

W-18-37
SERVICE 34013

NEW BEDFORD WATER WORKS
APPLICATION FOR SERVICE AND METER

NEW BEDFORD

EXPIRES: 7-23-2019
7-23-2018

25779
I HEREBY ACKNOWLEDGE the receipt of a copy of the Regulations prescribed in the Ordinance of the City, for the use of Water, and I request that the water may be furnished through a

2" inch copper, Theodore Rice meter at NS 280, W x Phillips Rd.
207 - Theodore Rice

at such rates as may from time to time be established by the City.

I hereby agree to pay promptly the bill for the Service pipe laid down for my premises, and to pay all dues for water, and I agree to conform to the said Regulations and to all provisions of the Water Ordinances, until written notice is given by me or my agent to cut off the supply. Beta Realty LLC

P. 136 JB Langan
2. 322.0 existing

X Donald P. Higgins
280 Ayer Rd, Harvard MA.

USING
TELEPHONE 508 9903442

Ann Church Ann Church

Service laid water service

Size and kind of pipe

commercial - J.B. Langan Co.

From

St.

Turned on

Meter Set

Reading

Location

Building rates

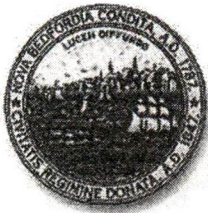
Paid

Cost of Service

Paid

31-727

\$ 565.00 chkt # 43232



Department of Public Infrastructure

Jamie Ponte
Commissioner

Water
Wastewater
Highways
Engineering
Cemeteries
Park Maintenance
Forestry
Energy

CITY OF NEW BEDFORD

Jonathan F. Mitchell, Mayor

To Whom It May Concern:

I Beta Realty LLC
D.P. (Mickey) Hickey 280 Ayer Road, Harvard MA, being
(Name) (Mailing Address)

Owner of property located at
209 Theodore Rice Boulevard, New Bedford MA

Plot 136, Lot 322, hereby agree to allow J.B. Lanagan + Co. Inc.
(Name)

21 E. River Dr. Dartmouth, MA to act on my behalf including affixing my
(Mailing Address) 02747

signature in securing permit for:

☒ Sewer/Drain Service Permits
☒ Water Service Permits
☒ Driveway Installation Permits
☒ Sidewalk Installation Permits

I further agree to conform to, and abide by, All City rules and ask regulations applicable to the permit (s) being applied for:

Name D.P. Hickey
Signature

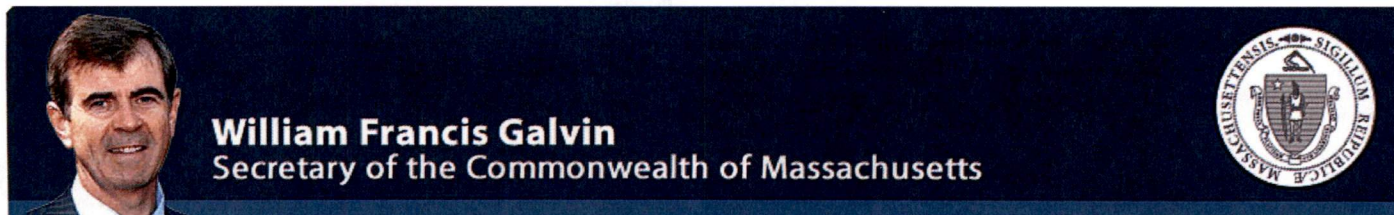
280 Ayer Road, Harvard MA

Address

06/22/18

Date

Telephone Number



Corporations Division

Business Entity Summary

ID Number: 043393248[Request certificate](#)[New search](#)**Summary for: BETA REALTY LLC**

