

ww-18-340
SERVICE 34015

Expires 8/8/19
NEW BEDFORD WATER WORKS
APPLICATION FOR SERVICE AND METER
NEW BEDFORD 8/8/18

I HEREBY ACKNOWLEDGE the receipt of a copy of the Regulations prescribed in the Ordinance of the City, for the use of Water, and I request that the water may be furnished through a

1" inch copper meter at heroy St. SS. 125' E x
Morton Ave. (1 Family)

at such rates as may from time to time be established by the City.

I hereby agree to pay promptly the bill for the Service pipe laid down for my premises, and to pay all dues for water, and I agree to conform to the said Regulations and to all provisions of the Water Ordinances, until written notice is given by me or my agent to cut off the supply.

P 137 Contractor Sewer permit # 24675 Joseph Trottier
L 41 Bill Andrade 25 Barends way. Middleboro, MA.
a Sons TELEPHONE 508-292-8606 *

Service laid _____ Size and kind of pipe 1" copper
From _____ St.

Turned on _____ Meter Set _____

Reading _____ Location _____

Building rates _____ Paid _____

Cost of Service \$ 500.00 ck # 6998 Paid _____

31-727

E x E	Morton Ave	132.0'
E x	Hydrant #5-030	11.7'
N x S	Line Leroy St	2.0'
W x § E	Lione	10.2'
E x W	Line	14.0'
N x N	Line	61.6'
N x S	Line Leroy St	7.0'
	Pipe inside property	6.5'
	Curb Stop to Cellar	

Using existing 32283

Contractor: Bill Andrade & Sons

9-27-2018: Manuelk Rose Inspector

Post E R

DISPLAY PERMIT IN A CONSPICUOUS PLACE ON THE PREMISES



Commonwealth of Massachusetts

City of New Bedford

133 William Street New Bedford, MA 02740

WATER SERVICE PERMIT



Date: 9/17/2018

No. **W-18-36**

Permit Fee: \$500.00

Service Location: SS LEROY ST

Owner Name: TROTTIER JOSEPH IRWIN

Owner Phone #: (508) 292-8606

Type of Occupancy: Residential

Type of Work: Water - Domestic New 1"

Work Description: water service#34015

P.137

L.41

Leroy St SS 125' E x Morton Ave--

expires 08/8/19

Contractor

Name: _____ Certificate #: _____ Type of Business : _____

Address: _____ City/Town/State: _____ Phone #: _____

Type of Service _____ Pipe Size _____ Trench Length: **0.00**

Fire Service _____

Domestic Service _____

Estimated consumption of water

Estimated average daily consumption 0.00 gallons

Cross Connection? **No**

Estimated maximum day consumption 0.00 gallons

Right of Way? **No**

Are lawn sprinklers and/or lawn irrigation proposed on site? **No**

Meter Impact? **No**

Estimated fire flows required for the project site: 0.00

Street Opening Permit Required? **No**

Does the project require a fire suppression system? **No**

Required minimum static pressure for the proposed project site _____

Call Phone: (781) 942-9077 For Inspection

J.C. ENGINEERING, INC

2854 CRANBERRY HIGHWAY
EAST WAREHAM, MA 02538

ROCKLAND TRUST
WWW.ROCKLANDTRUST.COM

6998

53-447/113

8/1/2018

PAY TO THE
ORDER OF

Department of Public Infrastructure

\$ **500.00

Five Hundred and 00/100*****

DOLLARS

Department of Public Infrastructure
1105 Shawmut Avenue
New Bedford, MA 02746

VOID AFTER 90 DAYS



MEMO

Water Permit - 1052 Leroy St. (2867)

⑈006998⑈ ⑆011304478⑆ 0310711173⑈

080971/12-04

Details on back.



Security Features Included

MP



Commonwealth of Massachusetts

CITY OF NEW BEDFORD

City Hall, Room 308, 133 William Street New Bedford, MA 02740 (508) 979-1540



FOUNDATION PERMIT

7/2/2018

No. B-18-326

MSBC Sect. 111.8 - Any permit issued shall be deemed abandoned and invalid unless the work authorized by it shall have been commenced within six (6) months after its issuance.

