

W-18-24.  
SERVICE 33968

NEW BEDFORD WATER WORKS  
APPLICATION FOR SERVICE AND METER

NEW BEDFORD 11/21/17

I HEREBY ACKNOWLEDGE the receipt of a copy of the Regulations prescribed in the Ordinance of the City, for the use of Water, and I request that the water may be furnished through a

2 inch Copper meter at Commercial / Residential  
141 Union St. (purported address)

at such rates as may from time to time be established by the City.

I hereby agree to pay promptly the bill for the Service pipe laid down for my premises, and to pay all dues for water, and I agree to conform to the said Regulations and to all provisions of the Water Ordinances, until written notice is given by me or my agent to cut off the supply.

P53 L 143

Waterfront Historic Area League of N.B., Inc

Sewer permit # 24547

TELEPHONE

15 Johnny Cake Hill

New Bedford, ma. 02740

Service laid

Size and kind of pipe

2" Copper

From

Union St.

St.

Turned on

Meter Set

Reading

Location

Inside cellar wall

Building rates

Paid

Cost of Service

Union St. reconstruction

Paid

31-727

project. No charge per Acting Commissioner Manuel Silva

11/21/17  
AC Deha

E x E Line Acushnet Ave 14.0'

S x N Line Union St 15.0'

DISPLAY PERMIT IN A CONSPICUOUS PLACE ON THE PREMISES



Commonwealth of Massachusetts

# City of New Bedford

133 William Street New Bedford, MA 02740

## WATER SERVICE PERMIT



Date: 5/16/2018

No. **W-18-24**

Permit Fee: \$0.00

Service Location: 141 UNION ST

Owner Name: WATERFRONT HISTORIC AREA

Owner Phone #: \_\_\_\_\_

Type of Occupancy: Municipal

Type of Work: Water - Domestic New 2"

Work Description: water 2" copper service

P.53  
L.143

Commercial / residential

141 union st

sewer#24547

union st reconsutrction project n/c per acting\*commissions manuel silva

### Contractor

Name: \_\_\_\_\_ Certificate #: \_\_\_\_\_ Type of Business : \_\_\_\_\_

Address: \_\_\_\_\_ City/Town/State: \_\_\_\_\_ Phone #: \_\_\_\_\_

### Type of Service

Pipe Size

Trench Length:

**0.00**

Fire Service

\_\_\_\_\_

Domestic Service

\_\_\_\_\_

### Estimated consumption of water

Estimated average daily consumption 0.00 gallons

Cross Connection? **No**

Estimated maximum day consumption 0.00 gallons

Right of Way? **No**

Are lawn sprinklers and/or lawn irrigation proposed on site? **No**

Meter Impact? **No**

Estimated fire flows required for the project site: 0.00

Street Opening Permit Required? **No**

Does the project require a fire supression system? **No**

**Call Phone: (781) 942-9077 For Inspection**



## Record of Water Service Connection

PROJECT: Coggeshall Sewer Separation - Union Street

STREET: Union Street

HOUSE No: 141

General Contractor: P. Girosio & Sons, Inc. - Hyde Park, MA

Date: Nov 16, 2017

Type: CU Diameter (in): 2-in

Distance from main to curb stop (ft): 18.0

Water Pressure (PSI)                     

