

W-18-38
SERVICE 34014

EXP. 7-25-18
NEW BEDFORD WATER WORKS

APPLICATION FOR SERVICE AND METER

NEW BEDFORD 7-25-18

I HEREBY ACKNOWLEDGE the receipt of a copy of the Regulations prescribed in the Ordinance of the City, for the use of Water, and I request that the water may be furnished through a

1 inch copper meter at Seln Daniel Dr.
(E.S) 186' S x Rosa Dr.

at such rates as may from time to time be established by the City.

I hereby agree to pay promptly the bill for the Service pipe laid down for my premises, and to pay all dues for water, and I agree to conform to the said Regulations and to all provisions of the Water Ordinances, until written notice is given by me or my agent to cut off the supply.

Plot 136
Lot 480

RJ Canessa

TELEPHONE

Ofm Development.
70 Lambeth St.
NB MA 02745.

Service laid _____ Size and kind of pipe 1" Rose - mny

From _____ St.

Turned on _____ Meter Set _____

Reading _____ Location _____

Building rates _____ Paid _____

Cost of Service \$500 Paid OK # 7742

31-727

✓

S _w x S	Line	Rosa Drive	9.5'
W x E	Line	Seth Daniel Dr	7.5'
S x N	Line	House	9.8'
N x S	Line	Garage	41.0'
W x W	Line	House	28.0'
Main to Property line			32.0'
Pipe inside property			23.0'

8-27-18: New Service installed, by RJ CANESSA Inspector
Manuel Rose

1 inch meter blank

Joe Pasilva Plumber

11/20/18 

DISPLAY PERMIT IN A CONSPICUOUS PLACE ON THE PREMISES



Commonwealth of Massachusetts

City of New Bedford

133 William Street New Bedford, MA 02740

WATER SERVICE PERMIT



Date: 9/17/2018

No. **W-18-40**

Permit Fee: \$500.00

Service Location: WS JOHN ST

Owner Name: CARVALHO DEREKMONTEIRO

Owner Phone #: (774) 301-5315

Type of Occupancy: Residential

Type of Work: Water - Domestic New 1"

Work Description: water#34012

P33

L.54

John St Ws 90' S x Allen St

1" COPPER SERVICE

expires 09-12-19

Contractor

Name: _____ Certificate #: _____ Type of Business : _____

Address: _____ City/Town/State: _____ Phone #: _____

Type of Service _____ Pipe Size _____ Trench Length: **0.00**

Fire Service _____

Domestic Service _____

Estimated consumption of water

Estimated average daily consumption 0.00 gallons

Cross Connection? **No**

Estimated maximum day consumption 0.00 gallons

Right of Way? **No**

Are lawn sprinklers and/or lawn irrigation proposed on site? **No**

Meter Impact? **No**

Estimated fire flows required for the project site: 0.00

Street Opening Permit Required? **No**

Does the project require a fire suppression system? **No**

Required minimum static pressure for the proposed project site _____

Call Phone: (781) 942-9077 For Inspection

DISPLAY PERMIT IN A CONSPICUOUS PLACE ON THE PREMISES



Commonwealth of Massachusetts

City of New Bedford

133 William Street New Bedford, MA 02740

WATER SERVICE PERMIT



Date: 8/29/2018

No. **W-18-38**

Permit Fee: \$500.00

Service Location: ES SETH DANIEL DR

Owner Name: MONIZ PROPERTIES INC

Owner Phone #: _____

Type of Occupancy: Residential

Type of Work: Water - Domestic New 1"

Work Description: water service# 34014

P.136

L.480

Seth Daniel D ES 186' S x Rosa Drive--

expires 07/25/19

1" new copper service install

Contractor

Name: Robert J. Canessa Certificate #: _____ Type of Business : DPI - Other

Address: P. O. Box 51643 City/Town/State: New Bedford MA Phone #: (508) 998-

Type of Service Pipe Size Trench Length: 0.00

Fire Service _____

Domestic Service _____

Estimated consumption of water

Estimated average daily consumption 0.00 gallons

Cross Connection? **No**

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TELEPHONE

Size and kind of pipe

Service laid

St.

