

W-18-32
SERVICE 34005

NEW BEDFORD WATER WORKS

APPLICATION FOR SERVICE AND METER

NEW BEDFORD 6-7-18

I HEREBY ACKNOWLEDGE the receipt of a copy of the Regulations prescribed in the Ordinance of the City, for the use of Water, and I request that the water may be furnished through a

1 inch Copper #27 meter at Seth Daniel Dr.
(W.S.) 500' S X Rosa Dr.

at such rates as may from time to time be established by the City.

I hereby agree to pay promptly the bill for the Service pipe laid down for my premises, and to pay all dues for water, and I agree to conform to the said Regulations and to all provisions of the Water Ordinances, until written notice is given by me or my agent to cut off the supply.

P-136 Sewer permit
L-486 #124595
125 CANUSSA

Dr. Development
X. Rosa Mont

TELEPHONE 308 913-0381

Service laid..... Size and kind of pipe.....

From..... St.

Turned on..... Meter Set.....

Reading..... Location.....

Building rates..... Paid.....

Cost of Service \$500 CK + 7053 Paid \$500

31-727

S x S line Rosa Dr 565.0'
N x S line Seth Daniel 6'
E x W line House 38'
W x E line house 2'
N x N line house 29'
MNain to property line 14'
Pipe inside property 23'

Rosa Morris 7/20/18



Department of Public Infrastructure

Jamie Ponte
Commissioner

CITY OF NEW BEDFORD
Jonathan F. Mitchell, Mayor

Water
Wastewater
Highways
Engineering
Cemeteries
Park Maintenance
Forestry
Energy

NEW WATER SERVICE

DATE OF INSPECTION: _____ TIME OF INSPECTION: _____

CONTRACTOR: CANESSA CONTACT # _____

LOCATION: 27 Seth Daniel LOT # 486 SERVICE # 34005

SIZE OF SERVICE: 1" KIND OF PIPE: Copper

FOREMAN SIGNATURE: _____

NEAREST STREET TO BOX	<u>5XS line ROSA DA</u>	<u>565</u>
OTHER LOCATION TO BOX		
PROPERTY LINE TO BOX	<u>NXS line Seth DAN</u>	<u>6</u>
CORNER OF BUILDING TO BOX	<u>EXW line House</u>	<u>38</u>
CORNER OF BUILDING TO BOX	<u>WVE line House</u>	<u>2</u>
HOUSE TO BOX	<u>NXN line House</u>	<u>29</u>
MAIN TO PROPERTY LINE		<u>14</u>
PIPE INSIDE PROPERTY		<u>23</u>
MEASUREMENTS OF DUCTS OR CABLES		

REMARKS: _____

DISPLAY PERMIT IN A CONSPICUOUS PLACE ON THE PREMISES



Commonwealth of Massachusetts

City of New Bedford

133 William Street New Bedford, MA 02740

WATER SERVICE PERMIT



Date: 8/1/2018

No. **W-18-32**

Permit Fee: \$500.00

Service Location: SS SETH DANIEL DR

Owner Name: MONIZ PROPERTIES INC

Owner Phone #: _____

Type of Occupancy: Residential

Type of Work: Water - Domestic New 1"

