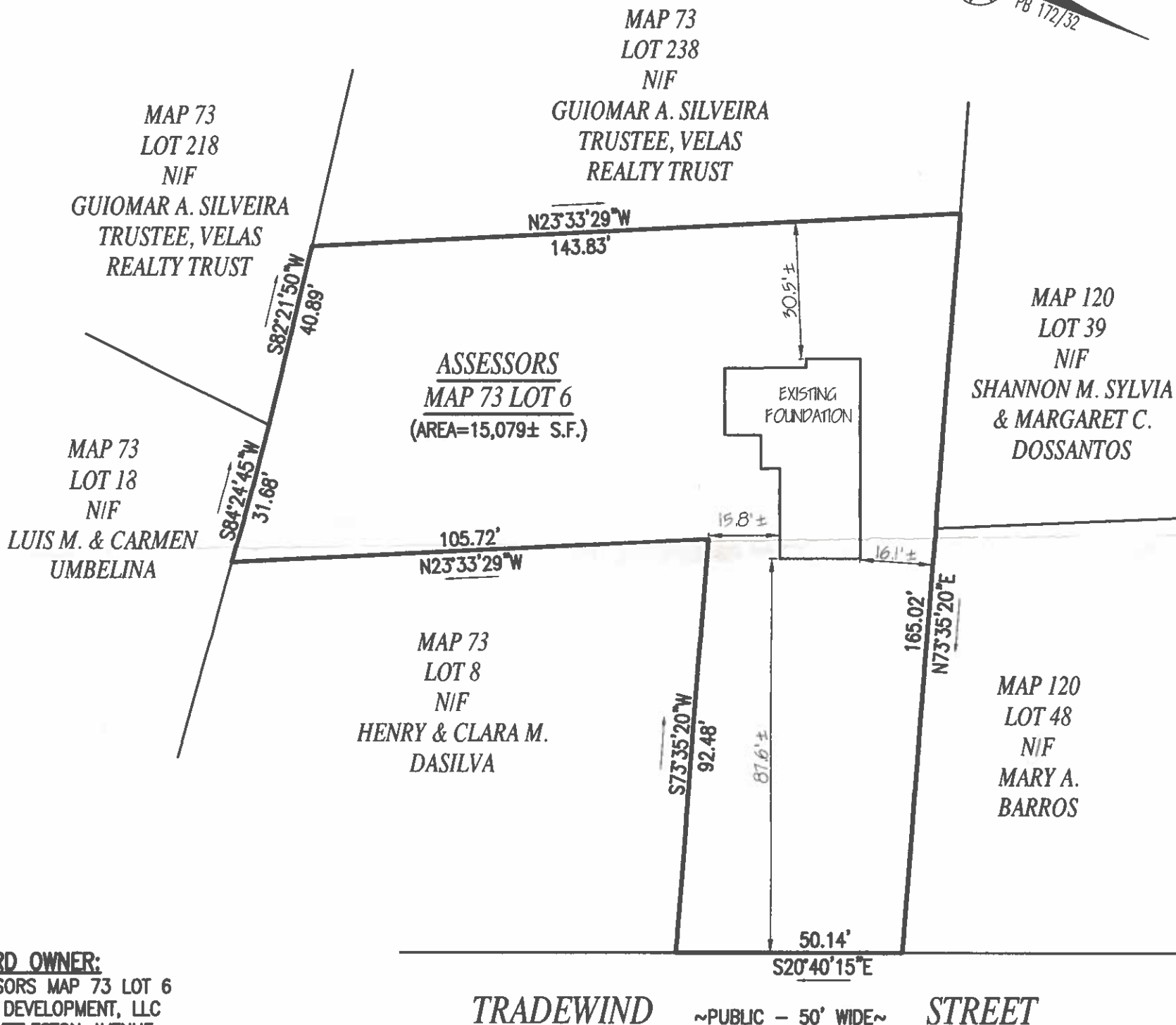
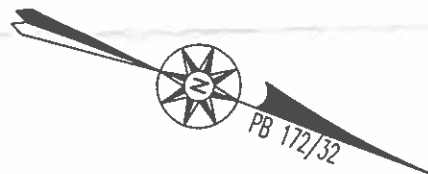
DESCRIPTION	REQUIRED	EXISTING
FRONT SETBACK	20 FT	87.6± FT
SIDE SETBACK	10,12 FT	15.8±/16.1± FT
REAR SETBACK	30 FT	30.5± FT

I CERTIFY THAT THE FOUNDATION SHOWN ON THIS PLAN HAS BEEN LOCATED ON THE GROUND BY INSTRUMENT SURVEY AND THAT SAID FOUNDATION IS IN CONFORMANCE WITH LOCAL ZONING BY-LAWS IN EFFECT AT THE TIME THIS PLAN WAS PREPARED.

