

Expires: 4-23-19

SERVICE 33996

NEW BEDFORD WATER WORKS
APPLICATION FOR SERVICE AND METER

NEW BEDFORD

4-23-18

I HEREBY ACKNOWLEDGE the receipt of a copy of the Regulations prescribed in the Ordinance of the City, for the use of Water, and I request that the water may be furnished through a

1" inch copper meter at #1703 Phillips Rd (WS)
703 N x Hillcrest Rd

at such rates as may from time to time be established by the City.

I hereby agree to pay promptly the bill for the Service pipe laid down for my premises, and to pay all dues for water, and I agree to conform to the said Regulations and to all provisions of the Water Ordinances, until written notice is given by me or my agent to cut off the supply.

P. 134

single family

L. 474

Sewer # 24578

TELEPHONE 774-644-3134
Aspen Properties LLC,
60 Court St
Taunton MA 02780

Service laid

Size and kind of pipe

From

FARLAND corp (contractor)

Turned on

Meter Set

Reading

Location

Building rates

Paid

Cost of Service

\$500.00

Chk # 12396

Paid

31-727

could not put
in view permit
By P + L

E x W Line Phillips Rd	6.0'
S x N Line	27.4'
N x S Line	5.5'
E x E Line	58.0'
E x W Line Phillips Rd	33.0'
Pipw inside property	51.0'
Main to curb stop	27.0'

8-30-18: New Service installed by Farland Corp,
Service incepted by Manuel Rose

151 x 121

9/24/18 - picked up 3/4"
meter blank & coupling

* 2 x 12 in



Commonwealth of Massachusetts

CITY OF NEW BEDFORD

City Hall, Room 308, 133 William Street New Bedford, MA 02740 (508) 979-1540



FOUNDATION PERMIT

2/1/2018

No. B-17-328

MSBC Sect. 111.8 - Any permit issued shall be deemed abandoned and invalid unless the work authorized by it shall have been commenced within six (6) months after its issuance.

FEE PAID \$100.00

This certifies that Jonathan Kingsbury

owner/contractor has permission to:

WS

PHILLIPS RD

on: Foundations Only 1-2 Family - 100.00

Providing that the person accepting this permit shall in every respect conform to the terms of application therefore on file in this office; to the provisions of the statute of the Commonwealth and to the by-laws of the City of New Bedford relating to the inspection, erection, enlarging, altering, raising, moving, repairing, or tearing down of a building.

Permit is issued subject to the following special requirements: (Restrictions)



Wiring Inspector



Plumbing Inspector



Building Inspector

YOUR AREA INSPECTOR IS: Thomas Welch

Tel. (508) 979-1540 Between 8:00am - 9:00am

**NOTICE: NOTIFY INSPECTOR 48 HOURS IN
ADVANCE OF APPLYING SHEATHING OR LATHING**

OCCUPANCY PERMIT REQUIRED BEFORE OCCUPANCY

No Building or Structure shall be used or occupied until the Certificate of Use and Occupancy shall have been issued by the Building Commissioner - MSBC, Sect. 120.1

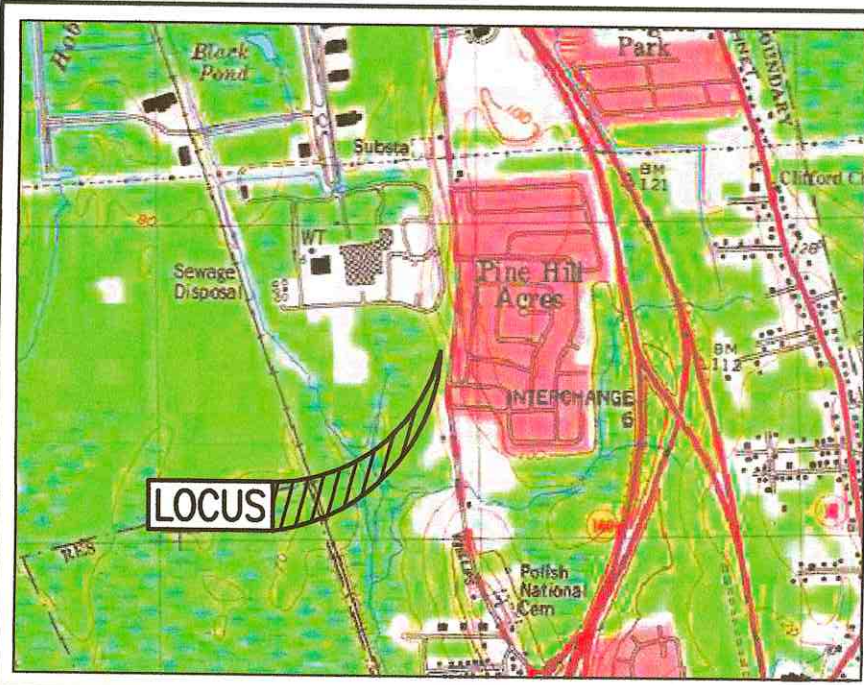
This Card Must Be Displayed in a Conspicuous Place on the Premises and Not Torn Down or Removed Until Completion of Work