FEE PAID \$100.00

This certifies that JC Engineering

owner/contractor has permission to:

SS

LEROY ST

on: Foundations Only 1-2 Family - 100.00

Providing that the person accepting this permit shall in every respect conform to the terms of application therefore on file in this office; to the provisions of the statute of the Commonwealth and to the by-laws of the City of New Bedford relating to the inspection, erection, enlarging, altering, raising, moving, repairing, or tearing down of a building.

Permit is issued subject to the following special requirements: (Restrictions)

 **Wiring Inspector**



Plumbing Inspector



Building Inspector

YOUR AREA INSPECTOR IS: Thomas Welch

Tel. (508) 979-1540 Between 8:00am - 9:00am

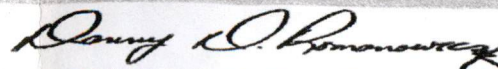
**NOTICE: NOTIFY INSPECTOR 48 HOURS IN
ADVANCE OF APPLYING SHEATHING OR LATHING**

OCCUPANCY PERMIT REQUIRED BEFORE OCCUPANCY

No Building or Structure shall be used or occupied until the Certificate of Use and Occupancy shall have been issued by the Building Commissioner - MSBC, Sect. 120.1

This Card Must Be Displayed in a Conspicuous Place on the Premises and Not Torn Down or Removed Until Completion of Work

SUBJECT TO MASSACHUSETTS
STATE BUILDING CODE



Building Inspector

Plan Review Comments:

: foundation for single family as per ZBA
Varince # 4286

: Until a permit has been issued Plumbing and gas fitting work shall not be installed ,altered, removed, replaced ,or repaired As per 248 CMR Mass. Fuel gas and Plumbing Code.

: Foundation will need a "Ufer Ground" concrete encased electrode for connection to the electrical grounding system per National Electrical Code article 250.52(3)

: all work shall conform with all state and local building and fire codes

- : 1. Water service to be copper and 10ft away from sewer service.
2. Water curb stop/shut off to be 1.5ft from face of curb or pavement.
3. Water meter to be installed at the point entry 1.0ft inside cellar wall.
4. Owner to apply for a water permit.
5. All unused water services to be removed at the main.
6. Meter pit to be removed.

: ASR-D.P.I. Engrg.

RE: TB-18-326

Leroy St. (S.S.) 125' E. x Morton Ave.

(Purported Address 1052 Leroy St. to be Demolished)

Plot 137 Lot 41

Reviewed 5/17/2018

The site plan submitted via view permit for the above location does not contain sufficient information to conduct a proper review of the site and will need to be revised to meet D.P.I. requirements and construction specifications/standards. (Please Note: For this particular case, D.P.I. has marked up the submitted site plan with required revisions. Please visit D.P.I. to obtain a copy of the revisions and to review with a D.P.I. engineer. Moving forward, the following will apply for all subsequent site plan submittals prior to coming before D.P.I. for review.)

The following is a quick checklist of the elements that need to be incorporated into the site plan submitted for review by D.P.I.:

1. Please check that all existing site conditions are shown (i.e. utilities, mains/service connections, shut offs, clean outs, septic system (if any), driveways/sidewalks, curb/berm or edge of pavement, buildings, grading, etc.) and properly labeled.
2. Clearly depict and properly label all proposed work (i.e. new structure(s), water/sewer/storm drain mains/service connections or septic system, driveway(s)-new/closure/widening, storm recharge system for roof runoff/calculations/details, grading, etc.).
3. Check that the proposed building footprint on the site plan and the architectural drawing are the same since D.P.I. only approves the building footprint as shown on the site plan.
4. Check that the site plan being submitted has been stamped/signed by the proper professional(s) responsible for the site development and design (i.e. Professional Engineer and/or Land Surveyor, depending on the case).

The design engineer and/or land surveyor should contact the D.P.I. Engineering Dept. with any questions regarding D.P.I. requirements that need to be met and the construction specifications and standards that are to be implemented. (In order to significantly reduce turnaround time on site plan review/revision/approval, it is suggested that, in the process of preparing the site plan to be submitted, examples of recent site plans that the firm/company has had approved by D.P.I. be utilized for guidance.)