From

Meter Set

Turned on

Location

Reading

Paid

Building rates

Paid

Cost of Service

31-727

DPM DEVELOPMENT CORP.
70 LAMBETH STREET
NEW BEDFORD, MA 02745

WEBSTER BANK
S EASTON, MA 02375

7742

53-7023/2113
678

7/25/2018

PAY TO THE
ORDER OF

CITY OF NEW BEDFORD

\$ **500.00

Five Hundred and 00/100

DOLLARS

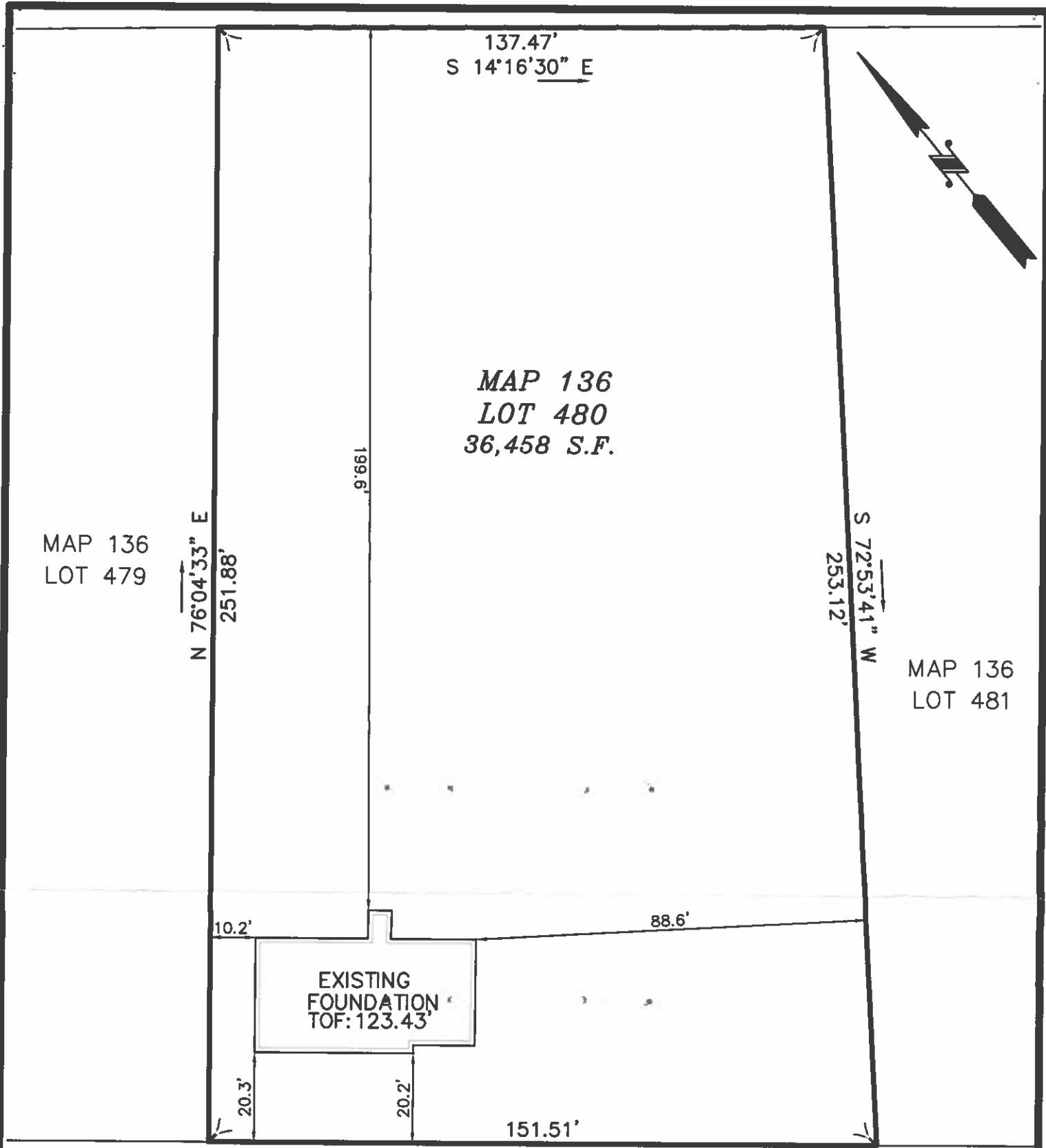
CITY OF NEW BEDFORD

MEMO

Water Permit #480 Seth Daniel Dr

Rosa Mone
AUTHORIZED SIGNATURE

⑈007742⑈ ⑆211370231⑆10 0133001164⑈

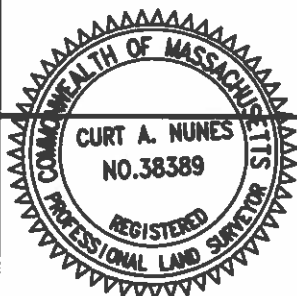


SETH DANIEL DRIVE

(PRIVATE - 50' WIDE)

AS BUILT FOUNDATION PLAN - MAP 136 LOT 480

SETH DANIEL DRIVE
IN
NEW BEDFORD, MA



I CERTIFY THAT THE FOUNDATION SHOWN
HEREON, AS BUILT, CONFORMS TO THE CITY
OF NEW BEDFORD ZONING SETBACK
REQUIREMENTS.

[Signature] 7/24/18
PROFESSIONAL LAND SURVEYOR DATE

DATE: JULY 24, 2018

SCALE: 1" = 30'

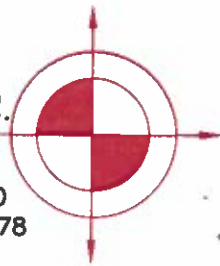
ROMANELLI ASSOCIATES INC.

PROFESSIONAL LAND SURVEYORS

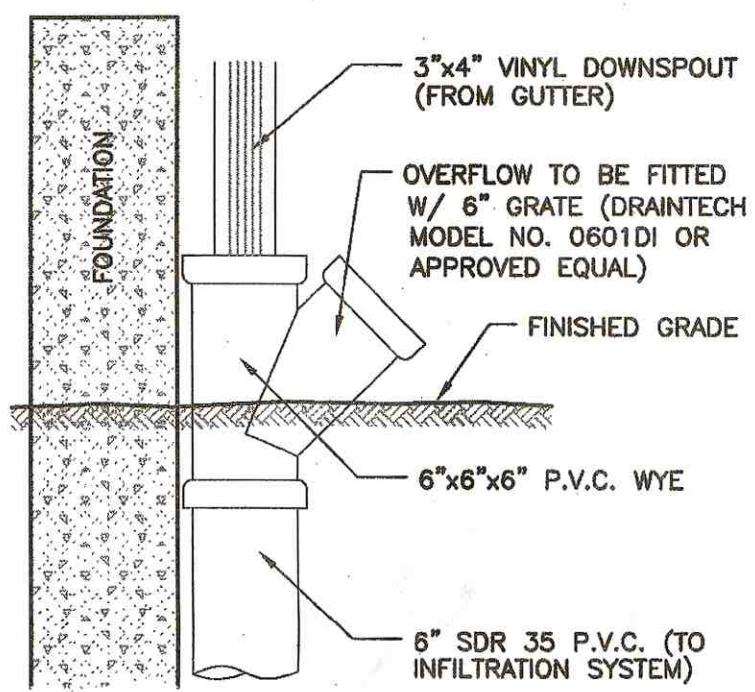
1162 Rockdale Ave. New Bedford, MA 02740