Distance curb stop to meter (ft): see below

Distance from curb face to curb stop (ft): see below

Depth of Service (ft): 4.3

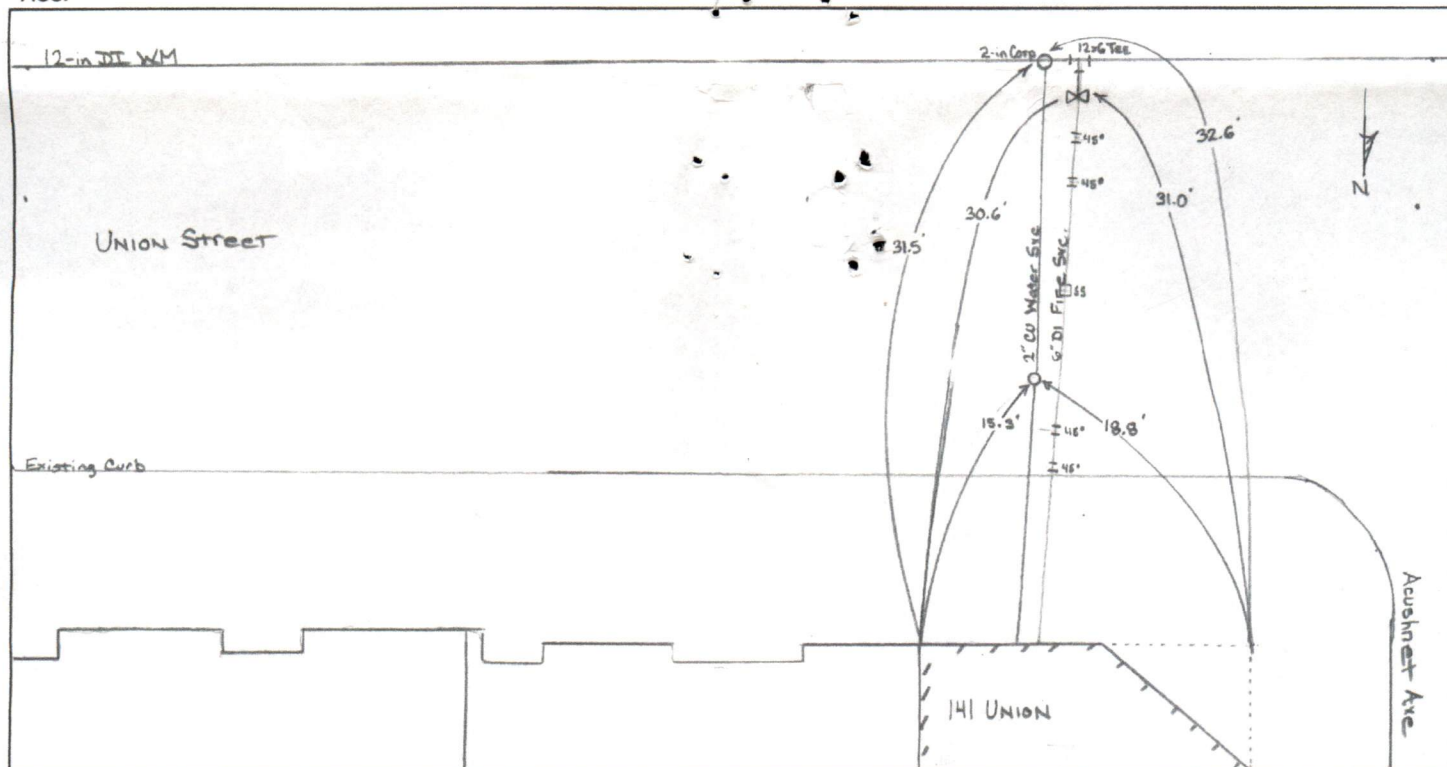
Total length of new pipe installed (ft): 38.0

Curb Stop Replaced: Yes (if yes) Size: 2-in

Corporation Replaced: Yes (if yes) Size: 2-in

Ball Valve Furnished: No (if yes) Size:                     

Ties:



Remarks:

Water meter not installed.

Curb Stop set in road, 5.0 ft from existing curb to accommodate proposed sidewalk expansion at this location.





Commonwealth of Massachusetts  
**CITY OF NEW BEDFORD**

City Hall, Room 308, 133 William Street New Bedford, MA 02740 (508) 979-1540



# BUILDING PERMIT

6/28/2017

No. **B-16-2565**

MSBC Sect. 110.14 - Any permit issued shall be deemed abandoned and invalid unless the work authorized by it shall have been commenced within six (6) months after its issuance.

FEE PAID: **\$3,072.00**

This certifies that **Kathryn Duff**

Contractor Lic. # \_\_\_\_\_

ParcelID **53-143**

owner/contractor has permission to: **Alteration - Commercial**

on: **141 UNION ST**

Providing that the person accepting this permit shall in every respect conform to the terms of application therefore on file in this office; to the provisions of the statute of the Commonwealth and to the by-laws of the City of New Bedford relating to the inspection, erection, enlarging, altering, raising, moving, repairing, or tearing down of a building.

Permit is issued subject to the following special requirements: (Restrictions)

## CITY DEPARTMENT/COMMISSION COMMENTS

The following department/commission has expressed concern about the issuance of this permit. You are advised to contact that agency and resolve this matter.

Department/Commission: \_\_\_\_\_

## BUILDING DEPARTMENT COMMENTS

: 780 CMR - Section 116.0 - Construction Control

: commercial alteration for Art Gallery, Educational Space, Non-Profit Office Space, 4 Apartments 2 Restaurants.

