

SERVICE 33966

NEW BEDFORD WATER WORKS
APPLICATION FOR SERVICE AND METER

NEW BEDFORD

11/21/17

I HEREBY ACKNOWLEDGE the receipt of a copy of the Regulations prescribed in the Ordinance of the City, for the use of Water, and I request that the water may be furnished through a

2 inch Copper meter at Commercial / Residential
139 Union St. (purported address)

at such rates as may from time to time be established by the City.

I hereby agree to pay promptly the bill for the Service pipe laid down for my premises, and to pay all dues for water, and I agree to conform to the said Regulations and to all provisions of the Water Ordinances, until written notice is given by me or my agent to cut off the supply.

P 53 L 144

Waterfront Historic Area League of N.B. Inc.

Sewer permit # 24546

TELEPHONE

15 Johnny Cake Hill

New Bedford, Ma. 02740

Service laid

Size and kind of pipe

2" Copper

From

Union St.

St.

Turned on

Meter Set

Reading

Location

Inside cellar wall

Building rates

Paid

Cost of Service

Union St. reconstruction

Paid

31-727

Project. No charge per Acting Commissioner Manuel Silva

AC
11/21/17

E x E Line Acushnet Ave 30.0'
S x N Line Union St 6.0'

UNION ST PROJECT

Record of Water Service Connection

PROJECT: COGGESHALL Sewer Separation - Union Street

STREET: Union Street

HOUSE No: 139

General Contractor: P. Gioioso & Sons, Inc. - Hyde Park, MA

Date: Nov. 14 2017

Type: CU

Diameter (in): 2-in

Distance from main to curb stop (ft): 21.5

Water Pressure (PSI)

Distance curb stop to meter (ft): see below

Distance from curb face to curb stop (ft): see below

Depth of Service (ft): 4.0

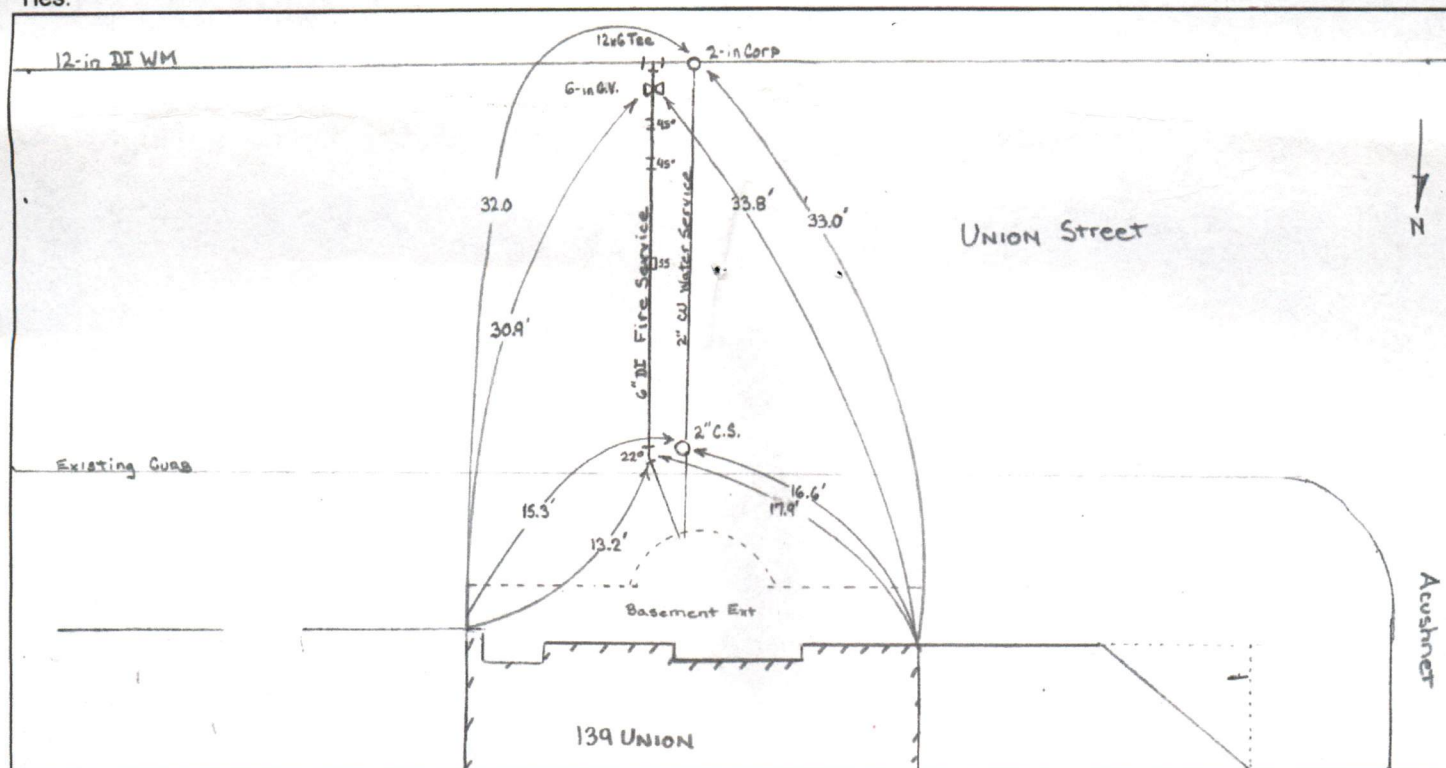
Total length of new pipe installed (ft): 36.6