| | | |
|--|-----------------------|------------------------------------|
| The exact name of the Domestic Limited Liability Company (LLC): BETA REALTY LLC | | |
| The name was changed from: DH & DH REALTY LLC on 02-09-1999 | | |
| Entity type: Domestic Limited Liability Company (LLC) | | |
| Identification Number: 043393248 | | |
| Date of Organization in Massachusetts: 09-18-1997 | | |
| Last date certain: 12-31-2048 | | |
| The location or address where the records are maintained (A PO box is not a valid location or address): Address: 280 AYER ROAD City or town, State, Zip code, HARVARD, MA 01451 USA Country: | | |
| The name and address of the Resident Agent: Name: PHILIP C. LOMBARDO, JR. Address: 41 NORTH ST., SUITE 100A C/O LOMBARDO & DEVELLIS LLP City or town, State, Zip code, BEDFORD, MA 01730 USA Country: | | |
| The name and business address of each Manager: | | |
| Title | Individual name | Address |
| MANAGER | DONALD P. HIGGINS JR. | 280 AYER RD. HARVARD, MA 01451 USA |
| In addition to the manager(s), the name and business address of the person(s) authorized to execute documents to be filed with the Corporations Division: | | |
| Title | Individual name | Address |
| SOC SIGNATORY | DONALD P. HIGGINS JR. | 280 AYER RD. HARVARD, MA 01451 USA |
| The name and business address of the person(s) authorized to execute, acknowledge, deliver, and record any recordable instrument purporting to affect an interest in real property: | | |
| Title | Individual name | Address |
| REAL PROPERTY | DONALD P. HIGGINS JR. | 280 AYER RD. HARVARD, MA 01451 USA |

**Consent****Confidential
Data****Merger
Allowed****Manufacturing****View filings for this business entity:**

ALL FILINGS
Annual Report
Annual Report - Professional
Articles of Entity Conversion
Certificate of Amendment
Certificate of Cancellation

[View filings](#)**Comments or notes associated with this business entity:**[New search](#)



Commonwealth of Massachusetts

CITY OF NEW BEDFORD

City Hall, Room 308, 133 William Street New Bedford, MA 02740 (508) 979-1540



FOUNDATION PERMIT

No. **B-18-1179**

6/21/2018

MSBC Sect. 111.8 - Any permit issued shall be deemed abandoned and invalid unless the work authorized by it shall have been commenced within six (6) months after its issuance.

FEE PAID \$200.00

This certifies that Donald P. Higgins, Jr.

owner/contractor has permission to:

NS

THEODORE RICE BLVD

ON: Foundations Only Comm and Indust. 200.00

Providing that the person accepting this permit shall in every respect conform to the terms of application therefore on file in this office; to the provisions of the statute of the Commonwealth and to the by-laws of the City of New Bedford relating to the inspection, erection, enlarging, altering, raising, moving, repairing, or tearing down of a building.

Permit is issued subject to the following special requirements: (Restrictions)



Wiring Inspector



Plumbing Inspector



Building Inspector

YOUR AREA INSPECTOR IS: Thomas Welch

Tel. (508) 979-1540 Between 8:00am - 9:00am

NOTICE: NOTIFY INSPECTOR 48 HOURS IN ADVANCE OF APPLYING SHEATHING OR LATHING

OCCUPANCY PERMIT REQUIRED BEFORE OCCUPANCY

No Building or Structure shall be used or occupied until the Certificate of Use and Occupancy shall have been issued by the Building Commissioner - MSBC, Sect. 120.1

This Card Must Be Displayed in a Conspicuous Place on the Premises and Not Torn Down or Removed Until Completion of Work

SUBJECT TO MASSACHUSETTS
STATE BUILDING CODE

Danny D. Romanowicz

Building Inspector

Plan Review Comments:

: engineers final affidavit req. upon foundation completion

: Any changes, alterations, removal or installation of any gas or plumbing fixture will require a permit as per the provisions of Any 248 CMR.

: NOTE: FOUNDATION,,, WILL NEED ELECTRICIAN AND ELECTRICAL PERMIT ON THIS PROJECT AS WELL AS LEAVING A BOND WIRE TO THE REBAR IN THE FOUNDATION (UFER GROUND) FOR FUTURE ELECTRICAL SYSTEM GROUNDING.

: 1. Water service to be copper and 10ft away from sewer service.

2. Water curb stop/shut off to be 1.5ft from face of curb or pavement.

3. Water meter to be installed at the point entry 1.0ft inside cellar wall.

4. Owner to apply for a water permit.

5. All unused water services on the property to be removed from the water main.

: Need to complete an E-2 form before demolition

need to have an inspection of food facilities prior to opening

: Project can begin tree clearing and erosion control installation - Agent to inspect erosion controls after installation at which point, provided SWPPP is finalized, earth disturbance can begin.