Phone (508) 995-0100 - (508) 995-6678

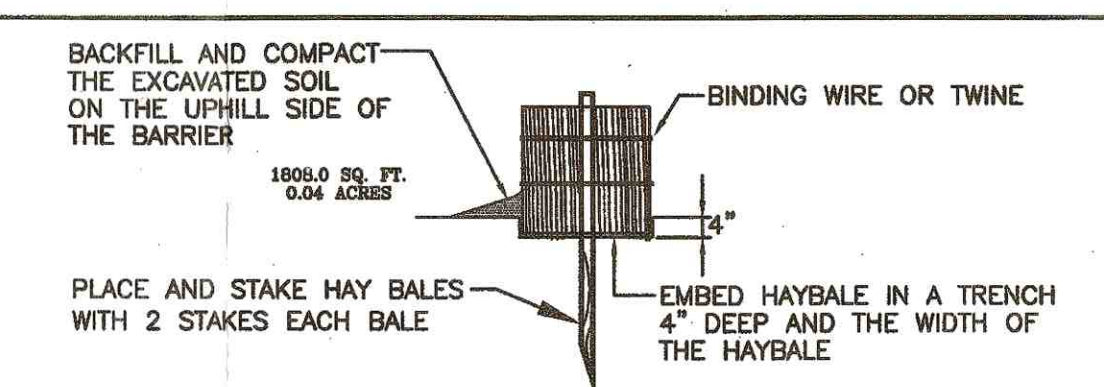
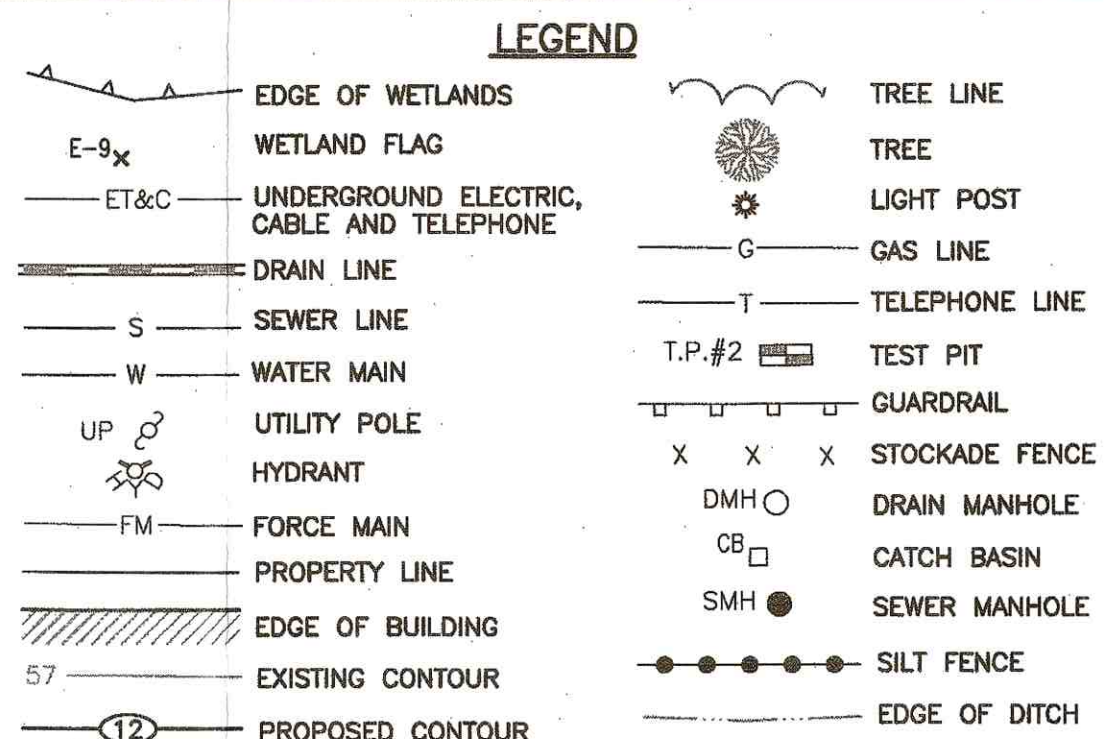
WWW.ROMANELLI-INC.COM



