

* Subject to attached DPI
comments & color sketch!

6/7/2019

SERVICE 34004

NEW BEDFORD WATER WORKS

APPLICATION FOR SERVICE AND METER

NEW BEDFORD 6/7/2018

I HEREBY ACKNOWLEDGE the receipt of a copy of the Regulations prescribed in the Ordinance of the City, for the use of Water, and I request that the water may be furnished through a

6" inch Fire Supply meter at 20 S. Sixth St.
from School St. Ex S. Sixth St. Commercial

at such rates as may from time to time be established by the City.

I hereby agree to pay promptly the bill for the Service pipe laid down for my premises, and to pay all dues for water, and I agree to conform to the said Regulations and to all provisions of the Water Ordinances, until written notice is given by me or my agent to cut off the supply.

P 46

domestic #34003

L 69

Farland

TELEPHONE 508-999-3255

YUCA of
~~Farland Corp~~ Southeastern
MASS.
20 S. Sixth St.
NB MA 02140

Service laid..... Size and kind of pipe DI

From School St. St.

Turned on..... Meter Set.....

Reading..... Location.....

Building rates..... Paid.....

Cost of Service \$465.00 CHK #6727 Paid.....

31-727

6" FIRE Service#34004

E x E	Line Sixth St	88.0'
W x W	Line Pleasant St	124.0'
N x S	Line School St	14.6'
W x E	Line New Bldg	11.0'
E x L	Brick Bldg	28.0'
S x S	Line New Bldg	92.0'
N x S	School St	14.0'
	Pipe inside property	65.0'
	Electric ducts above main	

8/16/2018: New service installed by contractor
Farland is inspector Manuel Rose

8/27/2018: Pressure test 200 PSI Static Pressure
68 PSI Winwater Supply

DISPLAY PERMIT IN A CONSPICUOUS PLACE ON THE PREMISES



Commonwealth of Massachusetts

City of New Bedford

133 William Street New Bedford, MA 02740

WATER SERVICE PERMIT



Date: 8/1/2018

No. **W-18-27**

Permit Fee: \$725.00

Service Location: 20 S SIXTH ST

Owner Name: YWCA OF SOUTHEASTERN

Owner Phone #: (508) 999-3255

Type of Occupancy: Municipal

Type of Work: Water - Domestic New 4"

Work Description: water service#34003
P.46
L.69

20 S.Sixth St
from School St E x S.Sixth

commerical-
YWCA

Contractor

Name: FARLAND CORPORATION INC

Certificate #: 47544

Type of Business : DPI - Other

Address: 398 COUNTY ST

City/Town/State: NEW BEDFORD

MA

Phone #: (508) 717-

Type of Service

Pipe Size

Trench Length:

0.00

Fire Service

Domestic Service

Estimated consumption of water

Estimated average daily consumption 0.00 gallons

Cross Connection? No

Estimated maximum day consumption 0.00 gallons

Right of Way? No

Are lawn sprinklers and/or lawn irrigation proposed on site? No

Meter Impact? No

Estimated fire flows required for the project site: 0.00

Street Opening Permit Required? No

Does the project require a fire suppression system? No

Required minimum static pressure for the proposed project site

Call Phone: (781) 942-9077 For Inspection

ASR-D.P.I. Engrg.

RE: TB-17-3080

20 S. Sixth St. (Purported Address)

[Proposed Renovations to Existing Building and Addition for Housing-Y.W.C.A.]

Plot 46/Lot 69

Reviewed: 2/7/2018

The following conditions are to be met by the owner/representative as part of this permit approval:

- 1.) Per the preconstruction meeting held at D.P.I. on 2/7/2018, all requirements/conditions as set forth by D.P.I. at said meeting in regards to the development of this site must be met accordingly, and all construction must be in accordance to City of New Bedford Construction Standards and Specifications. The revised plan submitted to D.P.I. prior to this meeting was marked "Bid Set" and was titled "Renovations to the YWCA Southeastern MA, 20 South Sixth Street, New Bedford, MA", with a date of 6/9/2017 (and revision date of 10/4/2017). Per the applicant's representatives in attendance at this meeting, the sewer service in School St. which presently serves this building is to be discontinued. D.P.I. requires that it be abandoned at the property line, and that said abandonment is witnessed/inspected by a D.P.I. sewer inspector. In addition, D.P.I. requires that a clean out be installed within the sidewalk area (at 2' from the property line) on the new sewer service connection which is being installed off of School St. to service the existing building and the new addition to the north. It was also pointed out that if the "addition" is going to have a completely different main entrance than that being utilized by the existing building, they will have to apply for a new number for said door. Any further modifications to the revised plans discussed at the preconstruction meeting, said plans having been reviewed/commented on by D.P.I. at that time, must be resubmitted for review/approval. **The C.O. will not be signed for this project if it is determined at the time of final inspection that there was work performed that falls under the jurisdiction of D.P.I. but was not originally reviewed/approved by this department.**
- 2.) This project must be built in accordance with the approved S.P.R. plans and all D.P.I. comments on said review (per Memo to Planning Board dated 2/2/2016), and in accordance with the revised plans recently submitted for the D.P.I. preconstruction meeting on 2/7/2018, along with any other conditions set forth in regards to the development of this site at said meeting. **The C.O. will not be signed if the conditions set forth at the preconstruction meeting and in the D.P.I. review comments letter originally submitted to the Planning Board for this project have not been met.**
- 3.) Contact D.P.I. prior to applying for sewer/storm drain, water and driveway permits to discuss what materials will be required to be submitted to this office prior to these permits being issued. Several paper copies of the plan sheet(s) showing proposed utilities and driveway locations will be required by D.P.I. for permitting purposes. A permission letter from the property owner will be required in order for a representative/agent to sign permits. If applicable, a copy of the stamped foundation as-built plan and permit must also be submitted. If the property was acquired in the past 3 months, a copy of the recorded deed showing the new ownership must also be provided. **No permits will be issued by D.P.I. until the all required materials have been received. Any outstanding comments/issues must have been addressed prior to issuance of any permits from D.P.I. (please confirm with Deputy Commissioner).**
- 4.) Contact D.P.I. regarding compliance with the Industrial Pretreatment Program (IPP)/Fats, Oils, and Grease Program (FOG), which is required if your establishment falls under one of the following:

Industrial businesses require submission of a completed Industrial Discharge Permit Application (available on the City web-site).

Microbreweries require submission of a completed Industrial Discharge Permit Application (available on the City web-site) and installation of an accessible sampling port located on the final effluent of the brewing process.

Restaurants and other food service establishments require a grease trap be installed according to the Mass. Plumbing code and signed off by the Inspectional Services Dept. inspector and a FOG Application be completed and submitted (available on the City web-site).

Auto repair shops must have an MDC Trap and submit proof of a contract to be inspected/cleaned every six (6) months.

Dentists require submission of a copy of their Massachusetts Department of Environmental Protection "Certification Form for Massachusetts Dental Facilities" and installation of at least one (1) Dental Amalgam Separator System to service all of the facility's relevant dental chairs.

Depending on which the previous categories your application falls under, no permits will be issued by D.P.I. and/or no Certificate of Occupancy will be signed until there is compliance with the requirements stipulated.

5.) Contact D.P.I.-Engineering at (508) 979-1550 to measure for a new address number if the original door to which the address was assigned is relocated or removed, and/or new doors are added that will require legal address numbers. Any new building/structure will automatically have to apply for a new address. **No Certificate of Occupancy will be signed unless the legal address number that has been issued by Engineering for the door location(s) being utilized as the main entrance(s) of the structure are in place on the corresponding entrance(s).**

6.) Submit final site as-built to D.P.I. showing location of building/structure and all utilities (i.e. sewer, storm drain, water, etc.) installed as part of this project for City records. **No Certificate of Occupancy will be signed until this has been submitted to D.P.I.**

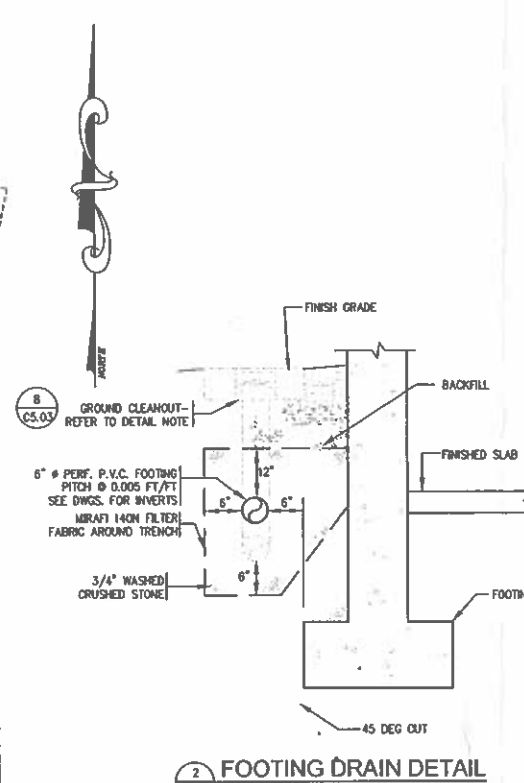
Please also note the following, which may be applicable to your site:

- a.) A joint sewer maintenance agreement is required between parties sharing a sewer service line, and will only be permitted by D.P.I. under extenuating circumstances.
- b.) The integrity of any previously existing service being re-utilized must be determined, and said testing witnessed by a D.P.I. inspector, prior to connection. The owner/developer assumes all responsibility of re-utilizing said service. The vertical and horizontal separation required between water and sewer must be provided for any new pipe being installed, and in areas where vertical and horizontal separation cannot be achieved, encasement or sleeving of the pipe will be required.
- c.) All old water services to be discontinued must be killed at the main, and any sewer services must be abandoned at the property line, in accordance with City standards and specifications, and said work must be inspected/witnessed by the proper D.P.I. inspector.
- d.) Recorded easements must exist for any water, sewer and drainage pipes being installed on other parcels to service the subject parcel. Recorded easements should also exist for any water, sewer and drainage pipes traversing the subject parcel to service other properties.
- e.) All new commercial driveways (or alteration thereof) must go before the Traffic Commission for approval prior to D.P.I. issuing a Driveway Permit. Any previous driveway entrances located along the perimeter of the property will have to be closed.

THE COMMENT BELOW WAS ALSO ADDED SEPARATELY AS A "PRIVATE COMMENT" TO INSPECTIONAL SERVICES AND IS PART OF THE ABOVE REVIEW:

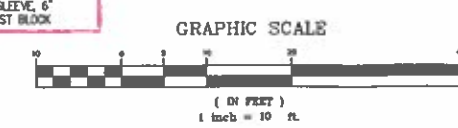
Note to Inspectional Services: Kindly provide the applicant with a copy of the D.P.I. comments attached to this review in View Permit, or please direct them to D.P.I. and we will be glad to provide them with a copy. It is important that they are aware of the conditions of their approval.

NOTES



- UTILITY & GRADING GENERAL NOTES**
1. THE CONTRACTOR SHALL OBTAIN A STREET DISTURBANCE & OBSTRUCTION PERMIT PRIOR TO ANY CONSTRUCTION WITHIN THE RIGHT-OF-WAY.
 2. ALL WATER AND SEWER MATERIAL AND CONSTRUCTION SHALL CONFORM TO THE CITY OF NEW BEDFORD REQUIREMENTS.
 3. ALL WATER AND SEWER CONSTRUCTION SHALL BE INSPECTED BY THE CITY OF NEW BEDFORD BEFORE BEING BACKFILLED.
 4. THE CITY SHALL BE NOTIFIED AT LEAST 24 HOURS PRIOR TO THE REQUIRED INSPECTIONS.

1 SITE UTILITY & GRADING PLAN
(C3.01) SCALE: 1" = 10'



ISSUED FOR PERMIT 10/4/17

No. REVISIONS/SUBMISSIONS Date

DAVIS SQUARE ARCHITECTS
240A Elm St.
Somerville, MA 02144
617.628.5700
www.davis-squarearchitects.com

GARCIA GALUSKA DESOUSA
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370 Faneuil Hall Street, Suite 200
Boston, MA 02114
617.452.1271
www.ggdesousa.com