Work Description: water permit# 34005

P.136

L.486

Seth Daniel Dr WS 560' S x Rosa Drive

expires 06/07/18

Contractor

Name: Robert J. Canessa Certificate #: _____ Type of Business: DPI - Other

Address: P. O. Box 51643 City/Town/State: New Bedford MA Phone #: (508) 998-

Type of Service Pipe Size Trench Length: 0.00

Fire Service _____

Domestic Service _____

Estimated consumption of water

Estimated average daily consumption 0.00 gallons

Cross Connection? No

Estimated maximum day consumption 0.00 gallons

Right of Way? No

Are lawn sprinklers and/or lawn irrigation proposed on site? No

Meter Impact? No

Estimated fire flows required for the project site: 0.00

Street Opening Permit Required? No

Does the project require a fire suppression system? No

Required minimum static pressure for the proposed project site 0.00

Call Phone: (781) 942-9077 For Inspection

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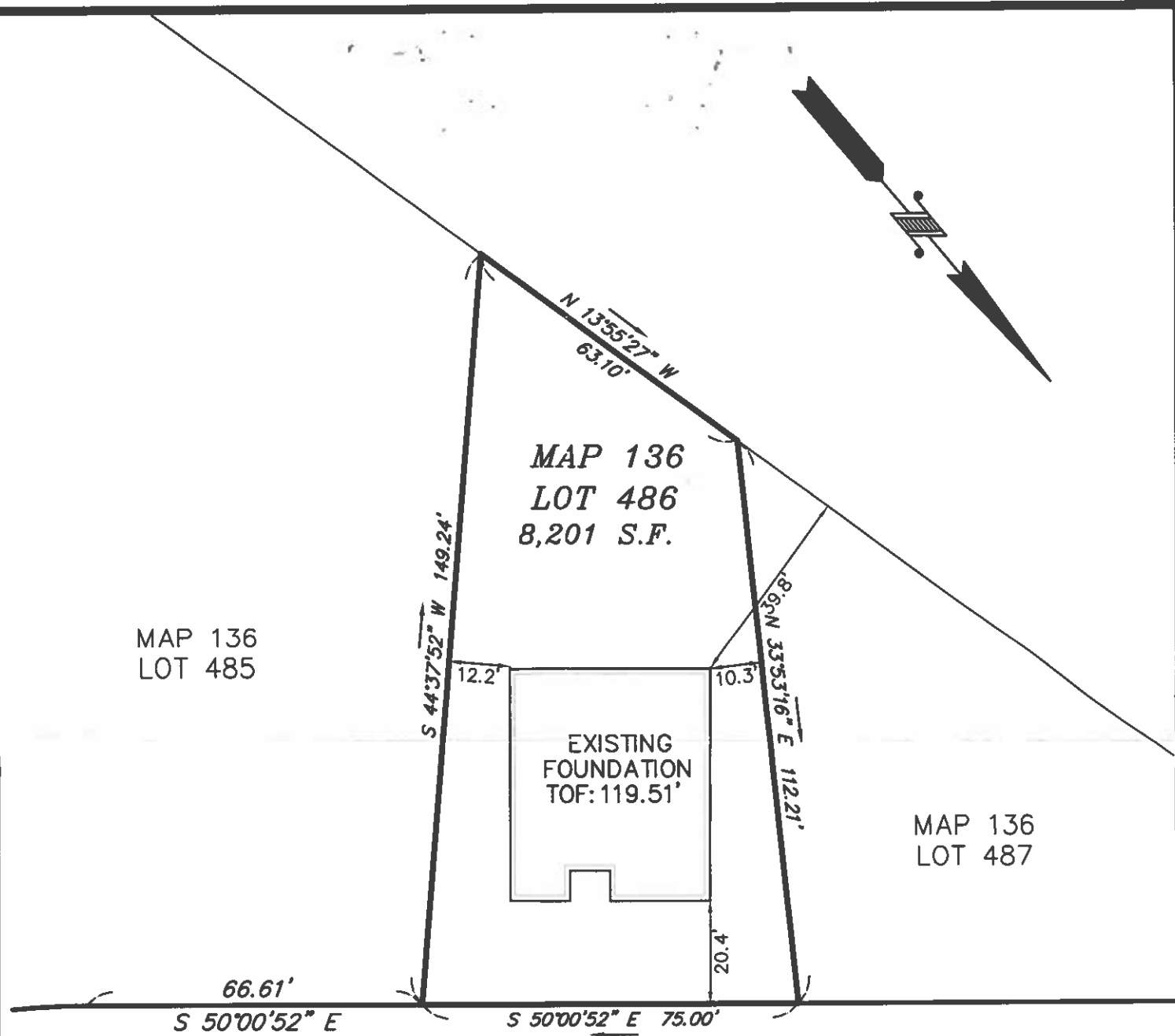
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**SETH DANIEL
DRIVE**
(PRIVATE - 50' WIDE)

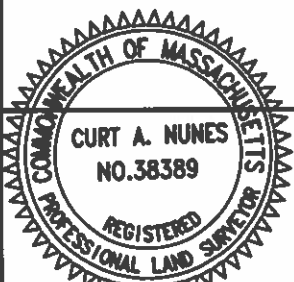
MAP 136
LOT 484

MAP 136
LOT 483

MAP 136
LOT 482

AS BUILT FOUNDATION PLAN - MAP 136 LOT 486

SETH DANIEL DRIVE
IN
NEW BEDFORD, MA

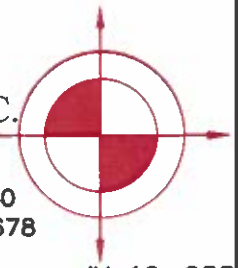


I CERTIFY THAT THE FOUNDATION SHOWN
HEREON, AS BUILT, CONFORMS TO THE CITY
OF NEW BEDFORD ZONING SETBACK
REQUIREMENTS.