Curb Stop Replaced: Yes (if yes) Size: 2-in

Corporation Replaced: Yes (if yes) Size: 2-in

Ball Valve Furnished: No (if yes) Size:

Ties:



Remarks:

Water meter not installed.
Curb stop set in road, 1.5-ft from existing curb to accommodate proposed sidewalk expansion at this location.
Removed old service (Ref ID: 195)

144

53

5-22-2002	FUNDAMENTAL INVESTING	5530-202	855-19
	GROUP LLC, TRS OF SNOWFLAKE		
	REALTY TRUST		
9-4-2001	BART W. BUSSINK & CHRISTOPHER	9493-339	918-759
	SCHLESINGER, TEN-IN-COM.		
6-18-2011	CELESTIC COFFEE HOUSE, LLC	10082-748	930-34
8-28-2015	WHAKE DEVELOPMENT CORP.	11462-244	984-230
3-4-2010	WATERFRONT HISTORIC AREA	11623-190	958-97
	LEAGUE OF NEW BEDFORD,		
	INC		



Commonwealth of Massachusetts

CITY OF NEW BEDFORD

City Hall, Room 308, 133 William Street New Bedford, MA 02740 (508) 979-1540



BUILDING PERMIT

6/28/2017

No. **B-16-2545**

MSBC Sect. 110.14 - Any permit issued shall be deemed abandoned and invalid unless the work authorized by it shall have been commenced within six (6) months after its issuance.

FEE PAID: **\$2,818.00**

This certifies that **Thomas M. Quinlan**

Contractor Lic. # **077271**

ParcelID **53-144**

owner/contractor has permission to: **Alteration - Commercial**

on: **139 UNION ST**

Providing that the person accepting this permit shall in every respect conform to the terms of application therefore on file in this office; to the provisions of the statute of the Commonwealth and to the by-laws of the City of New Bedford relating to the inspection, erection, enlarging, altering, raising, moving, repairing, or tearing down of a building.

Permit is issued subject to the following special requirements: (Restrictions)

CITY DEPARTMENT/COMMISSION COMMENTS

The following department/commission has expressed concern about the issuance of this permit. You are advised to contact that agency and resolve this matter.

Department/Commission: _____

BUILDING DEPARTMENT COMMENTS

: commercial alteration for Art Gallery, Educational Space, Non-Profit Office Space, 4 Apartments 2 Restaurants.

YOUR AREA INSPECTOR IS: **Robert Carreiro**

Tel. (508) 979-1540 Between 8:00am - 9:00am

NOTICE: NOTIFY INSPECTOR 48 HOURS IN ADVANCE OF APPLYING SHEATHING OR LATHING

OCCUPANCY PERMIT REQUIRED BEFORE OCCUPANCY

No Building or Structure shall be used or occupied until the Certificate of Use and Occupancy shall have been issued by the Building Commissioner - MSBC, Sect. 120.1

This Card Must Be Displayed in a Conspicuous Place on the Premises and Not Torn Down or Removed Until Completion of Work

SUBJECT TO MASSACHUSETTS
STATE BUILDING CODE

Building Commissioner

Plan Review Comments: :

: will need final affidavit upon completion of job

: ASR-D.P.I. Engrg.