  
BRIAN J. MURPHY



8/17/18  
DATE



**RECORD OWNER:**

ASSESSORS MAP 73 LOT 6  
LOPEZ DEVELOPMENT, LLC  
129 HUTTLESTON AVENUE  
FAIRHAVEN, MA 02719  
DEED BOOK 12433 PAGE 306

**NOTE:** AS-BUILT SURVEY PERFORMED BY FARLAND CORP. IN AUGUST 2018

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FOUNDATION AS-BUILT PLAN  
RWS TRADEWIND STREET  
ASSESSORS MAP 73 LOT 6  
NEW BEDFORD, MASSACHUSETTS



[www.FarlandCorp.com](http://www.FarlandCorp.com)

401 COUNTY STREET  
NEW BEDFORD, MA 02740  
P.508.717.3479  
OFFICES IN:  
•TAUNTON  
•MARLBOROUGH  
•WARWICK, RI

PREPARED FOR:  
LOPEZ DEVELOPMENT, LLC  
129 HUTTLESTON AVENUE  
FAIRHAVEN, MA 02719

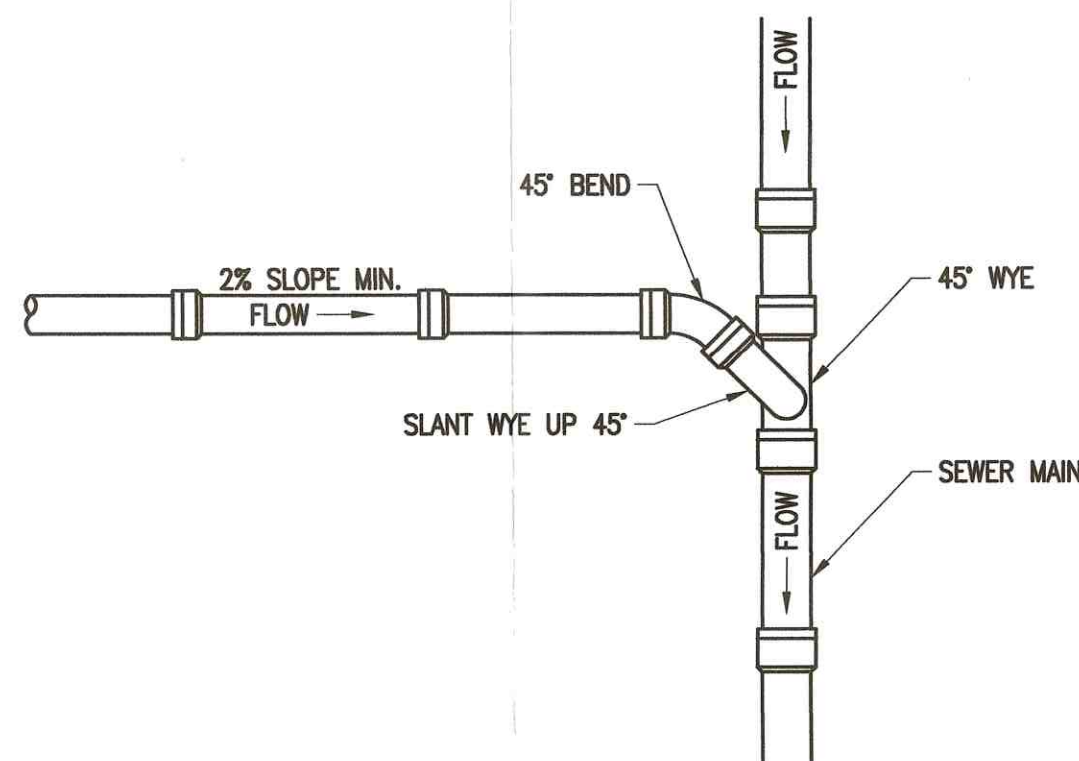
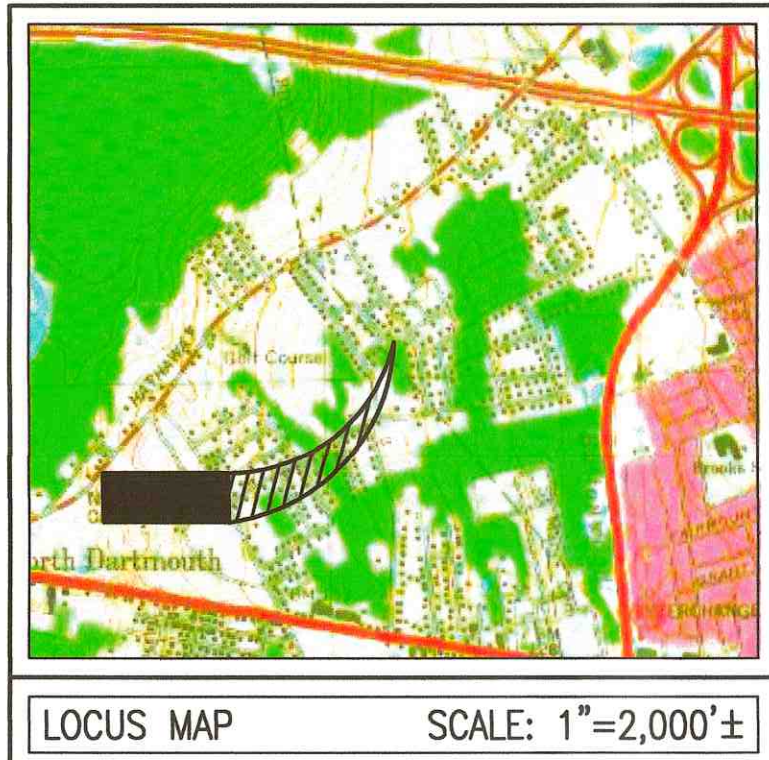