SUBJECT TO MASSACHUSETTS
STATE BUILDING CODE

Danny D. Bonanowicz

Building Inspector

Plan Review Comments:



LOCUS MAP

SCALE: 1"=2,000'±

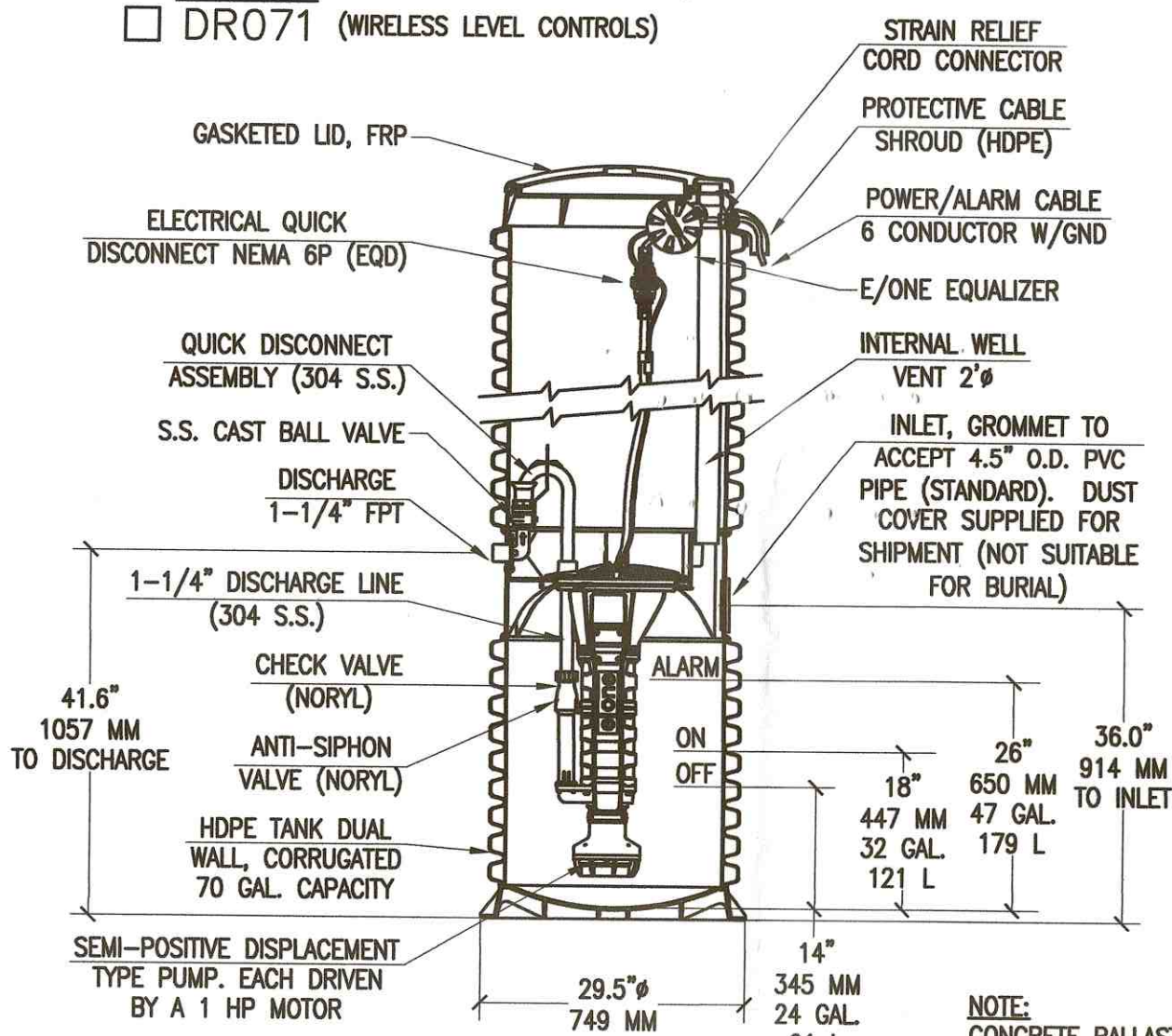
— ZONING DATA —

DISTRICT: RESIDENTIAL A

DESCRIPTION	REQUIRED
LOT AREA	8,000 S.F.
LOT FRONTAGE	75 FT
FRONT SETBACK	20 FT
SIDE SETBACK	10,12 FT
REAR SETBACK	30 FT
MAXIMUM BUILDING COVERAGE	30 %
MINIMUM GREEN SPACE	35 %

OPTIONS:

- ☐ DH071 (HARD WIRED LEVEL CONTROLS)
☐ DR071 (WIRELESS LEVEL CONTROLS)



E-ONE GRINDER PUMP