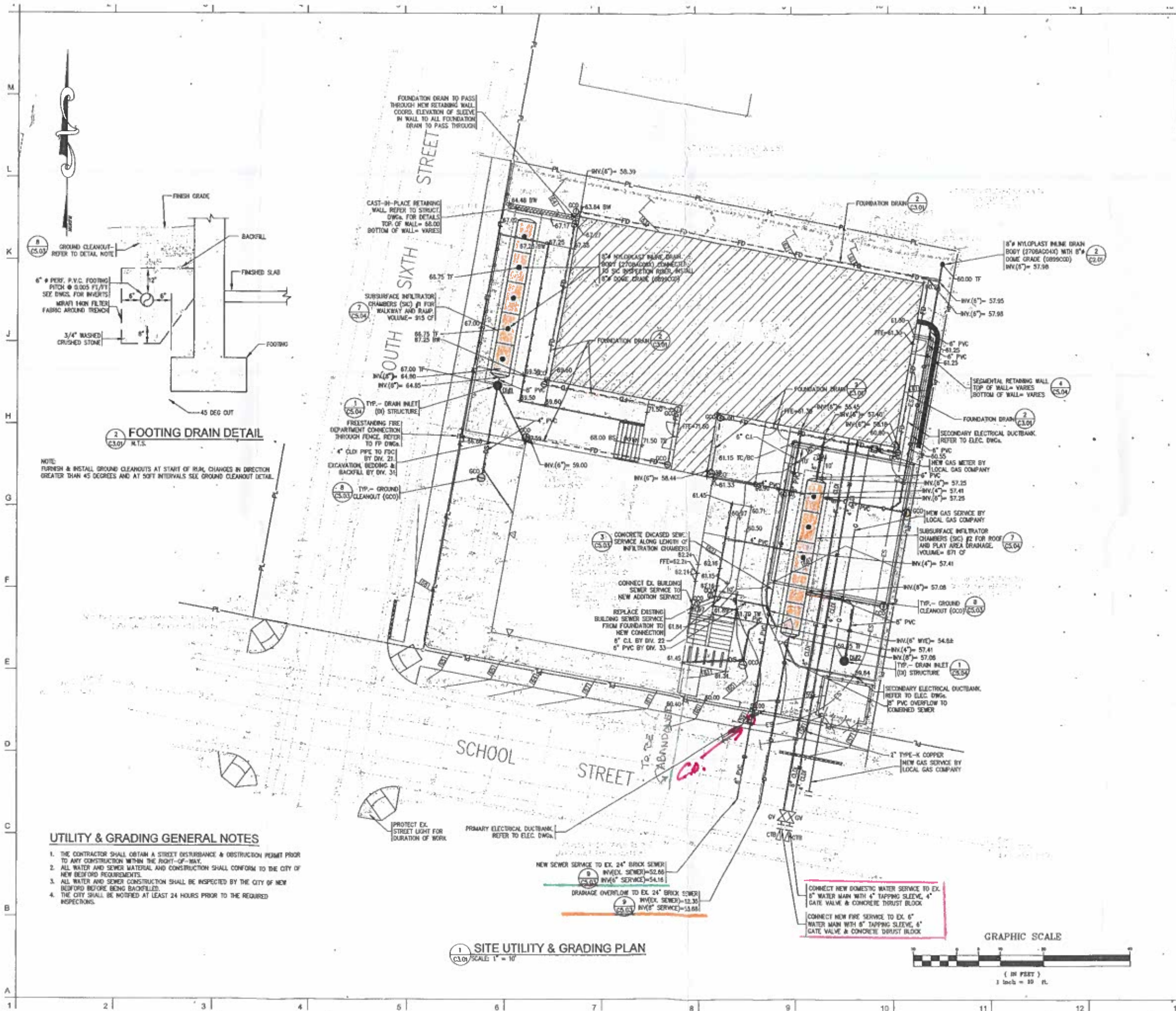
Project: RENOVATIONS TO
YWCA SOUTHEASTERN MA
20 SOUTH SIXTH STREET, NEW BEDFORD MA

Title: **SITE UTILITY & GRADING PLAN**

	Checked: NCK	Drawing No:
	Checked: CMG	
	Project No: 16002	
	Scale: AS NOTED	
	Date: 06/09/2017	

C3.01

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NOTES

ISSUED FOR PERMIT		10/4/17
No.	REVISIONS/SUBMISSIONS	Date
<div><div></div><div><p>DAVIS SQUARE ARCHITECTS</p><p>240A Elm St., Somerville, MA 02144 617.628.5700 www.davisquarearchitects.com</p></div></div>		
<div><div></div><div><p>GARCIA GALUSKA DESOUSA</p><p>CONSULTING ENGINEERS</p><p>300 Pioneer Center Road, Cambridge, MA 617.552.5700 FAX 617.552.5700 E 617.552.5700</p></div></div>		
Project RENOVATIONS TO YWCA SOUTHEASTERN MA 20 SOUTH SIXTH STREET, NEW BEDFORD MA		
Title SITE UTILITY & GRADING PLAN		
<div></div>	<div><p>Designed BY NCK</p><p>Checked CMG</p><p>Plotted 10/02</p><p>Scale AS NOTED</p><p>Date 05/09/2017</p></div>	<div><p>C3.01</p></div>

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