SCALE: 1"=30'

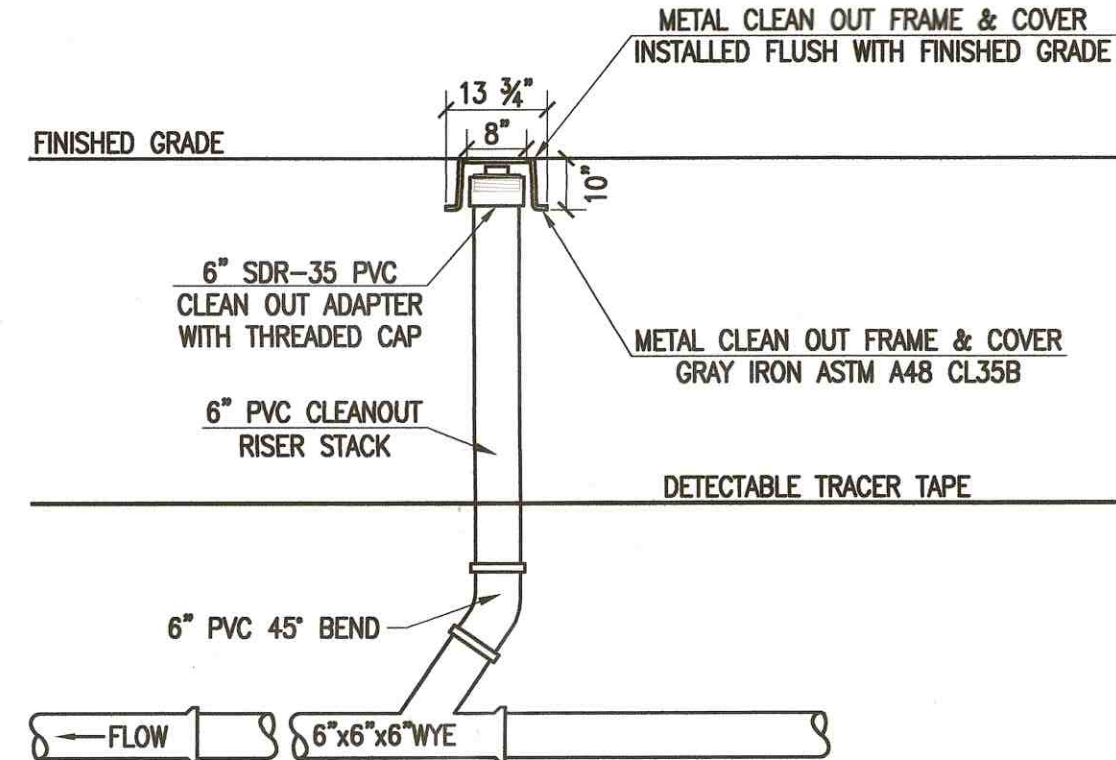
AUGUST 17, 2018

JOB NO: 17-641



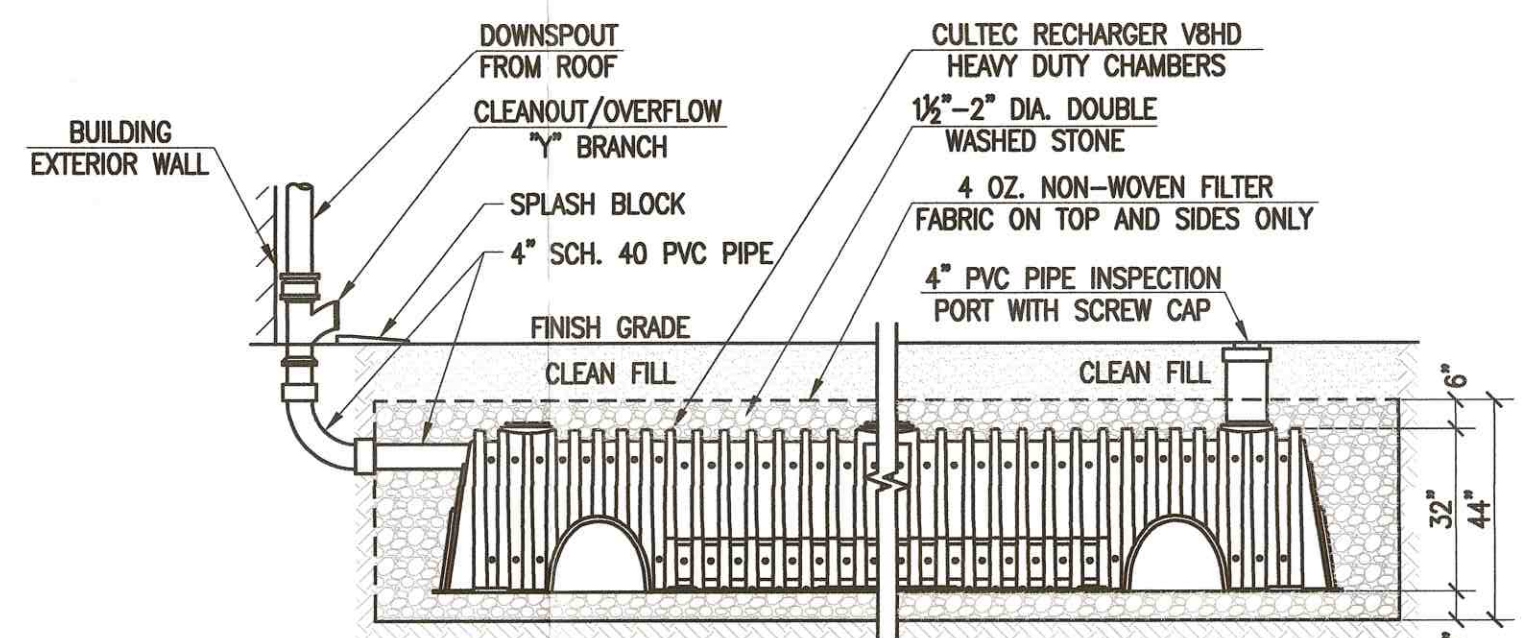


SEWER SERVICE CONNECTION  
NOT TO SCALE