NOT TO SCALE

RECORD OWNER:
ASSESSORS MAP 134 LOT 459
SM REAL ESTATE, LLC
401 INDUSTRY ROAD, SUITE 100
LOUISVILLE, KY 40208
LC CERT# 23856
LC PLAN# 36318C

NOTES:

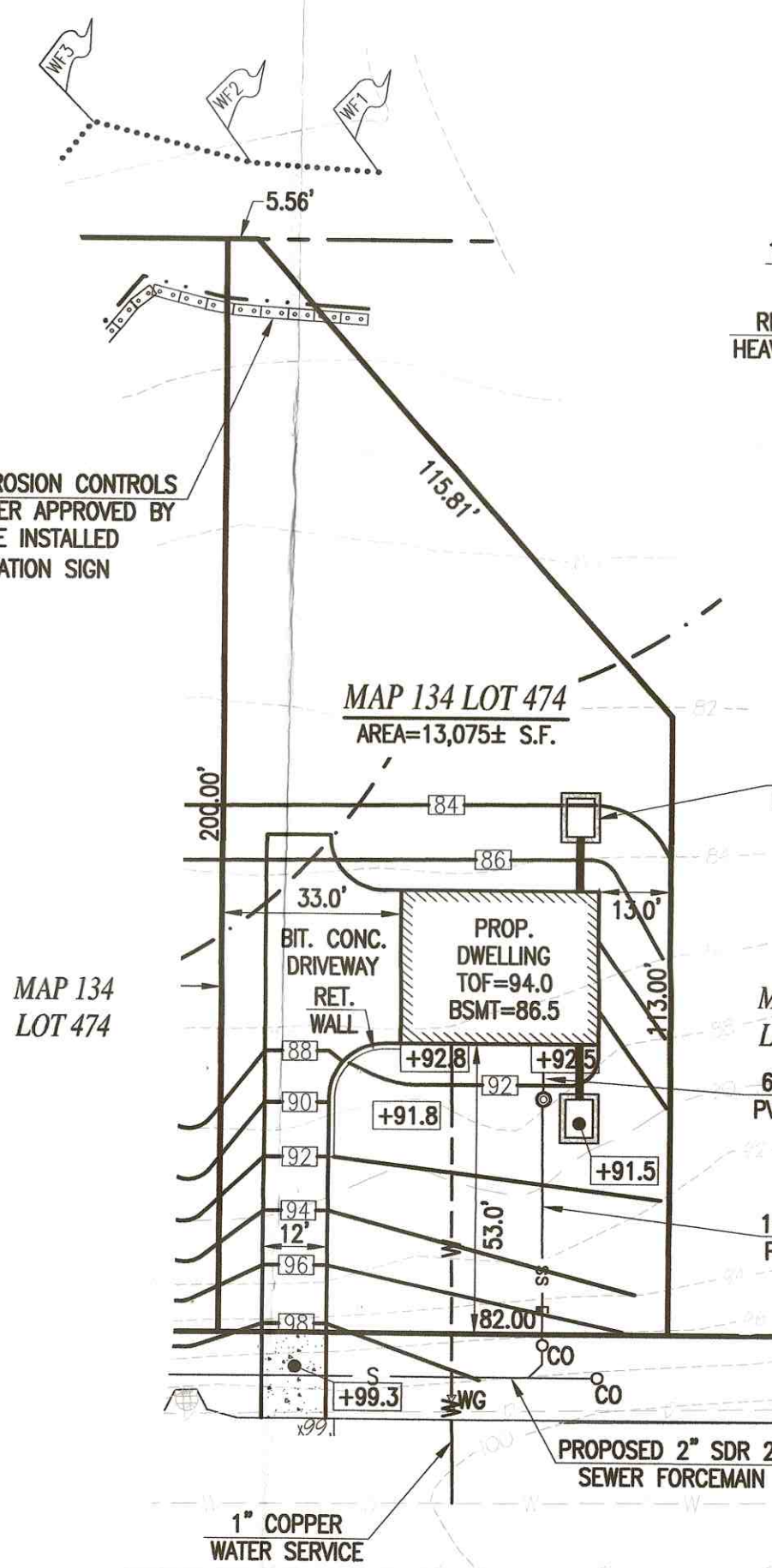
- PROPERTY LINE SURVEY PERFORMED BY FARLAND CORP. IN SEPTEMBER 2015.
- WETLAND DELINEATION PERFORMED BY ECOSYSTEM SOLUTIONS, INC. IN JUNE 2015.
- PORTION OF DRIVEWAY BETWEEN EDGE OF ROADWAY AND PROPERTY LINE SHALL BE CONCRETE AND PITCH TOWARD ROAD AT A MINIMUM OF 0.5% TO AVOID ROADWAY RUNOFF ONTO LOT.