: RRP Certificate - This project may need a RRP certificate if lead is present

: Work shall be performed in accordance w/ ZBA decision.

YOUR AREA INSPECTOR IS: **Robert Carreiro**

Tel. (508) 979-1540 Between 8:00am - 9:00am

**NOTICE: NOTIFY INSPECTOR 48 HOURS IN ADVANCE OF APPLYING SHEATHING OR LATHING**

## OCCUPANCY PERMIT REQUIRED BEFORE OCCUPANCY

No Building or Structure shall be used or occupied until the Certificate of Use and Occupancy shall have been issued by the Building Commissioner - MSBC, Sect. 120.1

**This Card Must Be Displayed in a Conspicuous Place on the Premises and Not Torn Down or Removed Until Completion of Work**

SUBJECT TO MASSACHUSETTS  
STATE BUILDING CODE

*Danny D. Romanowicz*

Building Commissioner

Plan Review Comments: :



RE: TB-16-2545 & TB-16-2565  
139 & 141 Union St. (Purported Addresses)  
(Renovation of 2 Buildings-WHALE Co-Creative Center)  
Plot 53/Lots 144 & 143  
Reviewed: 6/19/2017

NOTE:

Owner is responsible for making sure the address numbers that were assigned by the City are permanently affixed on, above, or to the side of the doors to which they were assigned. Not having address numbers posted will delay signature on Certificate of Occupancy by D.P.I.

Owner/Developer must:

- 1.) Contact D.P.I. for a preconstruction mtg. prior to the beginning of the project, and provide D.P.I. with a full set (paper copy) of the most recent construction plans for the site for review by D.P.I. before the preconstruction meeting. Please note that since the City will be reconstructing Union St. during this construction season, it is imperative that all major work being proposed within the street layout (sidewalks and roadway) for the above project be coordinated with the City of New Bedford D.P.I. such that it is executed while the City is at that location and that all work be completed before the City has finalized Union St. All requirements/conditions as set forth by D.P.I. at said meeting in regards to the development of this site must be met accordingly, and all construction must be in accordance to City of New Bedford Construction Standards and Specifications. No permits will be issued by D.P.I. until the preconstruction meeting has taken place.
- 2.) Contact D.P.I. prior to applying for sewer/storm drain, water and driveway permits to discuss what materials will be required to be submitted to this office prior to these permits being issued. Please note that the fire protection system which is being proposed for these two buildings is being proposed as one system to be shared between the two structures, with one fire supply service connection proposed in front of 139 Union St. If these buildings cease to be in common ownership in the future, the new owner of 141 Union St. will have to secure cross-easements or separate the systems and install their own fire supply service connection. Several paper copies of the plan sheet(s) showing proposed utilities and driveway locations will be required by D.P.I. for permitting purposes. A permission letter from the property owner will be required in order for a representative/agent to sign permits. A copy of the building permit must also be submitted.
- 3.) Contact D.P.I.-Engineering at (508) 979-1550 to measure for a new address number if relocating any exterior door to which the City originally assigned an address number, and/or if installing new doors or designating additional existing doors as main entrances. No Certificate of Occupancy will be signed unless the legal address numbers that were issued by Engineering for the door locations being utilized as the main entrances of the structure are in place on the corresponding entrances.
- 4.) Submit final site as-built to D.P.I. showing location of building and all utilities (i.e. sewer, storm drain, water, etc.) installed as part of this project for City records. No Certificate of Occupancy will be signed until this has been submitted to D.P.I.

Please also note the following, which may be applicable to your site:

- a.) A joint sewer maintenance agreement is required between parties sharing a sewer service line, and will only be permitted by D.P.I. under extenuating circumstances.
- b.) The integrity of any previously existing service being re-utilized must be determined, and said testing witnessed by a D.P.I. inspector, prior to connection. The owner/developer assumes all responsibility of re-utilizing said service. The vertical and horizontal separation required between water and sewer must be provided for any new pipe being installed, and in areas where vertical and horizontal separation cannot be achieved, encasement or sleeving of the pipe will be required.
- c.) Recorded easements must exist for any water, sewer and drainage pipes being installed on other parcels to service the subject parcel. Recorded easements should also exist for any water, sewer and drainage pipes traversing the subject parcel to service other properties.
- d.) All new commercial driveways (or alteration thereof) must go before the Traffic Commission for approval prior to D.P.I. issuing a Driveway Permit.