: Project has an Order of Conditions from the Conservation Commission SE49-0778. Prior to signing off on foundation permit, need SWPPP submitted two weeks prior to construction start up, an on site with the engineer & contractor and the erosion controls installed.

: ASR-D.P.I. Engrg.

RE: TB-18-1179

Theodore H. Rice Blvd. (N.S.) 280' W. x Phillips Rd.

[Proposed Convenience Store/Gas Station-New England Farms]

Plot 136/Lot 322

Reviewed: 6/14/2018

The following conditions are to be met by the owner/representative as part of this permit approval:

1.) Per the preconstruction meeting held at D.P.I. on 6/12/2018, all requirements/conditions as set forth by D.P.I. at said meeting in regards to the development of this site must be met accordingly, and all construction must be in accordance to City of New Bedford Construction Standards and Specifications. The revised plan submitted to D.P.I. prior to this meeting was titled "Proposed Convenience Store/Gas Station, 209 Theodore Rice Boulevard, New Bedford Massachusetts," with a date of 8/15/2017 (and revision date of 4/30/2018). As discussed with the owner's representatives in attendance at this meeting, the submitted plan must be revised prior to pulling permits at D.P.I. The revised site plan must incorporate the additional changes (i.e. configuration of proposed driveway apron(s), water/sewer service(s) to be abandoned in accordance with C.N.B. requirements, sizes of proposed service connection(s) and drainage utility easement needed by C.N.B. for existing drainage on property, etc.) as requested by D.P.I. in said meeting. Any further modifications to the final plan revision approved by D.P.I. must be resubmitted for review/approval. The C.O. will not be

signed for this project if it is determined at the time of final inspection that there was work performed that falls under the jurisdiction of D.P.I. but was not originally reviewed/approved by this department.

2.) This project must be built in accordance with the approved S.P.R. and all D.P.I. comments on said review (per Memo to Planning Board dated 10/16/2017), and in accordance with the final revised plans that are submitted/approved by D.P.I. as the result of the preconstruction meeting, along with any other conditions set forth in regards to the development of this site at said meeting. The C.O. will not be signed if the conditions set forth at the preconstruction meeting and in the D.P.I. review comments letter originally submitted to the Planning Board for this project have not been met.

3.) Contact D.P.I. prior to applying for sewer/storm drain, water and driveway permits to discuss what materials will be required to be submitted to this office prior to these permits being issued. Several paper copies of the plan sheet(s) showing proposed utilities and driveway locations will be required by D.P.I. for permitting purposes. A permission letter from the property owner will be required in order for a representative/agent to sign permits. If applicable, a copy of the stamped foundation as-built plan and permit must also be submitted. If the property was acquired in the past 3 months, a copy of the recorded deed showing the new ownership must also be provided. No permits will be issued by D.P.I. until the all required materials have been received. Any outstanding comments/issues must have been addressed prior to issuance of any permits from D.P.I. (please confirm with Deputy Commissioner).

4.) Contact D.P.I. regarding compliance with the Industrial Pretreatment Program (IPP)/Fats, Oils, and Grease Program (FOG), which is required if your establishment falls under one of the following:

Industrial businesses require submission of a completed Industrial Discharge Permit Application (available on the City web-site).

Microbreweries require submission of a completed Industrial Discharge Permit Application (available on the City web-site) and installation of an accessible sampling port located on the final effluent of the brewing process.

Restaurants and other food service establishments require a grease trap be installed according to the Mass. Plumbing code and signed off by the Inspectional Services Dept. inspector and a FOG Application be completed and submitted (available on the City web-site).

Auto repair shops must have an MDC Trap and submit proof of a contract to be inspected/cleaned every six (6) months.

Dentists require submission of a copy of their Massachusetts Department of Environmental Protection "Certification Form for Massachusetts Dental Facilities" and installation of at least one (1) Dental Amalgam Separator System to service all of the facility's relevant dental chairs.

Depending on which the previous categories your application falls under, no permits will be issued by D.P.I. and/or no Certificate of Occupancy will be signed until there is compliance with the requirements stipulated.