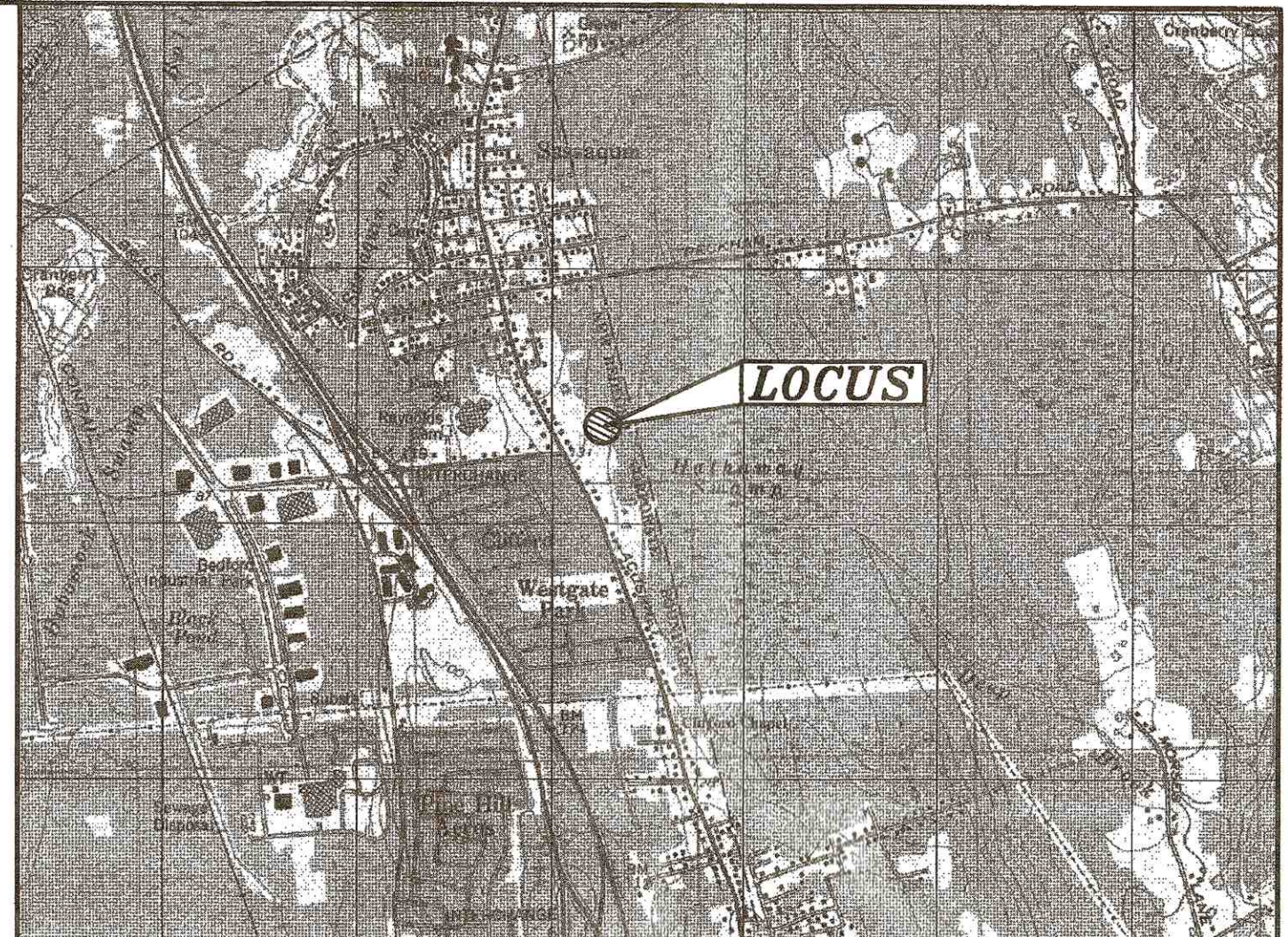
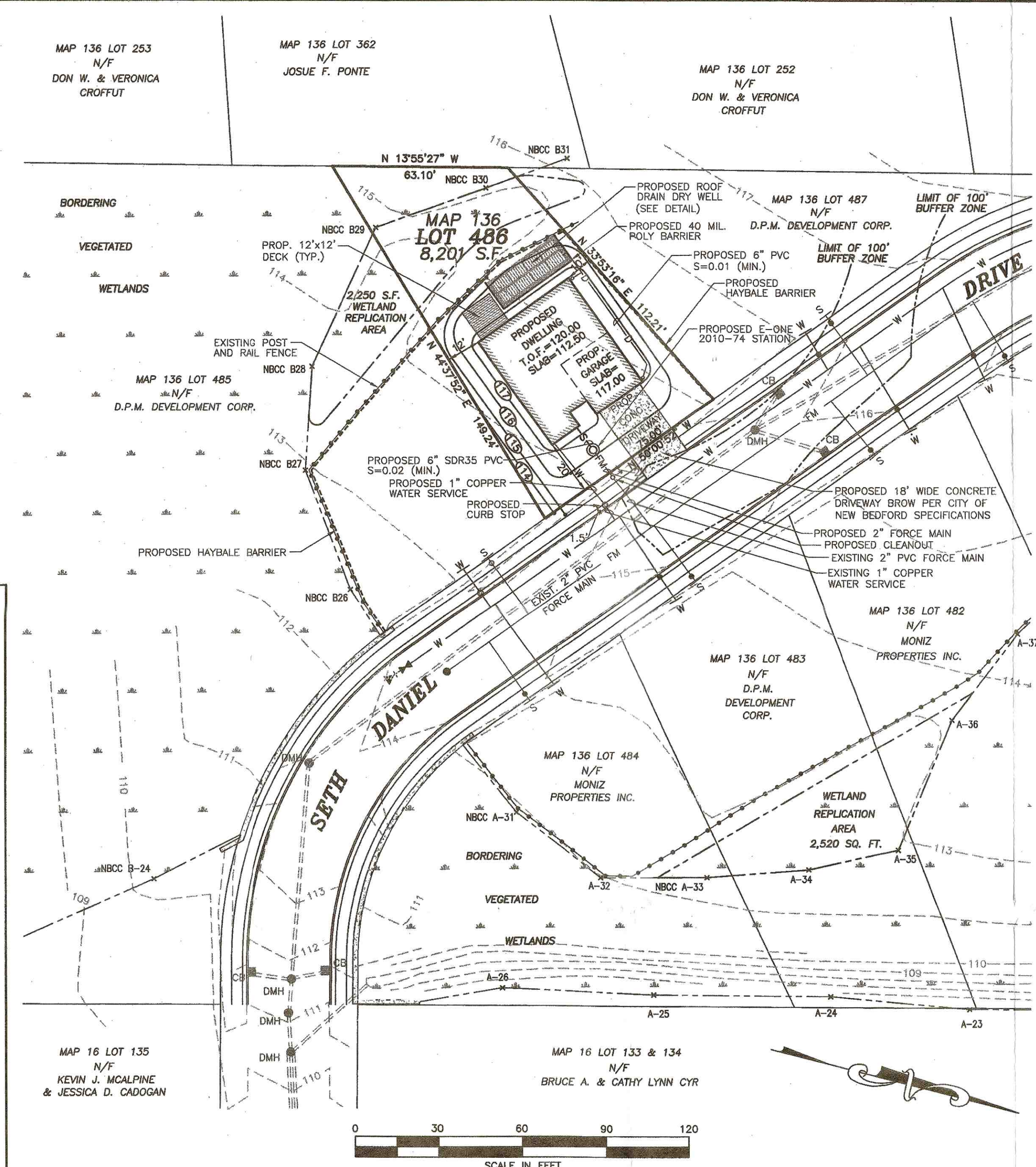