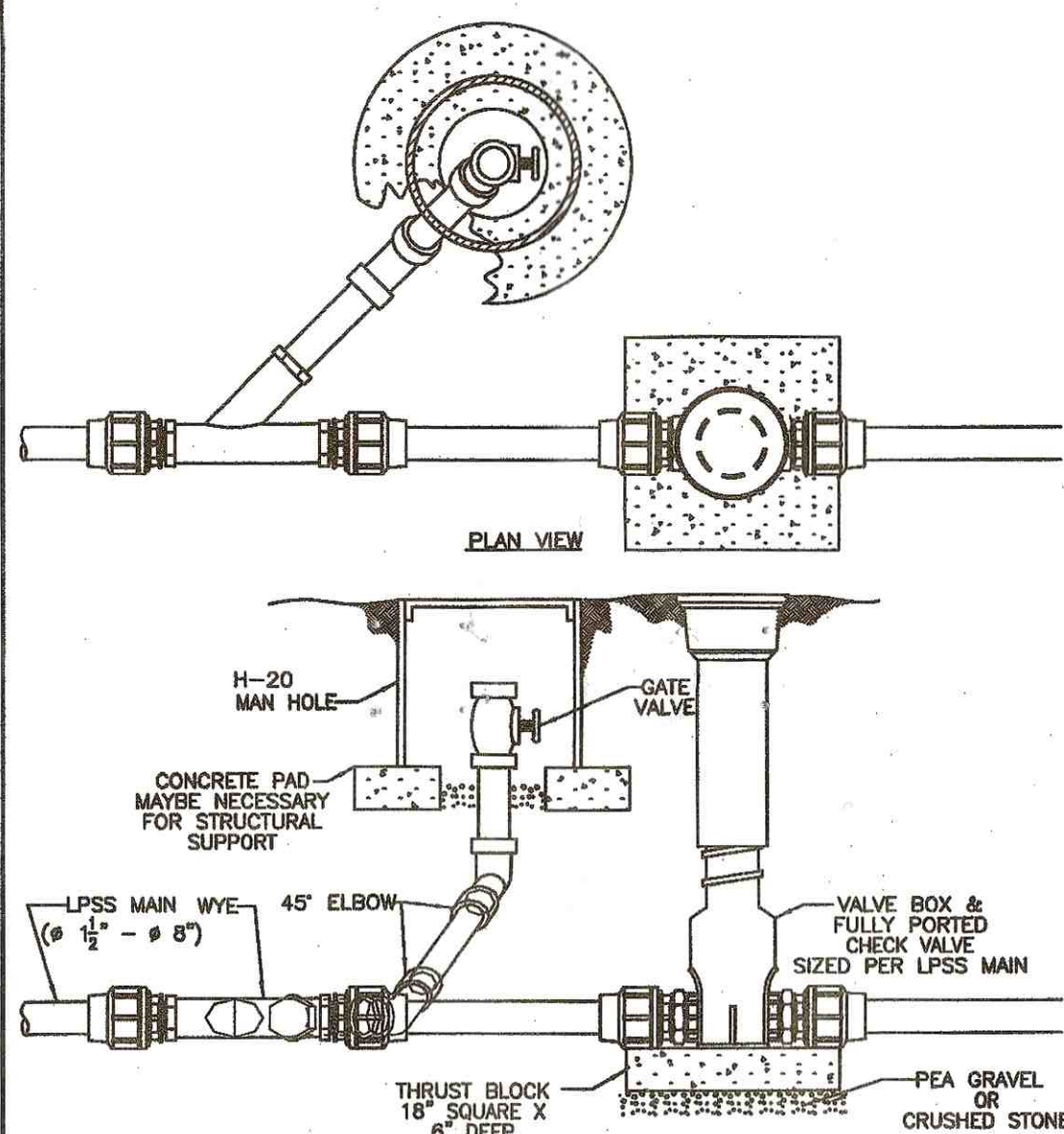
JN 16-088



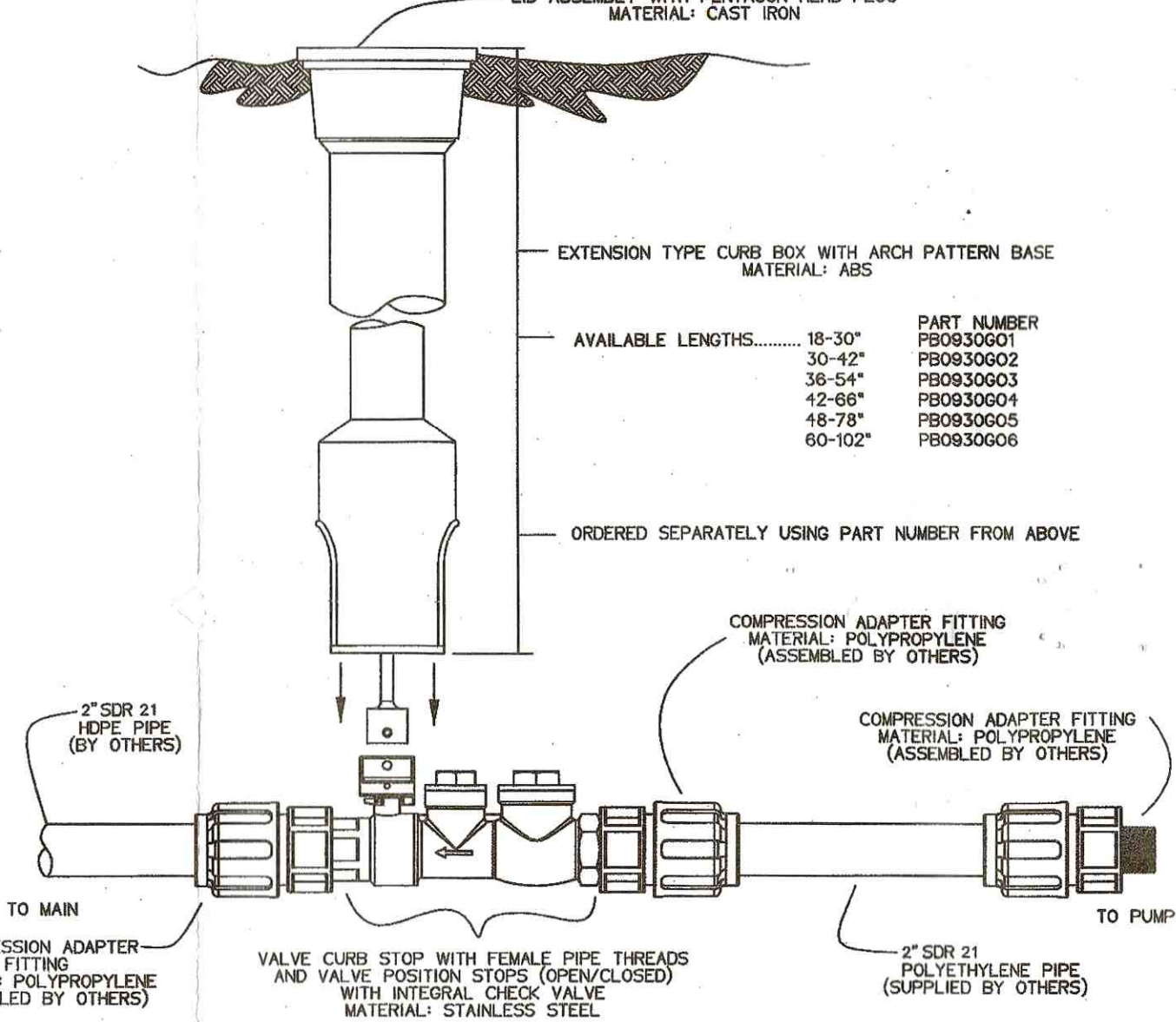
ROOF DRAIN INFILTRATION SYSTEM OVERFLOW DETAIL
NOT TO SCALE



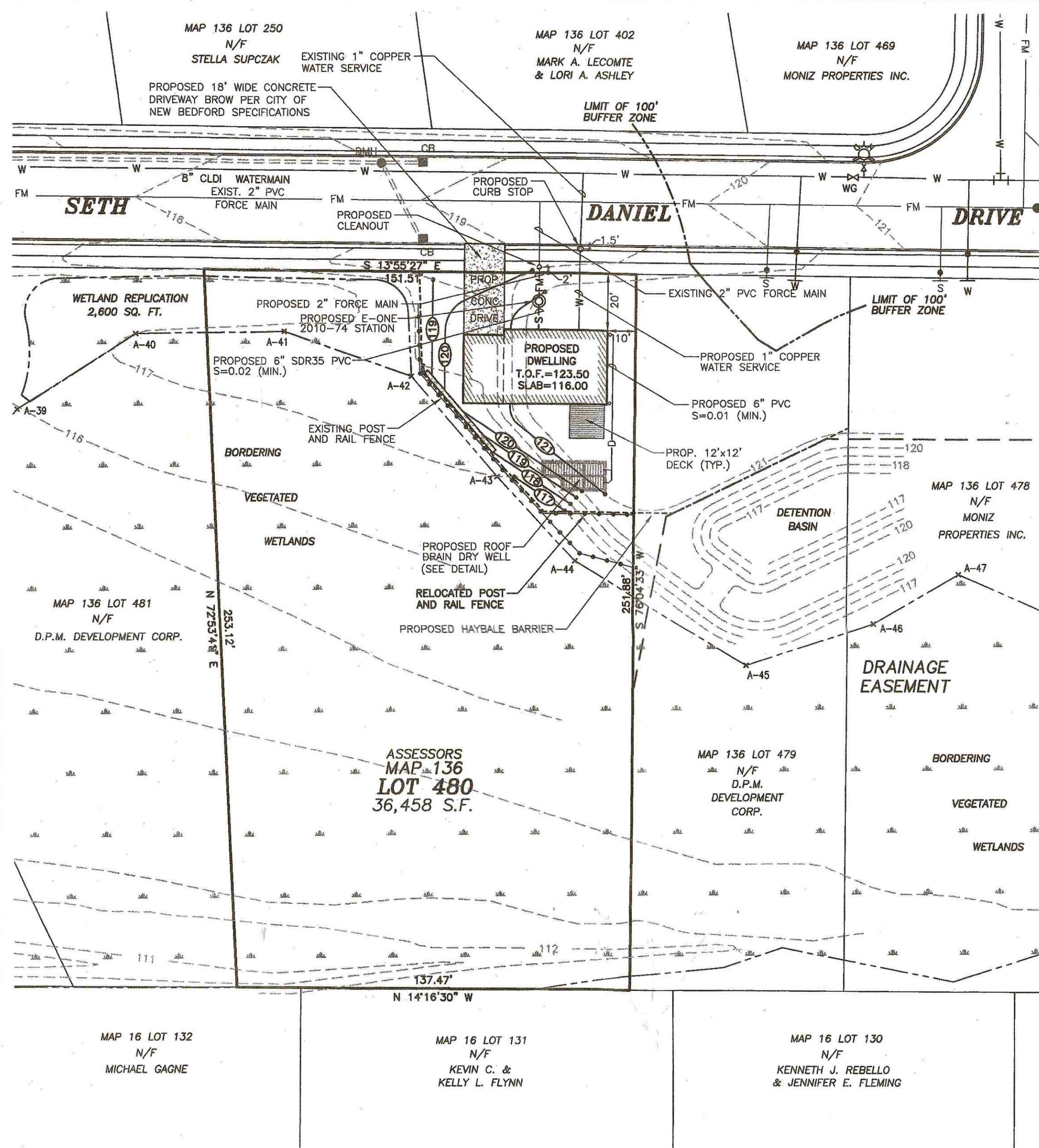