5.) Contact D.P.I.-Engineering at (508) 979-1550 to measure for a new address number if the original door to which the address was assigned is relocated or removed, and/or new doors are added that will require legal address numbers. Any new building/structure will automatically have to apply for a new address. No Certificate of Occupancy will be signed unless the legal address number that has been issued by Engineering for the door location(s) being utilized as the main entrance(s) of the structure is in place on the corresponding entrance(s).

6.) Submit final site as-built to D.P.I. showing location of building/structure and all utilities (i.e. sewer, storm drain, water, etc.) installed as part of this project for City records. No Certificate of Occupancy will be signed until this has been submitted to D.P.I.

Please also note the following, which may be applicable to your site:

a.) Any new mains installed must be inspected, tested (witnessed by a D.P.I. inspector), and approved for connection, and the respective as-built must be submitted prior to D.P.I. issuing permits for individual house connections. Installer is responsible for meeting minimum required vertical and horizontal separation for water and sewer mains and services. A joint sewer maintenance agreement is required between parties sharing a sewer service line, and will only be permitted by D.P.I. under extenuating circumstances. A joint water maintenance agreement is required between parties sharing a water service line, and will only be permitted by D.P.I. under extenuating circumstances.

b.) The integrity of any previously existing service being re-utilized must be determined, and said testing witnessed by a D.P.I. inspector, prior to connection. The owner/developer assumes all responsibility of re-utilizing said service. The vertical and horizontal separation required between water and sewer must be provided for any new pipe being installed, and in areas where vertical and horizontal separation cannot be achieved, encasement or sleeving of the pipe will be required.

c.) All old water services to be discontinued must be killed at the main (please note that the C.N.B. Construction Standards and Specifications manual delineates the different requirements to be met, dependent on the size of the water service connection being killed), and said work must be inspected/witnessed by the proper D.P.I. inspector. All old sewer services to be discontinued must be abandoned at the property line, in accordance with City standards and specifications, and said work must be inspected/witnessed by

the proper D.P.I. inspector.

d.) Recorded easements must exist for any water, sewer and drainage pipes being installed on other parcels to service the subject parcel. Recorded easements should also exist for any water, sewer and drainage pipes traversing the subject parcel to service other properties. It is the responsibility of the engineer and/or surveyor to show all existing/proposed easements on the site plan being submitted to D.P.I. for review. Thus, the engineer and/or surveyor assumes any and all responsibility for any conflicts or issues arising due to their omission of existing/proposed easement location information for the parcel(s) to be reviewed.

e.) All new commercial driveways (or alteration thereof) must go before the Traffic Commission for approval prior to D.P.I. issuing a Driveway Permit. Any other pre-existing curb cuts along the perimeter of the property will have to be closed. Recorded easements must exist for any driveways being installed on other parcels to service the subject parcel. Recorded easements should also exist for any driveways traversing the subject parcel to service other properties. Please inquire with Inspectional Services if an agreement needs to be recorded for proposed driveways that are to be "shared in common"/jointly by multiple parcels/entities, but for which there are no easements.

: ASR-D.P.I. Engrg.

RE: TB-18-1179

Theodore H. Rice Blvd. (N.S.) 280' W. x Phillips Rd.

[Proposed Convenience Store/Gas Station-New England Farms]

Plot 136/Lot 322

Reviewed: 5/21/2018

Denied for the following reasons:

- 1.) Must submit a set (full scale paper copy) of the most recent plans, reflecting any revisions requested by D.P.I. (as per comments letter submitted to Planning Dept. on 10/16/2017) and/or by other departments, to be reviewed by this department;
- 2.) Must schedule a preconstruction meeting with Manny Silva, Deputy Commissioner, prior to D.P.I. approving Foundation Permit.

: Foundation for a commercial Building.