: D.P.I. Eng. - SD
RE: TB-18-326
Leroy St. (S.S.) 130' E x Morton Ave
Plot 137 Lot 41
Reviewed 6/29/2018

Requirements to be met by applicant (owner or owner's agent/representative) for this project:

1.) The site plan submitted via the View Permit system to D.P.I., titled: "Building Permit Plan, Map 137, Lot 41, for Leroy Street New Bedford, MA", having a revision date of 6/27/2018 (originally dated 3/19/2015), as prepared by JC Engineering, Inc. and stamped/signed by John L Churchill Jr., P.E. (Civil), was conditionally approved by D.P.I.

2.) Any revisions made to the site plan after it has been approved by D.P.I. must be re-submitted for approval, even if the revisions were made per the requirements of another Department. The owner or agent/representative is responsible for making sure that the latest revised plan is provided to Inspectional Services to place on file in the View Permit System prior to D.P.I. submitting its review. Must provide 3 stamped/signed copies of the site plan approved by D.P.I. at the time of applying for water, sewer/drain and driveway permits at D.P.I. Also, a copy of the foundation permit and of the stamped/signed foundation as-built plan must also be submitted at the time of applying for water, sewer/ drain and driveway permits.

Note: Any agent/representative pulling permits on behalf of the owner must provide D.P.I. with a permission slip. If the property was acquired within the past 3 months, then a copy of the recorded deed showing property ownership must also be provided.

3.) Must contact D.P.I.-Engineering to measure for building number (address) once front door is framed. The C.O. will not be signed unless the legal address assigned by the City is permanently affixed to, above, or next to, the main door entrance to which it was assigned such that it is highly visible from the street.



City of New Bedford, MA

Building Division

City Hall, Room 308, 133 William Street
New Bedford, MA 02740

RECEIPT

APPLICATION TO CONSTRUCTION, REPAIR, RENOVATE, CHANGE THE USE OR OCCUPANCY OF, OR DEMOLISH A DWELLING

Permit No #: TB-18-326	Date Recieved: 2/22/2018
Signature: JC Engineering	
Building Commissioner/Inspector of Buildings:	Date

SECTION 1 : SITE INFORMATION

1.1 Property Address SS LEROY ST	1.2 Assessors Map & Parcel Number 137-41		
1.3 Zoning Information RA	1.4 Property Dimensions 5376		
Zoning District	Proposed Use	Lot Area	Frontage (ft)

1.5 Building Setbacks (ft)					
Front Yard		Side Yard		Rear Yard	
Required	Provided	Required	Provided	Required	Provided
20.00	38.40	8.00	12.70	30.00	30.10
1.6 Water Supply	False	1.7 Flood Zone Information	1.8 Sewage Disposal	False	

SECTION 2: PROPERTY AUTHORIZED AGENT

Agent of Record			
JC Engineering	2854 Cranberry Highway	E. Wareham	Ma. 02538
Name	Address		

SECTION 3: Description of Proposed Work

Permit For: Foundations Only 1-2 Family - 100.00
Brief Description of Proposed Work: foundation for single family as per ZBA Varince # 4286
m.s.
we will move the permits later to the correct parcel

SECTION 4: Estimated Construction Costs / Permit Fees

Total Project Cost :	\$10,000.00	Payment Date	Amount Paid	Check No
Total Permit Fee Paid:	\$100.00	7/2/2018	\$100.00	2210
Account Number : 02401200-453010 ISPBPM				