HAY BALE BARRIER DETAIL
NOT TO SCALE



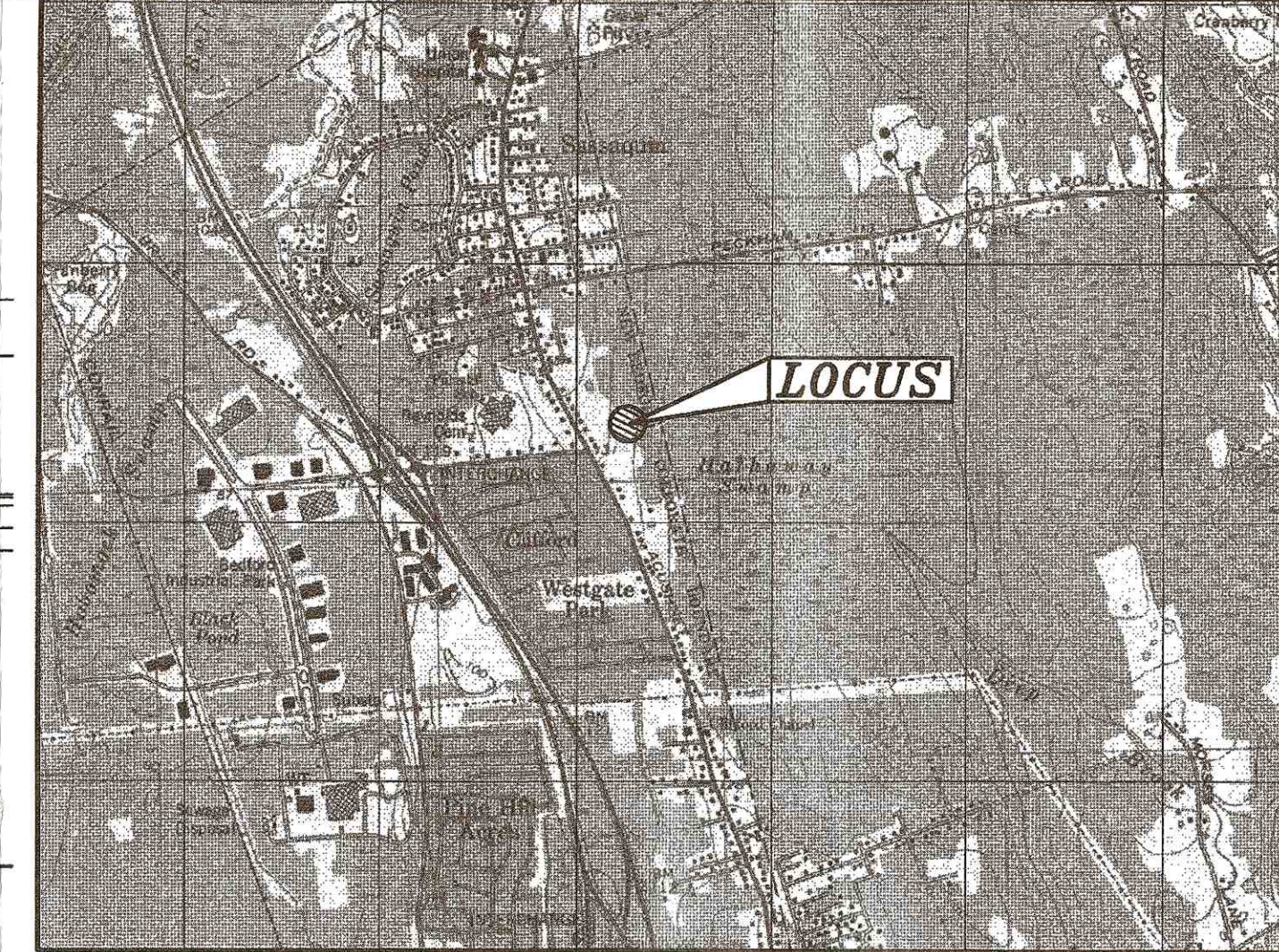
CLEAN-OUT DETAIL
NOT TO SCALE



LATERAL ASSEMBLY DETAIL
NOT TO SCALE



SCALE IN FEET



LOCUS MAP
(NOT TO SCALE)

BENCHMARK:

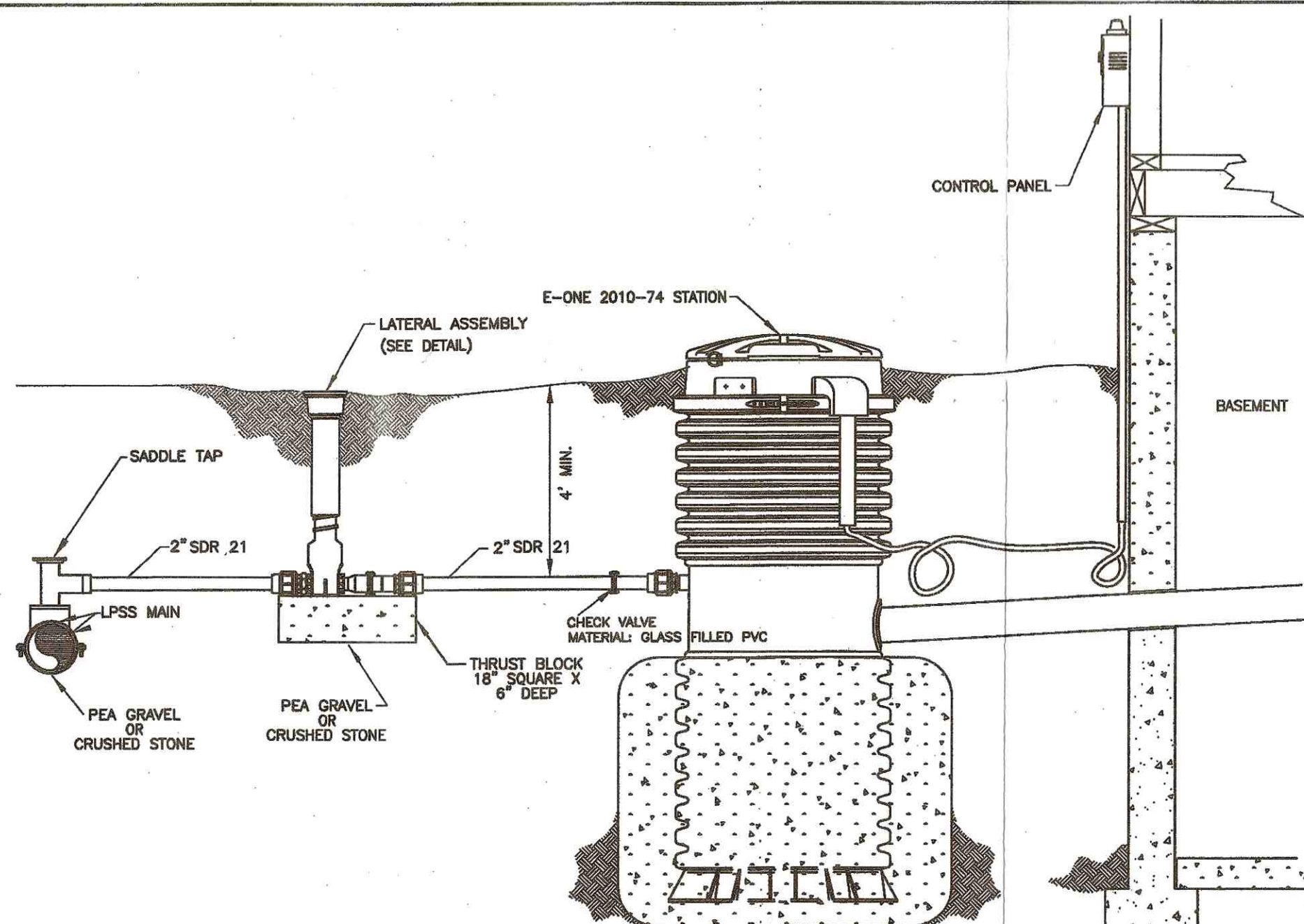
CHISEL "X" IN EASTERLY
BONNET BOLT (STREET SIDE)
OF HYDRANT LOCATED AT THE
INTERSECTION OF ROSA DRIVE
AND ACUSHNET AVENUE.
ELEVATION = 138.09
(CITY OF NEW BEDFORD DATUM)

ZONING REQUIREMENTS:

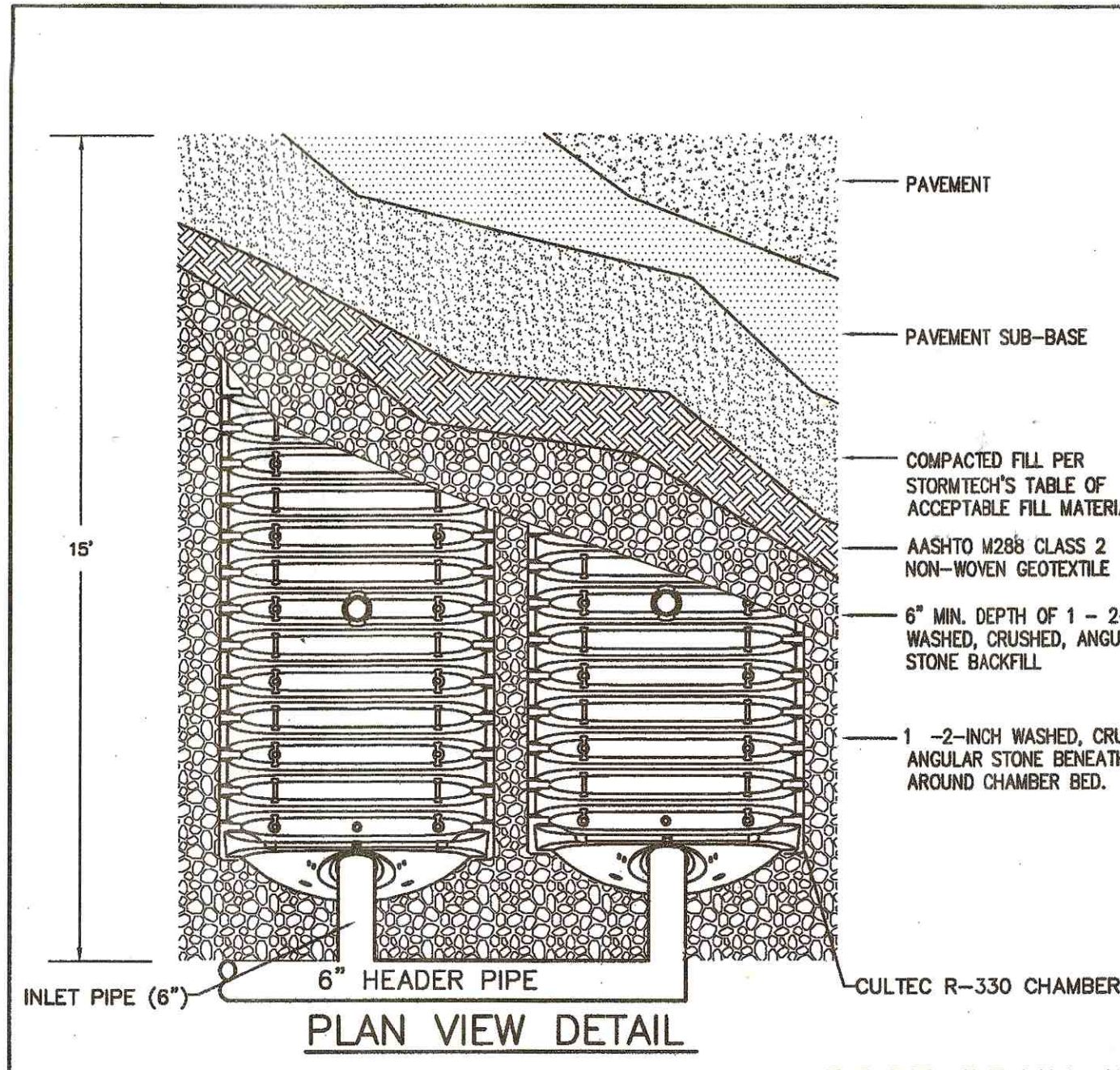
ZONING DISTRICT - RESIDENCE A (RA)
MINIMUM LOT AREA = 8,000 SQ. FT.
MINIMUM FRONTAGE = 75 FEET
MINIMUM FRONT YARD = 20 FEET
MINIMUM SIDE YARD = 10 AND 12 FEET
MAXIMUM BUILDING COVERAGE = 35% LOT AREA