RE: TB-16-2545 & TB-16-2565
139 & 141 Union St. (Purported Addresses)
(Renovation of 2 Buildings-WHALE Co-Creative Center)
Plot 53/Lots 144 & 143
Reviewed: 6/19/2017

NOTE:

Owner is responsible for making sure the address numbers that were assigned by the City are permanently affixed on, above, or to the side of the doors to which they were assigned. Not having address numbers posted will delay signature on Certificate of Occupancy by D.P.I.

Owner/Developer must:

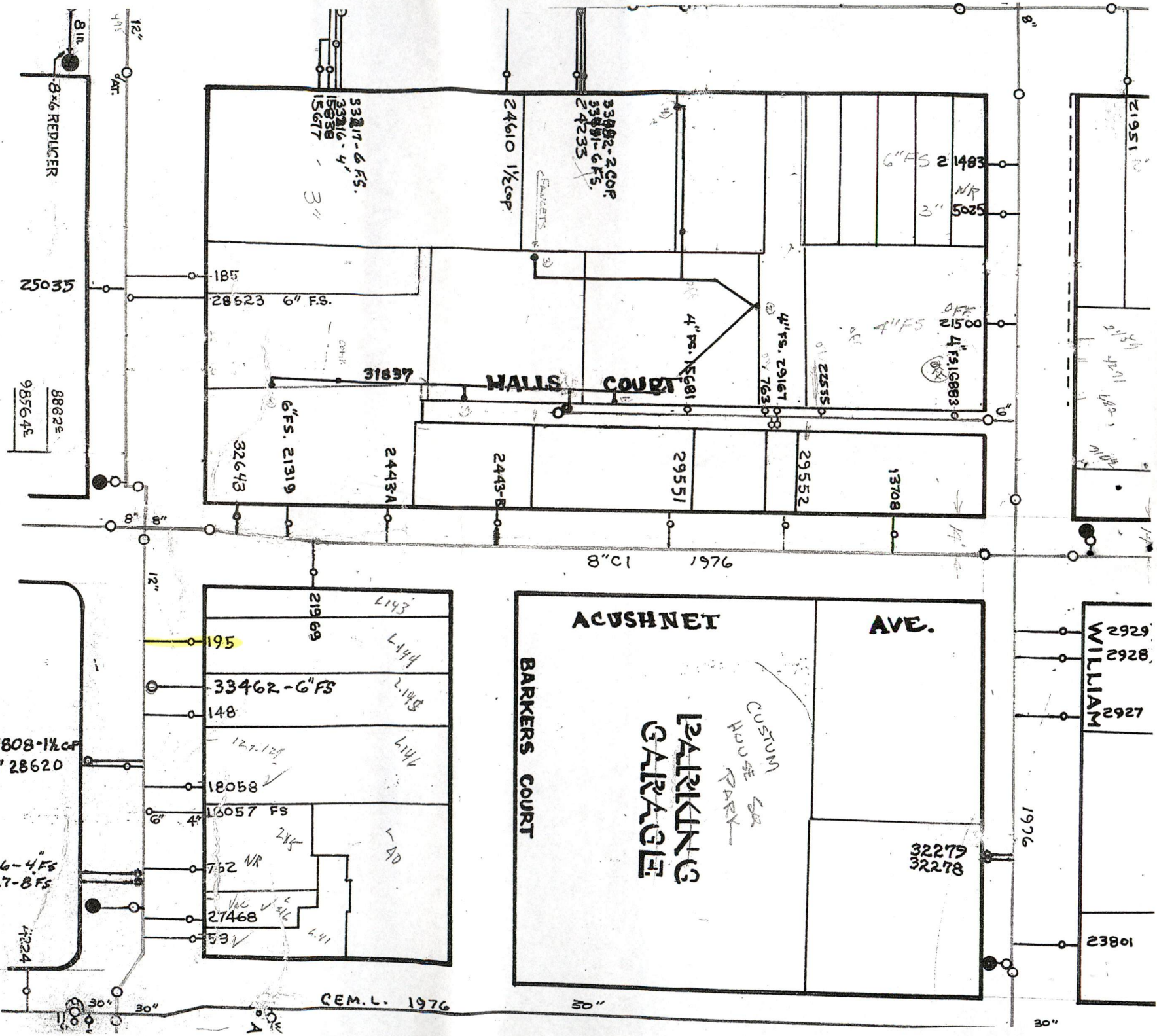
- 1.) Contact D.P.I. for a preconstruction mtg. prior to the beginning of the project, and provide D.P.I. with a full set (paper copy) of the most recent construction plans for the site for review by D.P.I. before the preconstruction meeting. Please note that since the City will be reconstructing Union St. during this construction season, it is imperative that all major work being proposed within the street layout (sidewalks and roadway) for the above project be coordinated with the City of New Bedford D.P.I. such that it is executed while the City is at that location and that all work be completed before the City has finalized Union St. All requirements/conditions as set forth by D.P.I. at said meeting in regards to the development of this site must be met accordingly, and all construction must be in accordance to City of New Bedford Construction Standards and Specifications. No permits will be issued by D.P.I. until the preconstruction meeting has taken place.
- 2.) Contact D.P.I. prior to applying for sewer/storm drain, water and driveway permits to discuss what materials will be required to be submitted to this office prior to these permits being issued. Please note that the fire protection system which is being proposed for these two buildings is being proposed as one system to be shared between the two structures, with one fire supply service connection proposed in front of 139 Union St. If these buildings cease to be in common ownership in the future, the new owner of 141 Union St. will have to secure cross-easements or separate the systems and install their own fire supply service connection. Several paper copies of the plan sheet(s) showing proposed utilities and driveway locations will be required by D.P.I. for permitting purposes. A permission letter from the property owner will be required in order for a representative/agent to sign permits. A copy of the building permit must also be submitted.
- 3.) Contact D.P.I.-Engineering at (508) 979-1550 to measure for a new address number if relocating any exterior door to which the City originally assigned an address number, and/or if installing new doors or designating additional existing doors as main entrances. No Certificate of Occupancy will be signed unless the legal address numbers that were issued by Engineering for the door locations being utilized as the main entrances of the structure are in place on the corresponding entrances.
- 4.) Submit final site as-built to D.P.I. showing location of building and all utilities (i.e. sewer, storm drain, water, etc.) installed as part of this project for City records. No Certificate of Occupancy will be signed until this has been submitted to D.P.I.