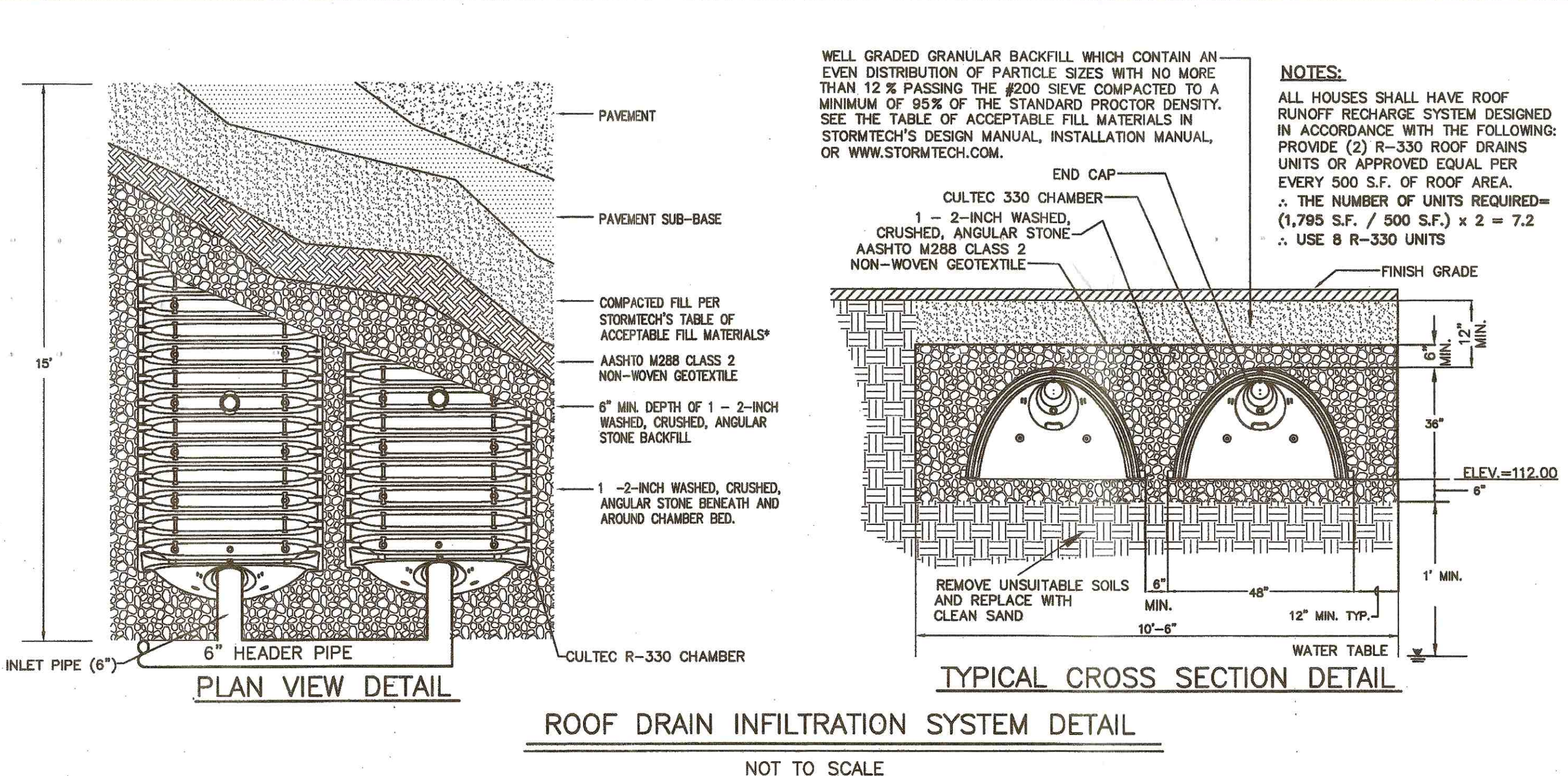
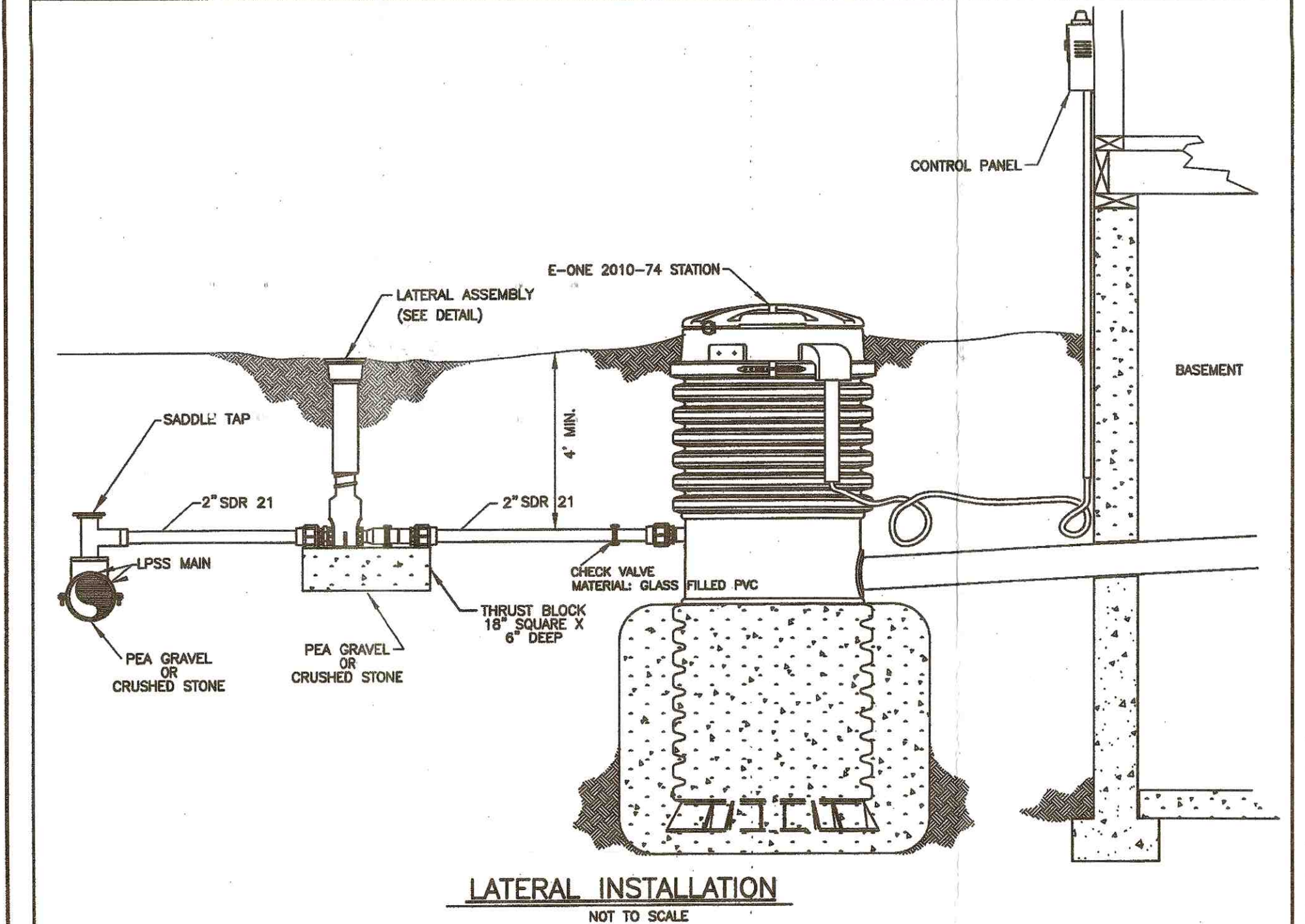