: commercial alteration for Art Gallery, Educational Space, Non-Profit Office Space, 4 Apartments 2 Restaurants.

: will need final affidavit upon completion of job

: Any changes, alterations, removal or installation of any gas or plumbing fixture will require a permit as per the provisions of 248 CMR.

: NOTE: COMMERCIAL ALTS,,, WILL NEED ELECTRICIAN AND ELECTRICAL PERMIT/PLANS ATTACHED TO THESE COMMERCIAL ALTERATIONS.

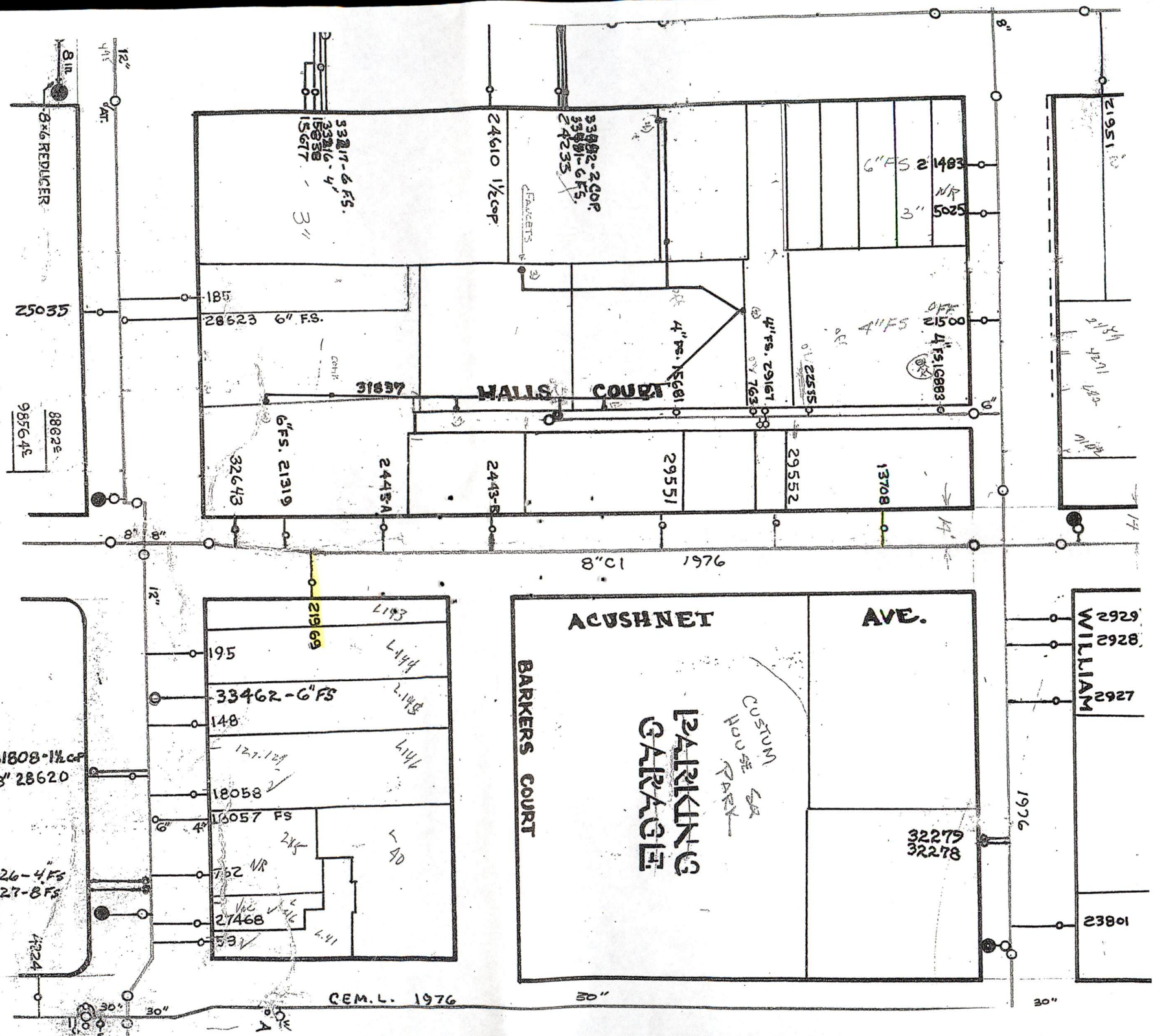
143

म  
२५

7-10-2014	WALTER BIRANT HISTORIC AREA	11555-105	956-211
-----------	-----------------------------	-----------	---------

LEAGUE OF NEW BEDFORD, INC.