THIS IS NOT A PERMIT



City of New Bedford, MA

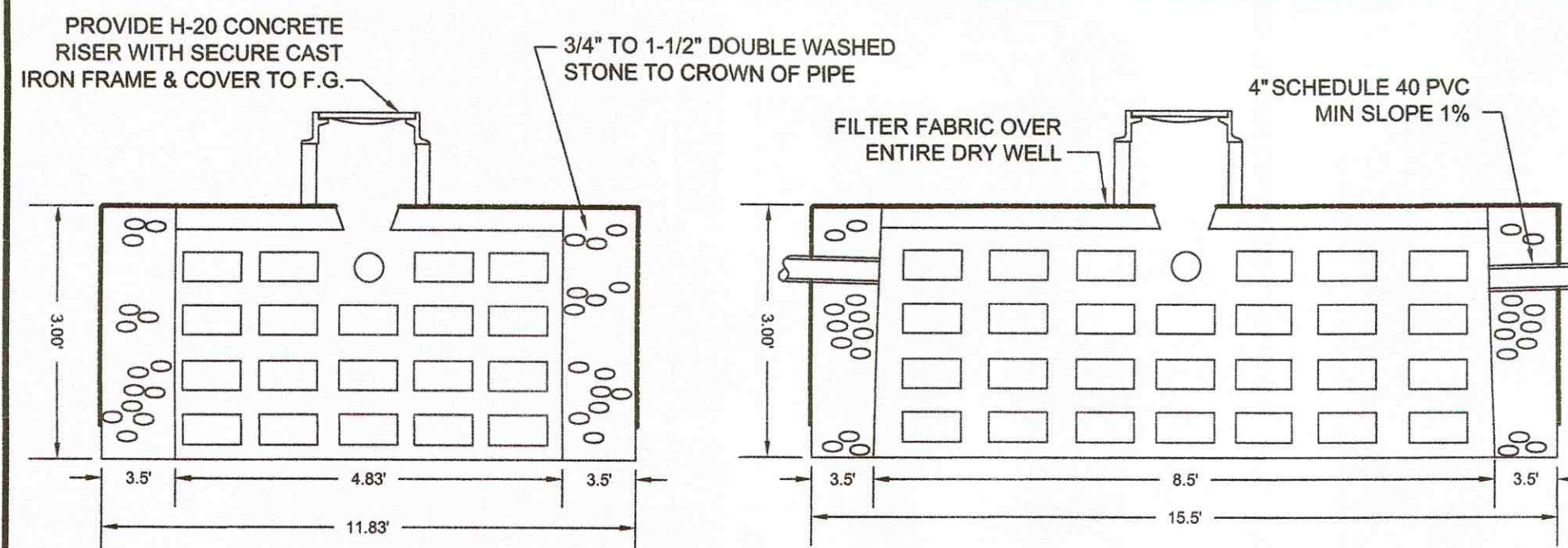
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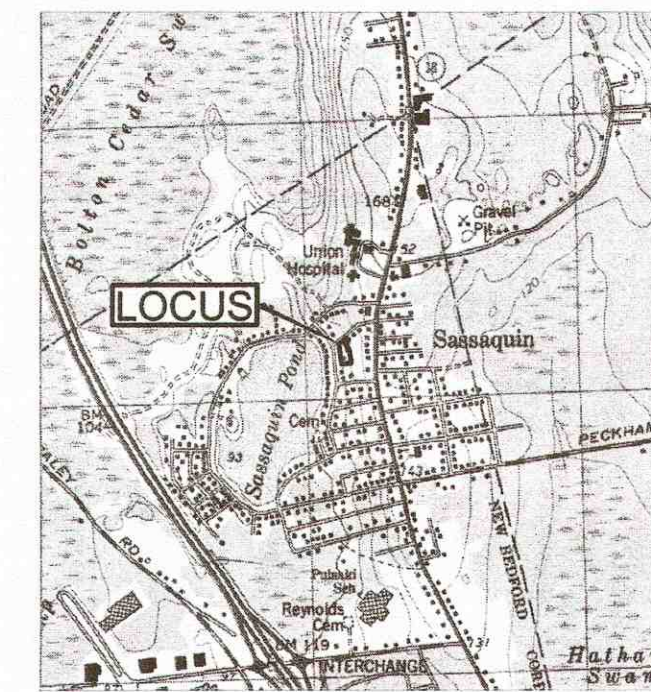
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H-20 DRY WELL DETAILS
NOT TO SCALE



LOCUS PLAN

SCALE: 1" = 1000'

DRY WELL CALCULATIONS:

HOUSE SURFACE AREA: 828 S.F.

2-YEAR STORM: 3.4" x (1/12") = .283'

VOLUME OF RUNOFF: 828 S.F. x .283' = 234.3 C.F.

INSIDE CHAMBER CAPACITY: 8.0' x 4.33' x 2.50' = 86.6 C.F.

STONE CAPACITY: 15.5' x 11.83' x 3.00' = 550.1 C.F.