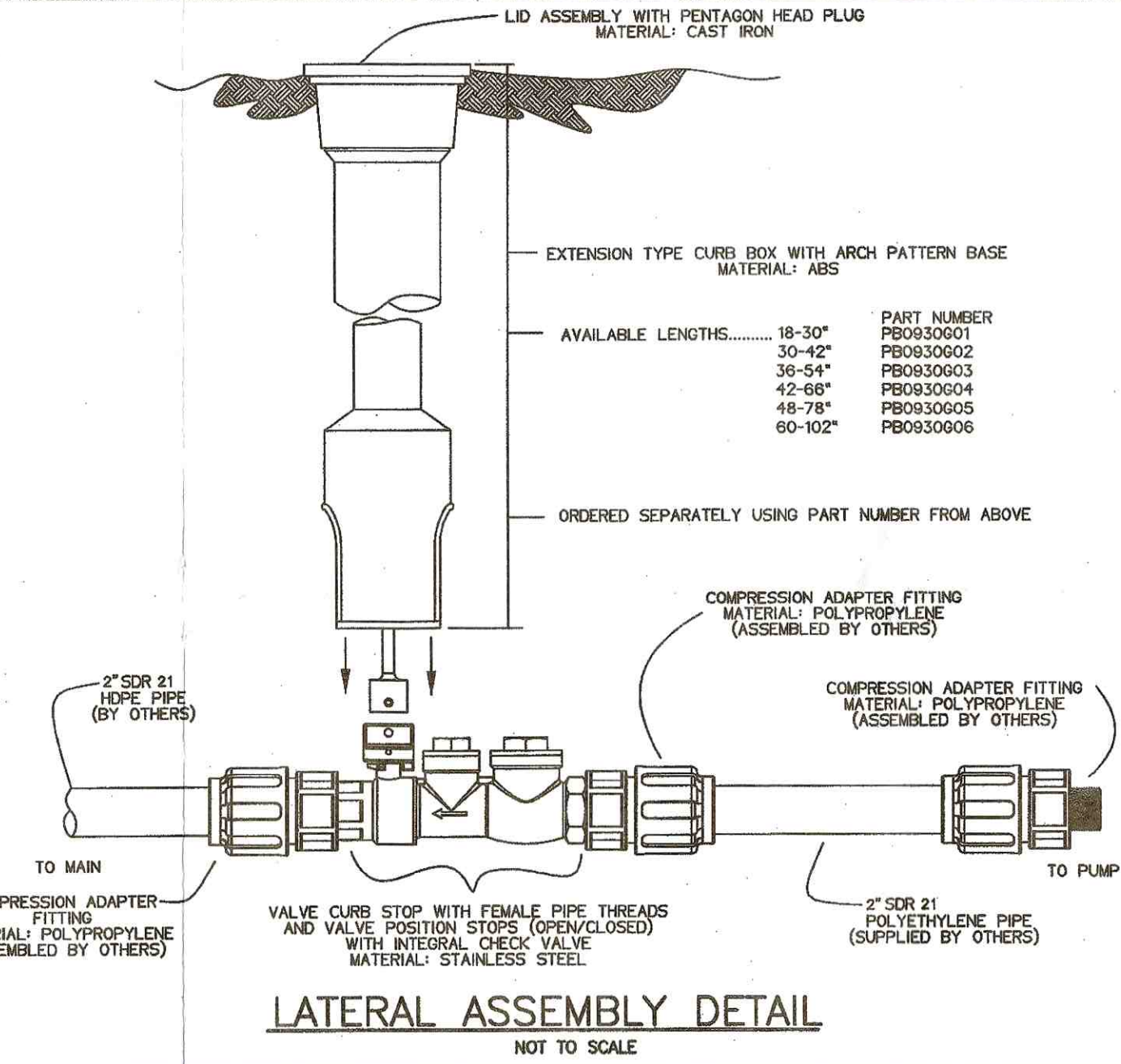
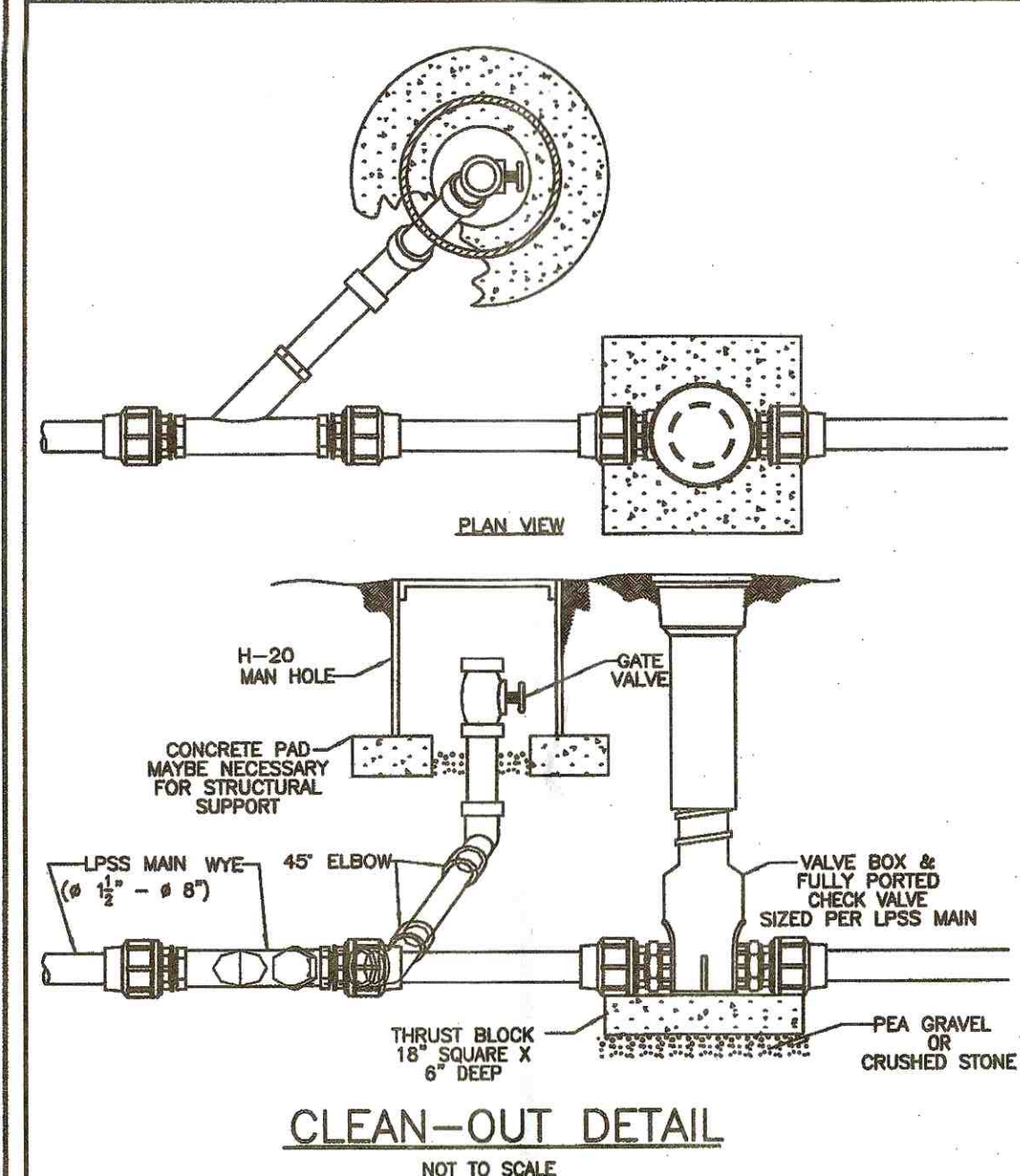