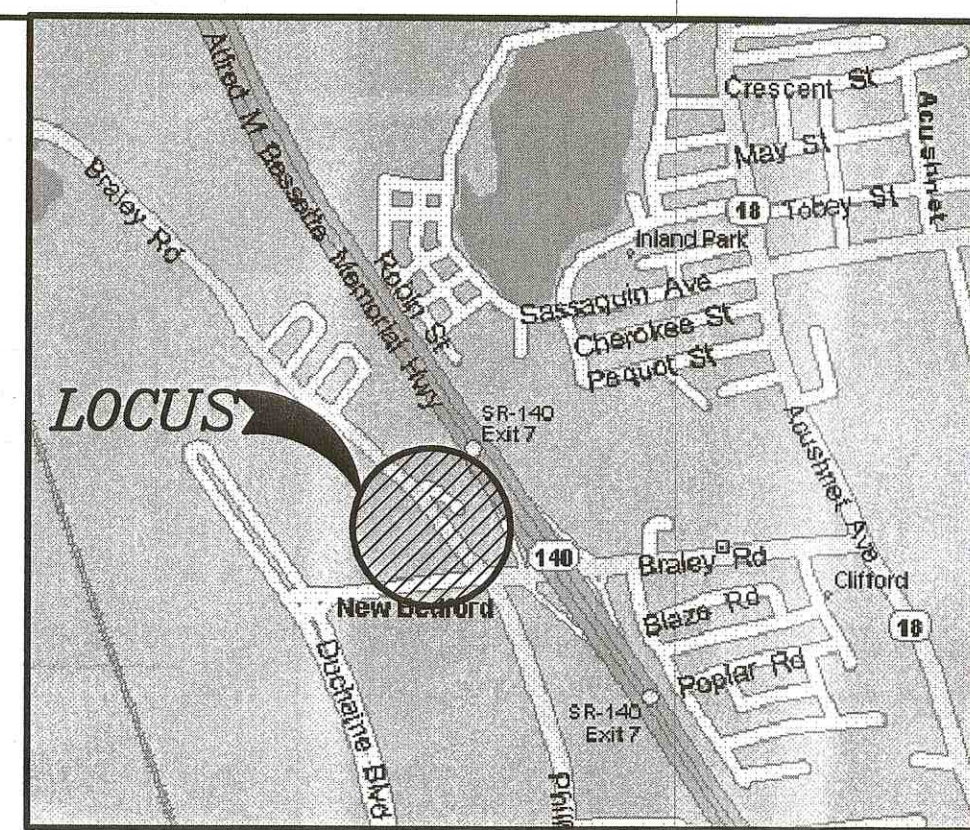
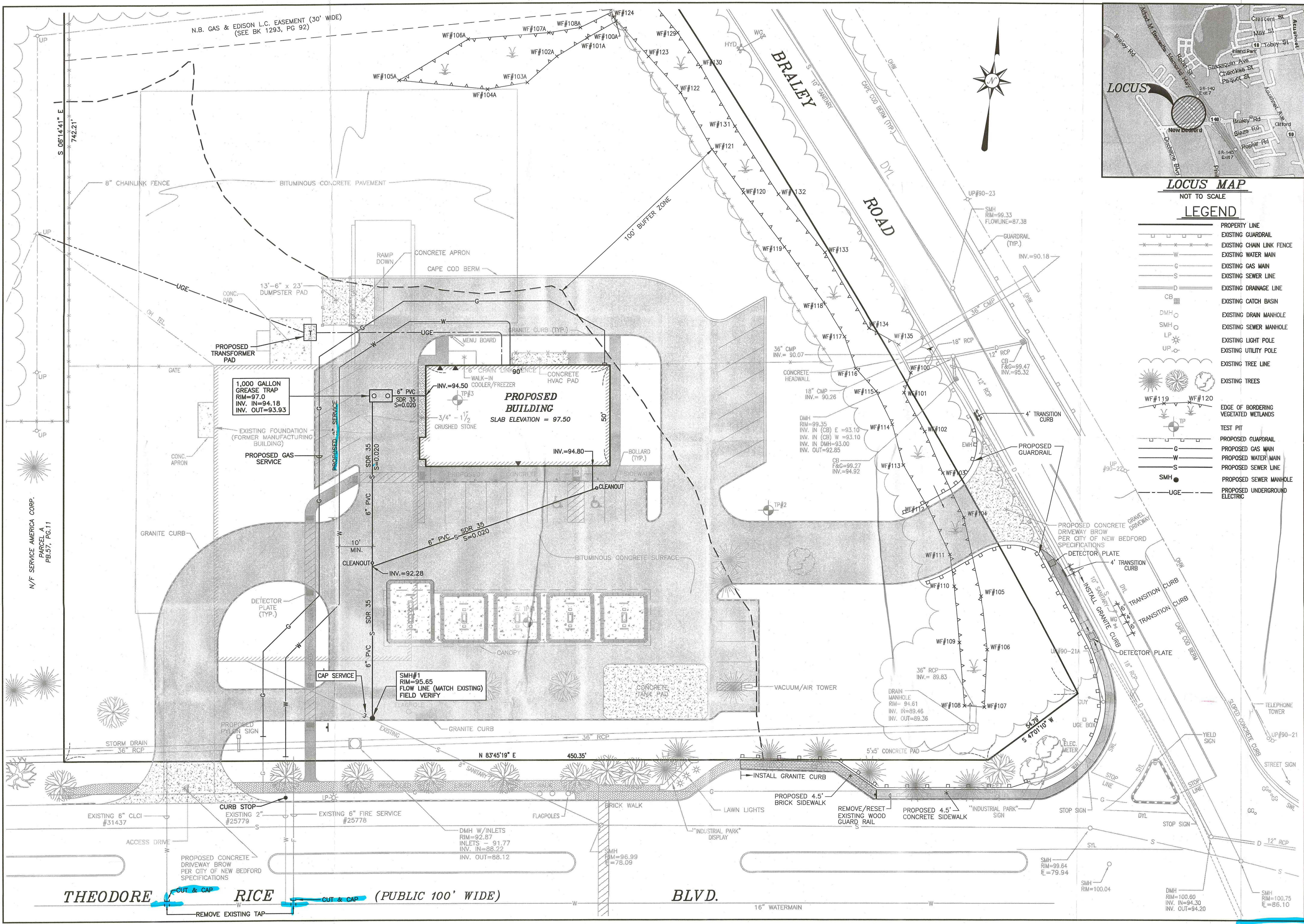
Convenience store / gas station with drive-thru