GENERAL NOTES:

- CONTRACTOR SHALL NOTIFY DIG SAFE AT LEAST 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
- CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF ALL UTILITIES PRIOR TO THE START OF CONSTRUCTION. THESE PLANS ARE BASED ON FIELD AND RECORD INFORMATION AND, THEREFORE, MAY NOT COMPLETELY DEPICT ALL EXISTING UTILITIES.
- CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER IMMEDIATELY IF FIELD CONDITIONS ARE FOUND TO DIFFER WITH THESE DRAWINGS.
- THE CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION OF THE ADJACENT AREA AND UTILITIES IN THE CONSTRUCTION OF THIS SITE. REPAIR OF DAMAGED PROPERTY SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AT NO COST TO THE OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY WATERPROOFING THE BASEMENT. NO DETERMINATION OF THE HIGH GROUNDWATER ELEVATION HAS BEEN MADE BY THE ENGINEER ON THIS LOT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETING ALL CONSTRUCTION.
- ALL WORK SHALL BE IN ACCORDANCE WITH THE DEPARTMENT OF PUBLIC INFRASTRUCTURE CONSTRUCTION SPECIFICATIONS, LATEST REVISION.
- ALL CONSTRUCTION SHALL COMPLY WITH THE CITY OF NEW BEDFORD DPW STANDARDS.
- THE PROPOSED CONCRETE SIDEWALK AND DRIVEWAY APRONS MUST MEET CURRENT A.D.A. AND CITY STANDARDS. THE PROPOSED DRIVEWAYS SHALL BE 6" CEMENT CONCRETE WITH 6"x6" GAUGE WIRE MESH.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEERING DIVISION 24 HOURS IN ADVANCE TO ENSURE THE PROPOSED SIDEWALK AND DRIVEWAY APRONS AND WHEELCHAIR RAMPS WILL MEET THE CURRENT A.D.A. AND CITY OF NEW BEDFORD STANDARDS.
- PERMITS FOR DRAINAGE, WATER, SIDEWALKS AND DRIVEWAYS MUST BE OBTAINED FROM THE DEPARTMENT OF PUBLIC INFRASTRUCTURE (DPI) ENGINEERING DIVISION BY OWNER.
- ALL UTILITY WORK TO BE CONDUCTED PER DPI SPECIFICATION.
- THE DEVELOPER AND SITE CONTRACTOR MUST SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE DEPARTMENT OF PUBLIC INFRASTRUCTURE PRIOR TO START OF CONSTRUCTION.