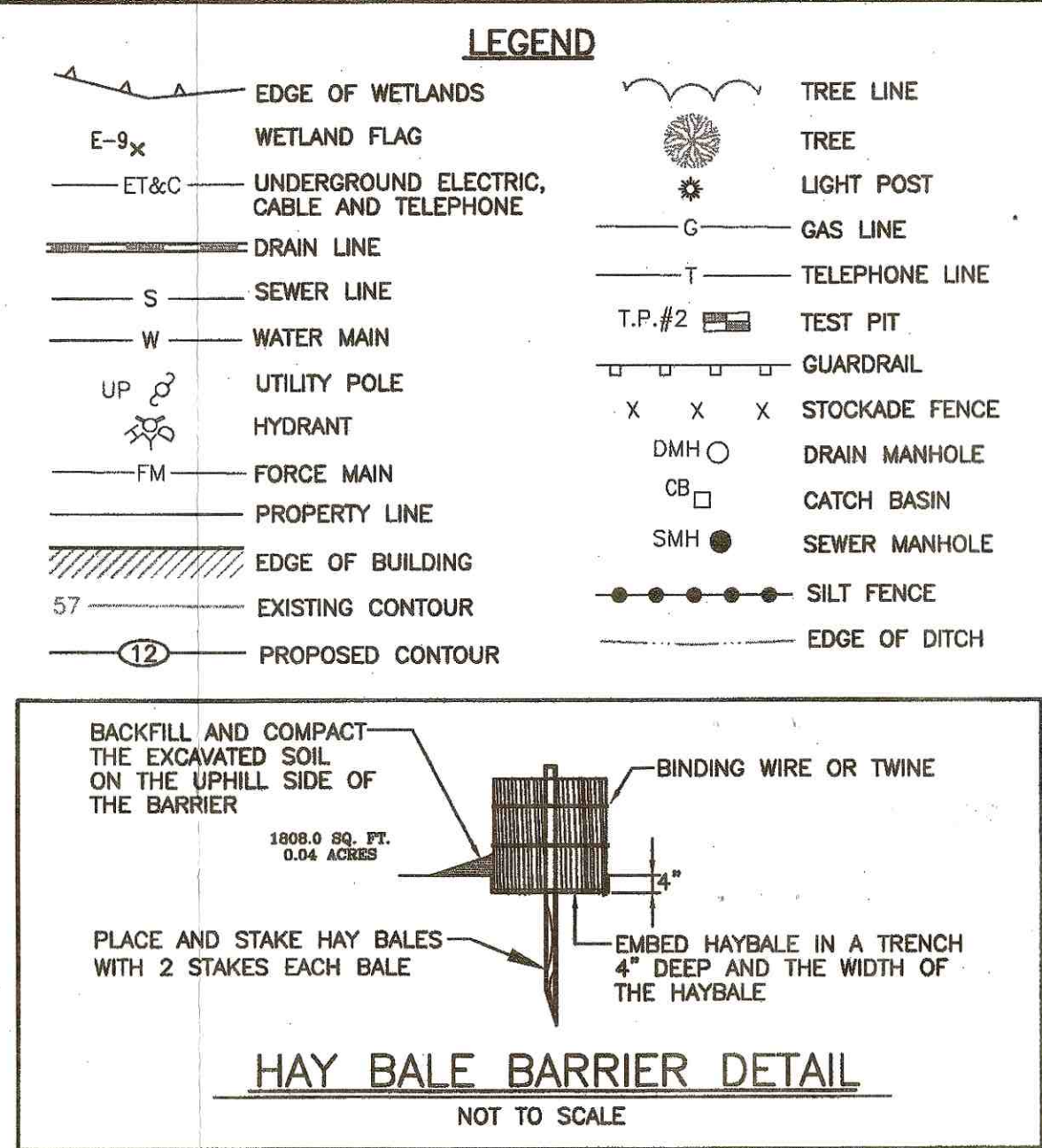