: Foundation for a commercial Building.

convenience store / gas station with drive-thru

: Note from Planning

Please note, this permit approval is for the foundation only. Conditions as stipulated within the decision still apply and will require review prior to building.



LEGEND

| | |
|-----|--------------------------------------|
| --- | PROPERTY LINE |
| --- | EXISTING GUARDRAIL |
| --- | EXISTING CHAIN LINK FENCE |
| --- | EXISTING WATER MAIN |
| --- | EXISTING GAS MAIN |
| --- | EXISTING SEWER LINE |
| --- | EXISTING DRAINAGE LINE |
| --- | EXISTING CATCH BASIN |
| --- | EXISTING DRAIN MANHOLE |
| --- | EXISTING SEWER MANHOLE |
| --- | EXISTING LIGHT POLE |
| --- | EXISTING UTILITY POLE |
| --- | EXISTING TREE LINE |
| --- | EXISTING TREES |
| --- | EDGE OF BORDERING VEGETATED WETLANDS |
| --- | TEST PIT |
| --- | PROPOSED GUARDRAIL |
| --- | PROPOSED GAS MAIN |
| --- | PROPOSED WATER MAIN |
| --- | PROPOSED SEWER LINE |
| --- | PROPOSED SEWER MANHOLE |
| --- | PROPOSED UNDERGROUND ELECTRIC |

| | |
|---|---|
| | |
| Project | Proposed Convenience Store / Gas Station |
| Client | South Coast Development, LLC |
| Site | 209 Theodore Rice Blvd. New Bedford, Massachusetts |
| Scale | 1" = 20' |
| Date | August 15, 2017 |
| Drawn by | NAD/AJC |
| Checked by | SDG |
| Reviewed by | SDG |
| Approved by | SDG |
| Sheet | 5 of 12 |
| Drawing Number | SU-1 |
| SITE UTILITIES | |
| SITEC, Inc. Civil and Environmental Engineering Land Use Planning 209 Theodore Rice Blvd. New Bedford, MA 02747 (508) 898-2125 FAX (508) 898-7554 WWW.SITEC-ENGINEERING.COM | |
| Acad No. NB 16-6434 SLDWG File No. 16-6434 | |

WATER