550.1 C.F. - (8.5' x 4.83' x 3.0') = 426.9 C.F.

426.9 C.F. x 0.4 = 170.8 C.F.

TOTAL DRY WELL CAPACITY: 86.6 C.F. + 170.8 C.F. = 257.4 C.F.

ZONING DISTRICT: RESIDENTIAL - RA		
REQUIRED	EXISTING	PROPOSED
FRONT SETBACK = 20'	17.0'	38.4'
SIDE SETBACK = 10' & 12'	0.6' & 3.7'	10.1' & 12.1'
REAR SETBACK = 30'	49.4'	30.1'
MAX. BLDG. COVERAGE = 30%	15.6%	13.4%
MIN. GREEN SPACE = 35%	81.5%	55.6%
MAX. BLDG. HEIGHT = 45'	<45'	28.4'

MAP 137
LOT 198
N/F BENEVIDES

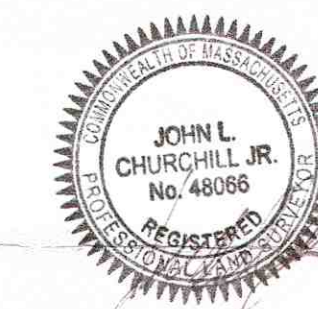
OWNER OF RECORD: JOSEPH IRWIN TROTTER
25 BARENS WAY
MIDDLEBORO, MA 02346

DEED REFERENCE: BOOK 3098, PAGE 156

PLAN REFERENCE: PLAN BOOK 156, PAGE 56

ASSESSORS MAP # 137 LOT # 41

A REVIEW OF FLOOD INSURANCE RATE MAP
COMMUNITY PANEL NUMBER 25005C0377E DATED
7/7/2009 HAS BEEN CONDUCTED AND TO THE BEST
OF MY INTERPRETATION, THIS DWELLING IS IN FLOOD
ZONE X AND IS NOT LOCATED WITHIN A
SPECIAL FLOOD HAZARD ZONE.



BUILDING PERMIT PLAN (MAP 137, LOT 41)

FOR

LEROY STREET
NEW BEDFORD, MA

PREPARED FOR:

JOSEPH TROTTER

PREPARED BY:

JC ENGINEERING, INC.
2854 CRANBERRY HIGHWAY
EAST WAREHAM, MA 02538

SCALE: 1" = 10' MARCH 19, 2015

REV. 4: JUNE 27, 2018

NOTE:
ALL UTILITIES TO BE CONNECTED
TO NEW DWELLING
(CONTRACTOR TO OBTAIN ALL
APPLICABLE PERMITS).

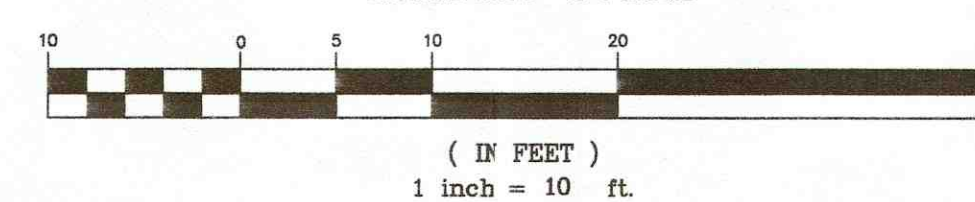
LEGEND

50x0'	EXISTING SPOT GRADE
---	EXISTING CONTOUR
50	PROPOSED CONTOUR
D/H/W	EXISTING OVERHEAD UTILITIES
-X-X-X-X-X-	EXISTING SEWER LINE (APPROX.)
-X-X-X-X-X-	EXISTING CHAIN LINK FENCE LINE
-V-V-V-V-	EXISTING WATER LINE (APPROX.)
-S-S-	PROPOSED SEWER LINE
-D/H/W-	PROPOSED OVERHEAD WIRES
-V-	PROPOSED WATER LINE
-GAS-	PROPOSED GAS LINE