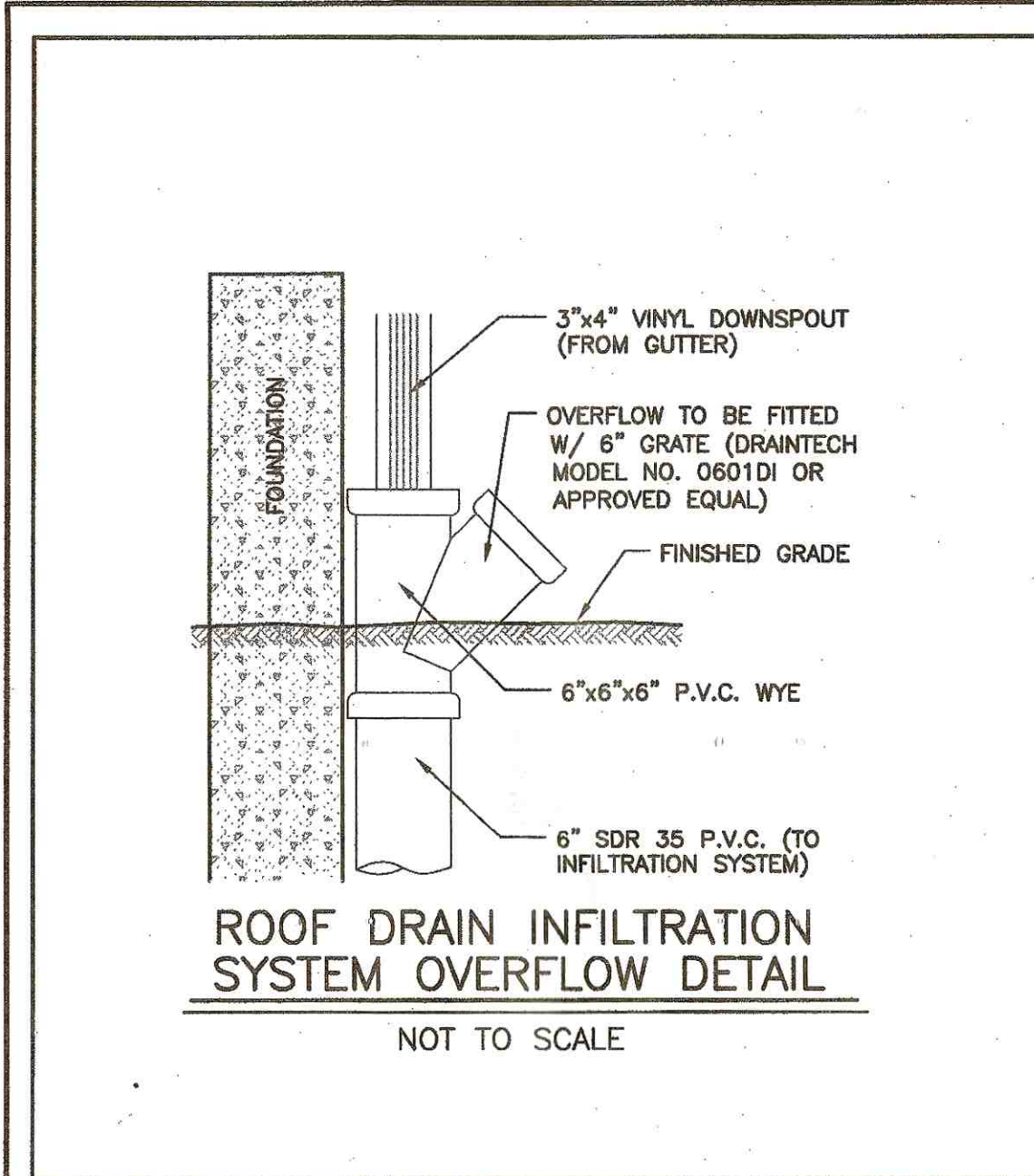
[Signature] 6/4/18
PROFESSIONAL LAND SURVEYOR DATE