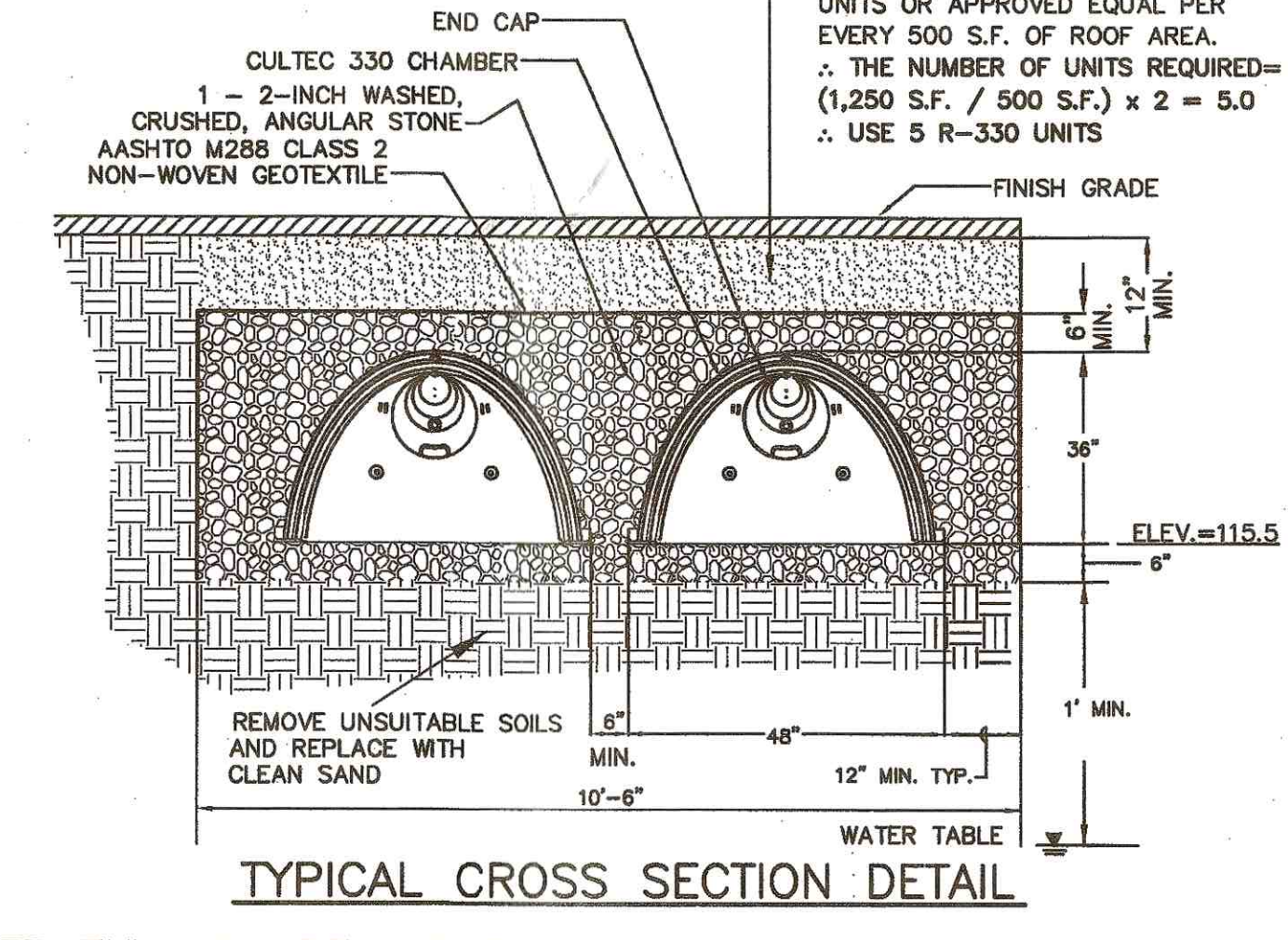


LATERAL INSTALLATION
NOT TO SCALE



PLAN VIEW DETAIL

WELL GRADED GRANULAR BACKFILL WHICH CONTAIN AN EVEN DISTRIBUTION OF PARTICLE SIZES WITH NO MORE THAN 12% PASSING THE #200 SIEVE COMPACTED TO A MINIMUM OF 95% OF THE STANDARD PROCTOR DENSITY. SEE THE TABLE OF ACCEPTABLE FILL MATERIALS IN STORMTECH'S DESIGN MANUAL, INSTALLATION MANUAL, OR WWW.STORMTECH.COM.

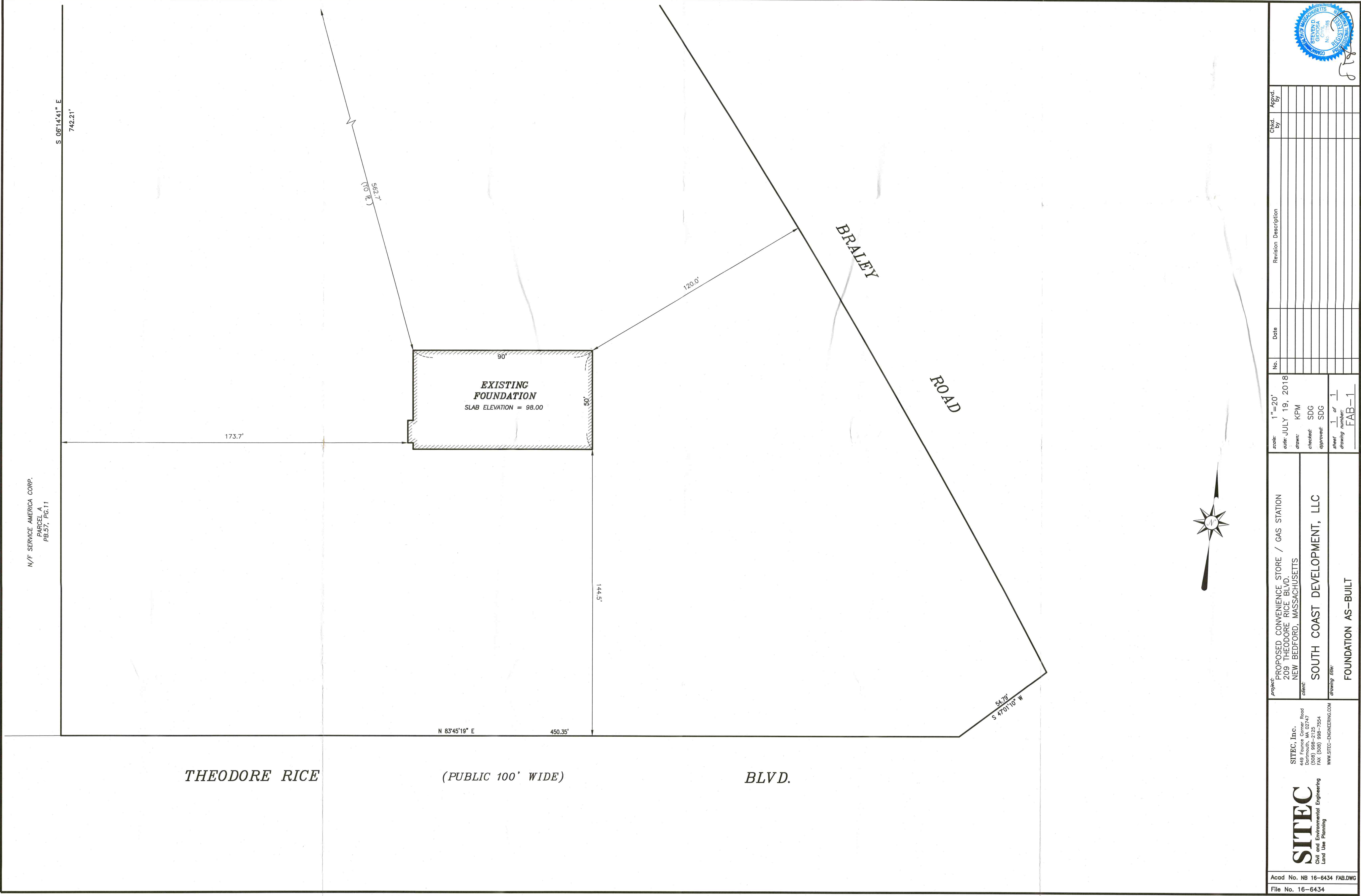


TYPICAL CROSS SECTION DETAIL

ROOF DRAIN INFILTRATION SYSTEM DETAIL

NOT TO SCALE

SITEC		449 Foulce Corner Road Dorchester, MA 02127 (508) 998-2125 FAX (508) 998-7554	scale: 1" = 30' date: 2-21-18 drawn: JPT checked: SML approved: SDG
project:		ASSESSORS MAP 136 LOT 480 SETH DANIEL DRIVE NEW BEDFORD, MASSACHUSETTS	
client:		D.P.M. DEVELOPMENT CORP.	
drawing title:		PLOT PLAN	
			sheet 1 of 1 drawing number: 13-5613_10S_PP



SITEC Site and Environmental Engineering Civil and Surveying 449 Fausch Corner Road New Bedford, MA 01905 (508) 998-2247 (508) 998-1133 FAX (508) 998-7554 WWW.SITEC-ENGINEERING.COM	PROJECT: PROPOSED CONVENIENCE STORE / GAS STATION 209 THEODORE RICE BLVD. NEW BEDFORD, MASSACHUSETTS CLIENT: SOUTH COAST DEVELOPMENT, LLC DRAWING TITLE: FOUNDATION AS-BUILT	scale: 1"=20'	date: JULY 19, 2018	No.	Date	Revision Description	Checked By	Appr. By	
		drawn: KPM	checked: SDG						
								FAB-1	

Acad No. NB 16-6434 FAB.DWG
File No. 16-6434