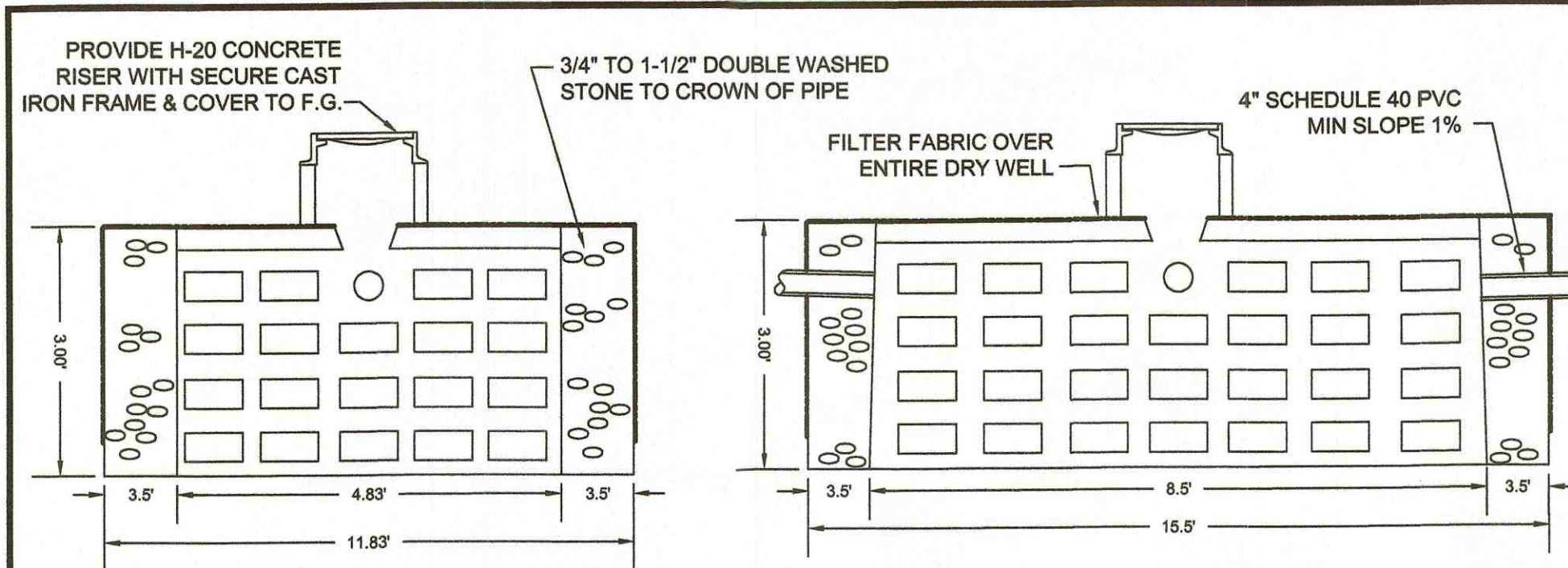
MAP 137
LOT 206
N/F BORDEN

MAP 137
LOT 79
N/F MARKEY

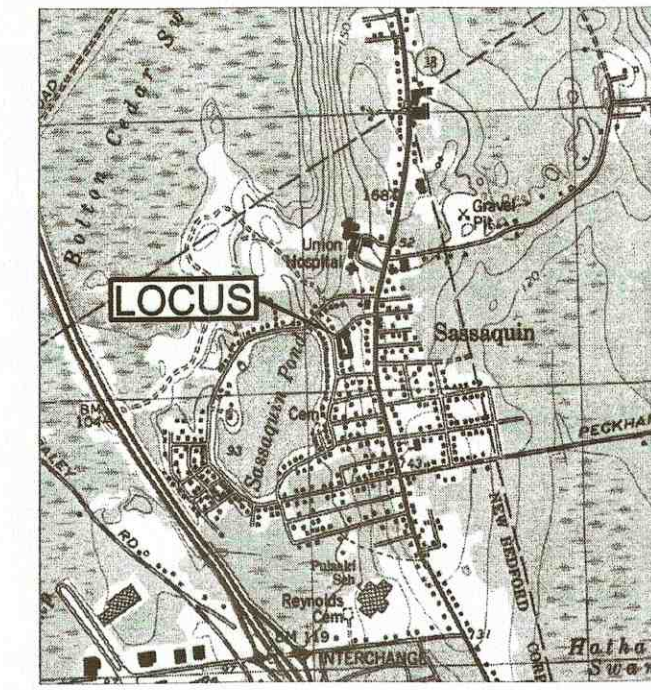