DATE: JUNE 4, 2018
SCALE: 1" = 30'

ROMANELLI ASSOCIATES INC.
PROFESSIONAL LAND SURVEYORS
1162 Rockdale Ave. New Bedford, MA 02740
Phone (508) 995-0100 - (508) 995-6678
WWW.ROMANELLI-INC.COM



JN 16-088



BENCHMARK:
CHISEL "X" IN EASTERLY BOMNET BOLT (STREET SIDE) OF HYDRANT LOCATED AT THE INTERSECTION OF ROSA DRIVE AND ACUSHNET AVENUE. ELEVATION = 138.08 (CITY OF NEW BEDFORD DATUM)

ZONING REQUIREMENTS:
ZONING DISTRICT - RESIDENCE A (RA)
MINIMUM LOT AREA = 8,000 SQ. FT.
MINIMUM FRONTAGE = 75 FEET
MINIMUM FRONT YARD = 20 FEET
MINIMUM SIDE YARD = 10 AND 12 FEET
MAXIMUM BUILDING COVERAGE = 35% LOT AREA

- GENERAL NOTES:**
- CONTRACTOR SHALL NOTIFY DIG SAFE AT LEAST 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
 - CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF ALL UTILITIES PRIOR TO THE START OF CONSTRUCTION. THESE PLANS ARE BASED ON FIELD AND RECORD INFORMATION AND, THEREFORE, MAY NOT COMPLETELY DEPICT ALL EXISTING UTILITIES.
 - CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER IMMEDIATELY IF FIELD CONDITIONS ARE FOUND TO DIFFER WITH THESE DRAWINGS.
 - THE CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION OF THE ADJACENT AREA AND UTILITIES IN THE CONSTRUCTION OF THIS SITE. REPAIR OF DAMAGED PROPERTY SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AT NO COST TO THE OWNER.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY WATERPROOFING THE BASEMENT. NO DETERMINATION OF THE HIGH GROUNDWATER ELEVATION HAS BEEN MADE BY THE ENGINEER ON THIS LOT.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETING ALL CONSTRUCTION.
 - ALL WORK SHALL BE IN ACCORDANCE WITH THE DEPARTMENT OF PUBLIC INFRASTRUCTURE CONSTRUCTION SPECIFICATIONS, LATEST REVISION.
 - ALL CONSTRUCTION SHALL COMPLY WITH THE CITY OF NEW BEDFORD DPW STANDARDS.
 - THE PROPOSED CONCRETE SIDEWALK AND DRIVEWAY APRONS MUST MEET CURRENT A.D.A. AND CITY STANDARDS. THE PROPOSED DRIVEWAYS SHALL BE 6" CEMENT CONCRETE WITH 6"x6" GAUGE WIRE MESH.
 - THE CONTRACTOR SHALL NOTIFY THE ENGINEERING DIVISION 24 HOURS IN ADVANCE TO ENSURE THE PROPOSED SIDEWALK AND DRIVEWAY APRONS AND WHEELCHAIR RAMPS WILL MEET THE CURRENT A.D.A. AND CITY OF NEW BEDFORD STANDARDS.
 - PERMITS FOR DRAINAGE, WATER, SIDEWALKS AND DRIVEWAYS MUST BE OBTAINED FROM THE DEPARTMENT OF PUBLIC INFRASTRUCTURE (DPI) ENGINEERING DIVISION BY OWNER.
 - ALL UTILITY WORK TO BE CONDUCTED PER DPI SPECIFICATION.
 - THE DEVELOPER AND SITE CONTRACTOR MUST SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE DEPARTMENT OF PUBLIC INFRASTRUCTURE PRIOR TO START OF CONSTRUCTION.

SITEC Civil and Environmental Engineering Land Use Planning		449 Fauce Corner Road Dorchester, MA 02124 (508) 998-2125 FAX (508) 998-7554	6-6-18 3-12-18 3-6-18 revised: 1" = 30' date: 2-21-18 drawn: JPT checked: SML approved: SDG
project:		ASSESSORS MAP 136 LOT 486 SETH DANIEL DRIVE NEW BEDFORD, MASSACHUSETTS	
client:		D.P.M. DEVELOPMENT CORP.	
drawing title:		PLOT PLAN	
		sheet 1 of 1 drawing number: 13-5613_16S_PP	