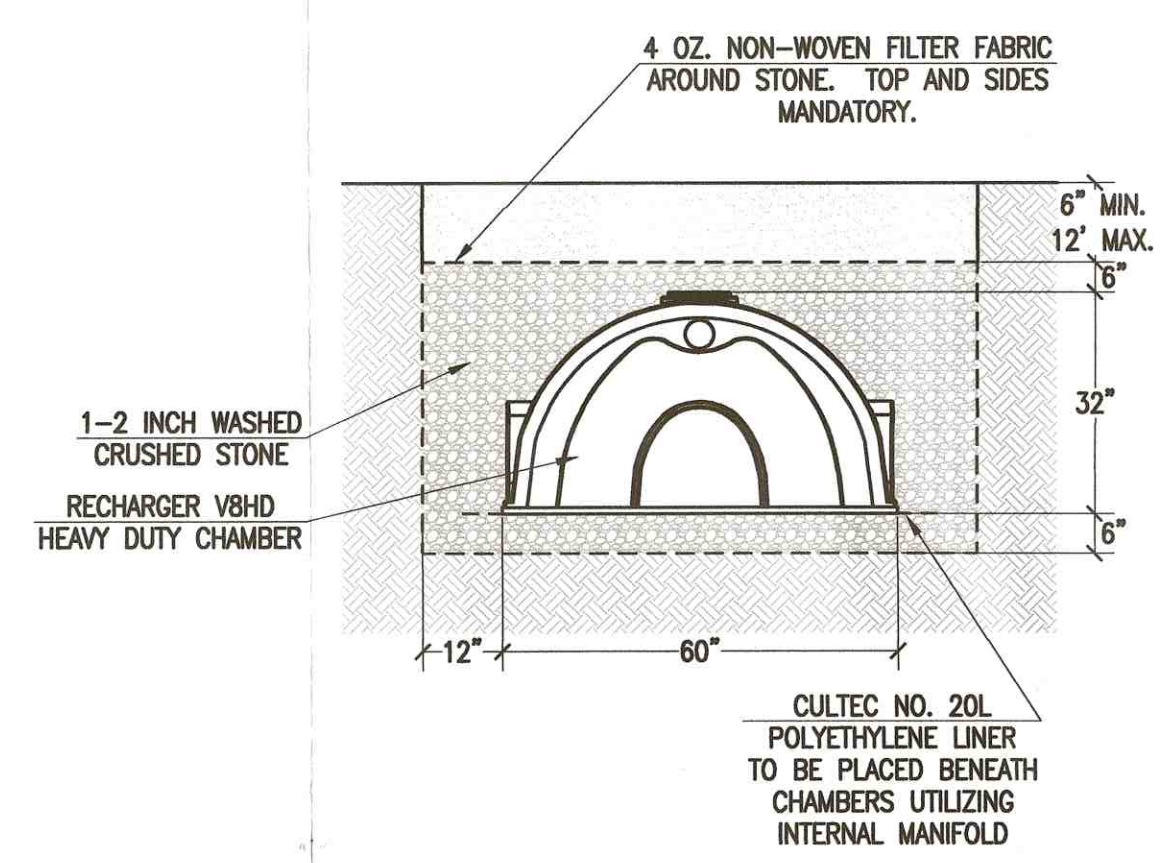


SEWER SERVICE CLEANOUT  
NOT TO SCALE

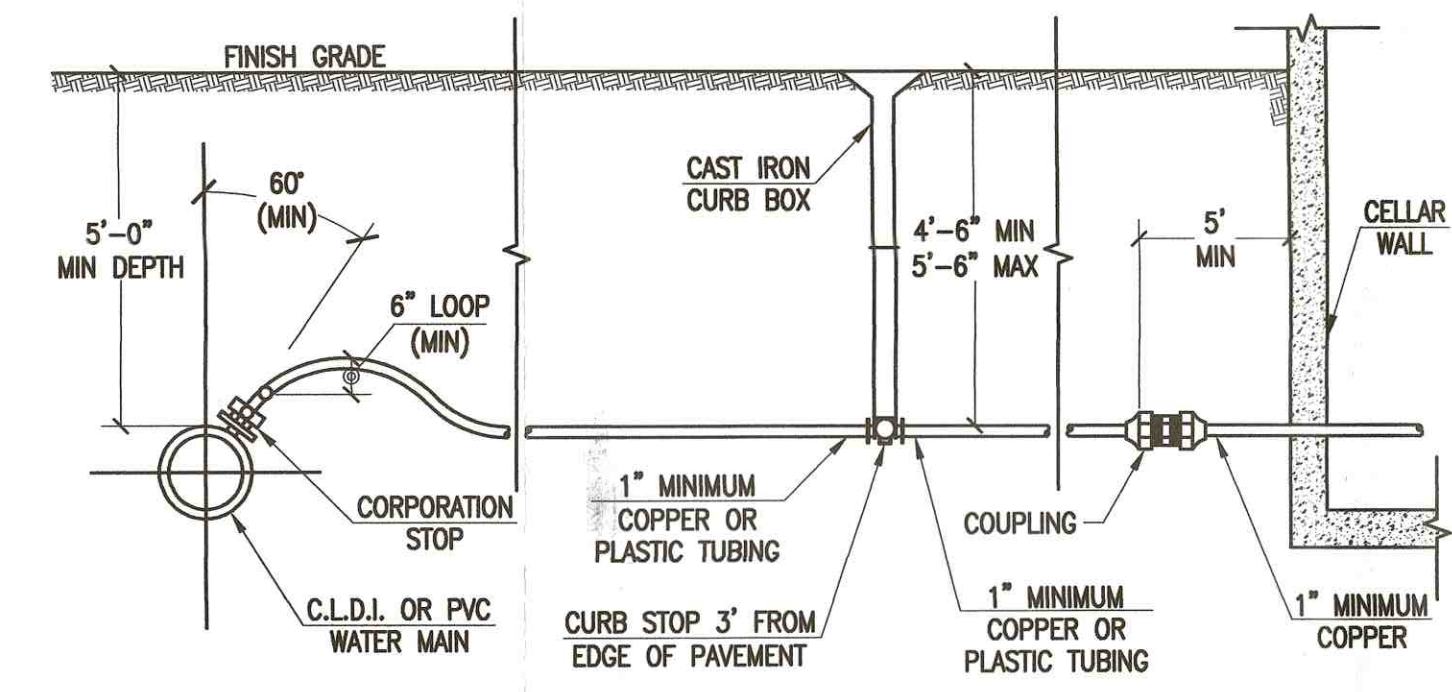
-- ZONING DATA --	
DISTRICT: RA - RESIDENTIAL A	
DESCRIPTION	REQUIRED
LOT AREA	8,000 S.F.
LOT FRONTAGE	75 FT
FRONT SETBACK	20 FT
SIDE SETBACK	10/12 FT
REAR SETBACK	30 FT
BUILDING HEIGHT (MAXIMUM)	45 FT
BUILDING COVERAGE (MAXIMUM)	30 %
LOT COVERAGE (MAXIMUM)	65 %