FLOOD NOTE:

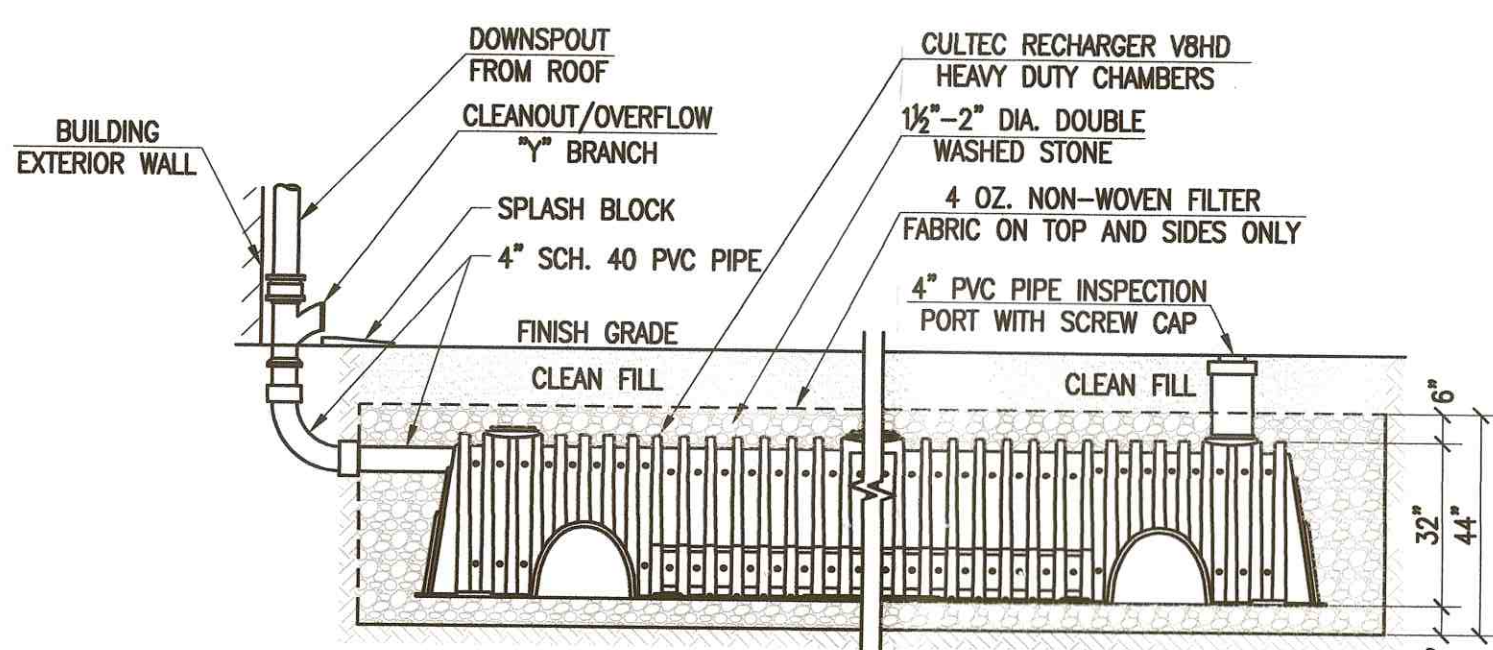
BY GRAPHIC PLOTTING ONLY, THE PROPERTY DEPICTED ON THIS PLAN FALLS IN ZONE X, AS SHOWN ON THE FLOOD INSURANCE RATE MAP 25005C0379F, DATED JULY 7, 2009.