GRAPHIC SCALE



PLAN BOOK 156, PAGE 56

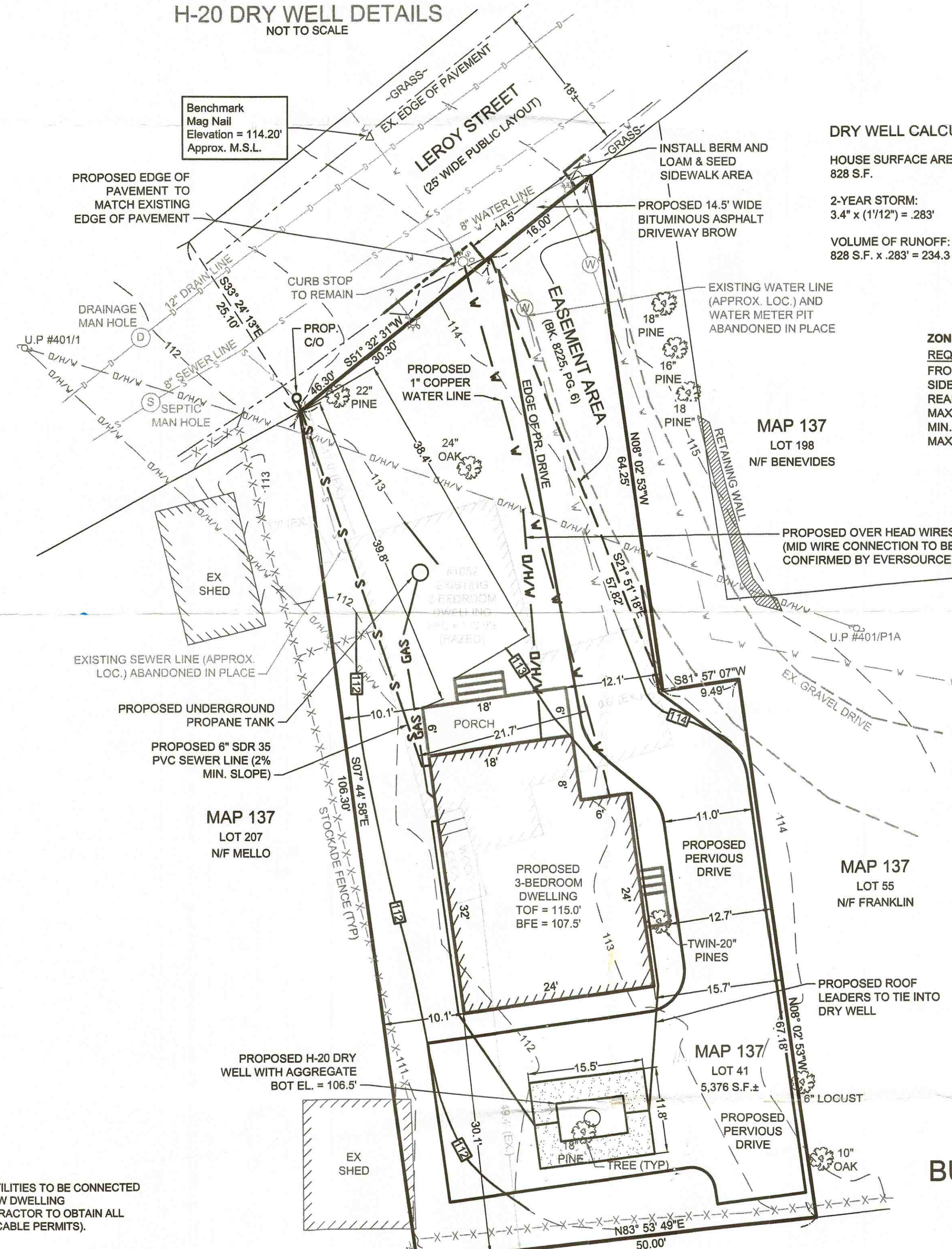


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GRAPHIC SCALE