21951

6" FS 21483  
NR  
3" 5025

4" FS 21500  
OFF  
4" FS 19883

22535

4" FS. 29167  
BY 763

29552

13708

8" CI 1976

2929  
2928  
2927  
WILLIAM

1976

23801

AVE.

32279  
32278

ACUSHNET

BARKER'S COURT

CUSTOM  
HOUSE  
PARK  
PARKING  
GARAGE

30"

CEM. L. 1976

33217-6 FS.  
33216-4"  
15638  
15677  
3"

33202-2 COP  
33201-6 FS.  
24235

24610 1/2 COP

FRACETS

185  
28623 6" FS.

31637

HALLS COURT

6" FS. 21319  
32643

2445A

2443-B

29551

25035

8825  
98564E

8 in.  
8x6 REDUCER

12"  
4 1/2"  
AT

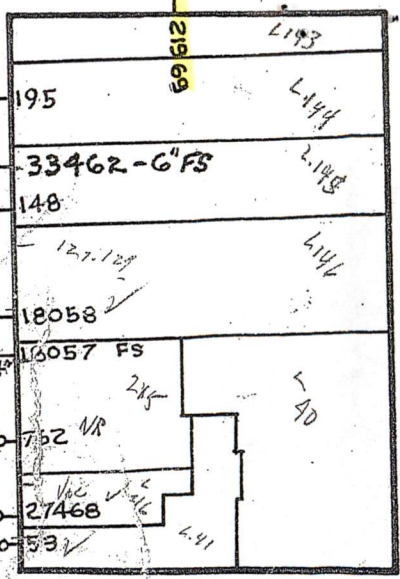
31808-1 1/2 COP  
8" 28620

32326-4 FS  
32327-8 FS

4224

12"

30"



L193

L144

L148

L141

L141

L141

L141

L141

L141

L141

L141

195

33462-6" FS

148

18058

16057 FS

762 NR

27468

532



Purported addresses

141 Union St #141

Storm,

F.S. Water

#139




Storm, F.S. Water

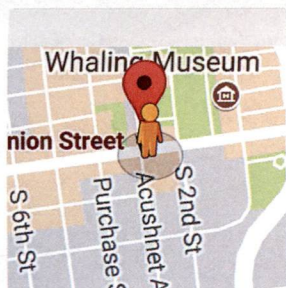


Image capture: Sep 2015 © 2017 Google

New Bedford, Massachusetts

 Google, Inc.

Street View - Sep 2015





APPLICATION No.: 21969

TAP CLEARED

LOCATION: 141 Union St., N.E. Cor. Acushnet Ave.

OWNER: Irish R. Mollion

MEASURES:	3/4	H. Lead	July 6, 1942
	N. from Union		50.7 ft.
	W from E line	Acushnet	6.8 ft.

N. from Union 50.7 ft.

W from E line      Acushnet      6.8 ft.

March 1976: Renewed from main to the prop. line. 22 ft.-3/4" copper;  
3/4" corporation; 3/4" curb stop; stop box; FONTANI CONSTRUCTION

DATE \_\_\_\_\_

BEF.

AFT.

REMARKS

6518/11

CHARGE OUTS

TAP CLEARED

DATE	BEF.	AFT.	REMARKS
------	------	------	---------

MEASURES:	3/4"	H Lead	July 6, 1942
	N from	Union	50.7 ft.
	W from E	Acushnet Ave	6.8 ft.

[illegible]



REMARKS

CHARGE OUTS

APPLICATION No.: 4361---2"LOCATION: 336-42 Acushnet Av. cor. 141 Union

OWNER: \_\_\_\_\_

MEASURES: 2" Iron Mar. 27, 1883  
N from Union 51.3 ft.  
W from E line Avenue 6.8 ft.

TAP CLEARED

DATE

BEF.

AFT.

REMARKS

INACTIVE SER

REPLACED BY 21969

MARKS

CHARGE OUT

APPLICATION No.: 4361

TAP CLEARED

✓

LOCATION: 141&R Union Cor 336-42 Acushnet Ave.

OWNER: S F Shafire

MEASURES:

2"

N from Union

50.7 ft.

W from E

Avenue

.6.8 ft.

INACTIVE

REPLACED BY 21969

DATE

BEF.

AFT.

REMARKS