LC PLAN #36318C

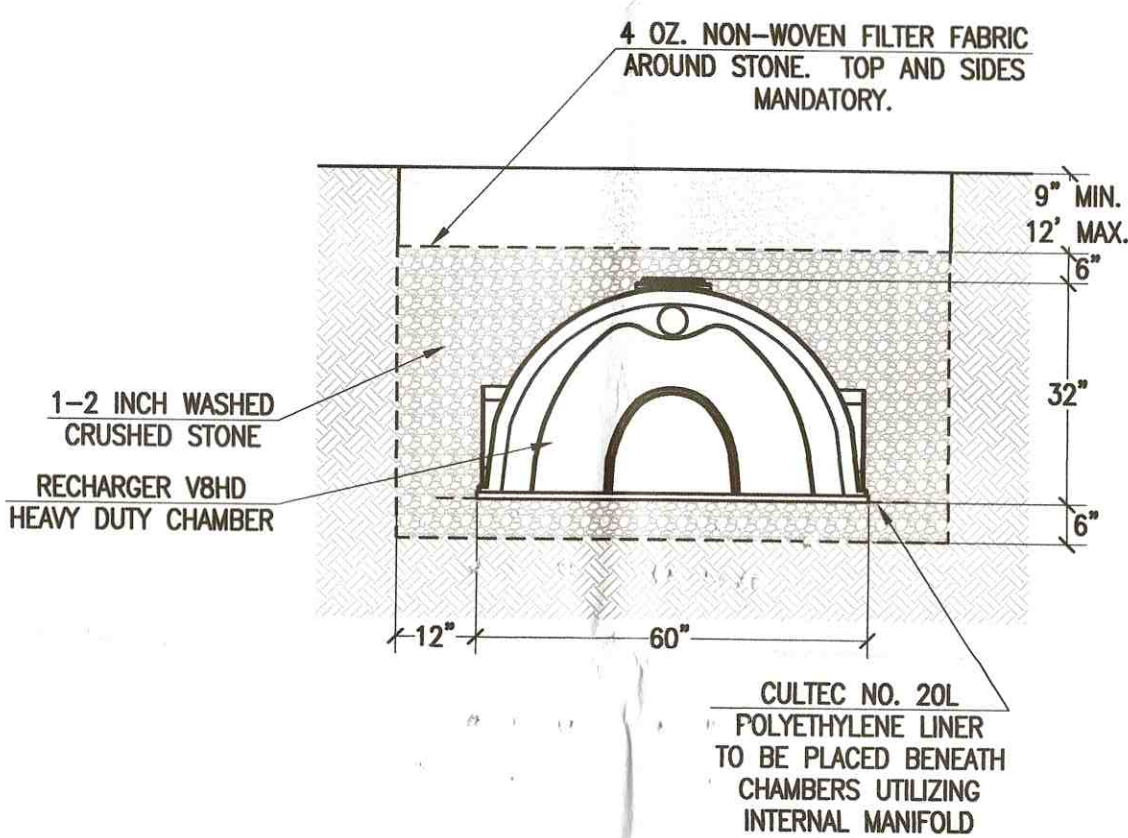


PHILLIPS ~PUBLIC - VARIABLE WIDTH~ ROAD



ROOF RECHARGE SYSTEM

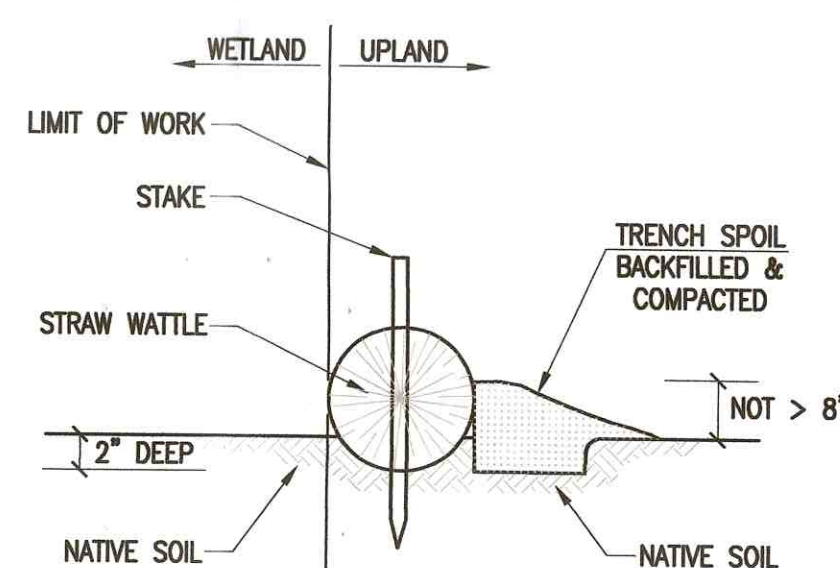
NOT TO SCALE



CULTEC RECHARGER V8HD STANDARD CROSS SECTION

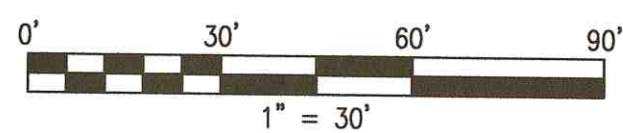
NOT TO SCALE

SUBSURFACE ROOF RECHARGE UNIT (TYP.)



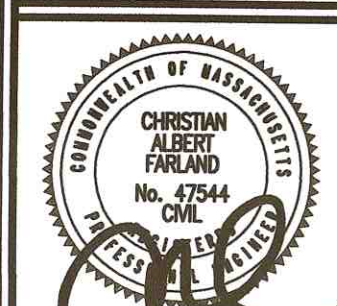
STAKED STRAW WATTLE

NOT TO SCALE



REVISIONS

1	10/11/17	DPI COMMENTS
2	11/29/17	DPI COMMENTS



www.FarlandCorp.com

401 COUNTY STREET
NEW BEDFORD, MA 02740
P.508.717.3479

OFFICES IN:

- TAUNTON
- MARLBOROUGH
- WARWICK, RI

DRAWN BY: NPD
DESIGNED BY: NPD
CHECKED BY: CAF

SITE PLAN
— L.C. LOT 21 PHILLIPS ROAD
ASSESSORS MAP 134 LOT 474
NEW BEDFORD, MASSACHUSETTS
PREPARED FOR:
KJEC REALTY, LLC
401 COUNTY STREET
NEW BEDFORD, MA 02740

JANUARY 26, 2017
SCALE: 1"=30'
JOB NO. 16-1291.21
LATEST REVISION:
NOVEMBER 29, 2017

SHEET 1 OF 1