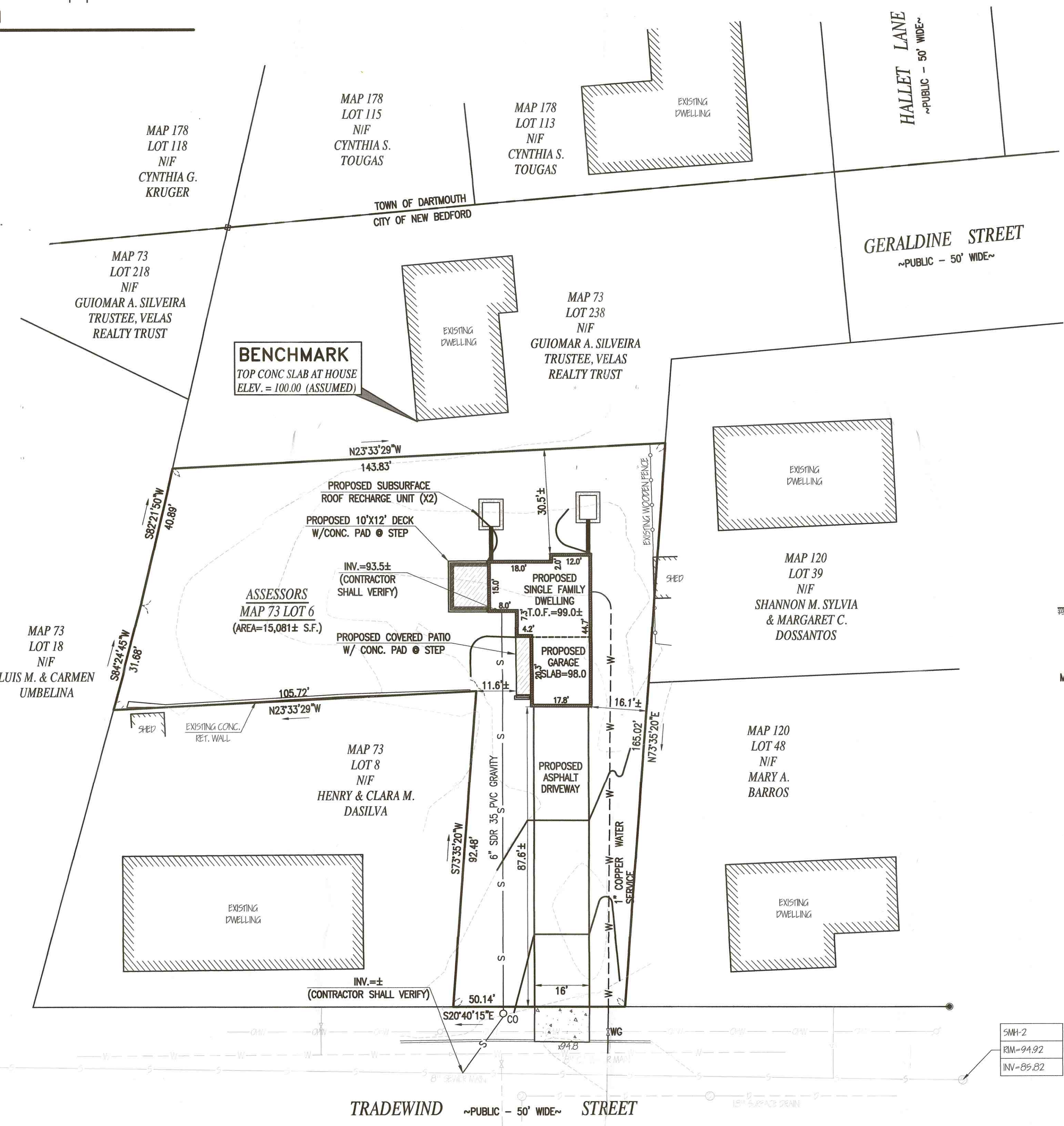
ROOF RECHARGE SYSTEM  
NOT TO SCALE



CULTEC RECHARGER V8HD STANDARD CROSS SECTION  
NOT TO SCALE



WATER SERVICE CONNECTION  
NOT TO SCALE



RECORD OWNER:  
ASSESSORS MAP 73 LOT 6  
GUIOMAR A. SILVEIRA, TRUSTEE  
VELAS REALTY TRUST  
176 BROOKLAWN COURT  
NEW BEDFORD, MA 02745  
DEED BOOK 11260 PAGE 21

- NOTES:
- TOPOGRAPHIC AND PROPERTY LINE SURVEY PERFORMED BY FARLAND CORP. IN JANUARY OF 2018.
  - PORTION OF DRIVEWAY BETWEEN EDGE OF ROADWAY AND THE PROPERTY LINE SHALL BE CONCRETE AND PITCH TOWARD THE ROAD AT A MINIMUM OF 0.5% TO AVOID ROADWAY RUNOFF ON TO THE LOT.
  - FOR ROOF RECHARGE SYSTEM SIZING INFORMATION SEE ATTACHED LETTER TO DPI AND CALCULATIONS DATED 2/13/18.

REVISIONS

1	2/13/18	DPI COMMENTS
2	2/23/18	NOTE ADDED



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401 COUNTY STREET  
NEW BEDFORD, MA 02740  
P.508.717.3479  
OFFICES IN:  
•TAUNTON  
•MARLBOROUGH  
•WARWICK, RI

DRAWN BY: MJW  
DESIGNED BY: MJW  
CHECKED BY: CAF

SITE PLAN  
WS TRADEWIND STREET  
ASSESSORS MAP 73 LOT 6  
NEW BEDFORD, MASSACHUSETTS  
PREPARED FOR:  
SOUTH COAST & ASSOCIATES, INC.  
34 SLOCUM FARM DRIVE  
DARTMOUTH, MA 02747

JANUARY 25, 2018  
SCALE: 1"=20'  
JOB NO. 17-641  
LATEST REVISION:  
FEBRUARY 23, 2018