Please also note the following, which may be applicable to your site:

- a.) A joint sewer maintenance agreement is required between parties sharing a sewer service line, and will only be permitted by D.P.I. under extenuating circumstances.
- b.) The integrity of any previously existing service being re-utilized must be determined, and said testing witnessed by a D.P.I. inspector, prior to connection. The owner/developer assumes all responsibility of re-utilizing said service. The vertical and horizontal separation required between water and sewer must be provided for any new pipe being installed, and in areas where vertical and horizontal separation cannot be achieved, encasement or sleeving of the pipe will be required.
- c.) Recorded easements must exist for any water, sewer and drainage pipes being installed on other parcels to service the subject parcel. Recorded easements should also exist for any water, sewer and drainage pipes traversing the subject parcel to service other properties.
- d.) All new commercial driveways (or alteration thereof) must go before the Traffic Commission for approval prior to D.P.I. issuing a Driveway Permit.

: Any changes, alterations, removal or installation of any gas or plumbing fixture will require a permit as per the provisions of 248 CMR.

: NOTE: COMMERCIAL ALTS,,, WILL NEED ELECTRICIAN AND ELECTRICAL PERMIT FOR ANY ELECTRICAL WORK ASSOCIATED WITH THESE ALTERATIONS.



Google Maps 141 Union St
Purported addresses
FS, ~~sewer~~ storm, water 139 water, ~~sewer~~ storm, FS



Image capture: Sep 2015 © 2017 Google

New Bedford, Massachusetts

 Google, Inc.

Street View - Sep 2015



195

✓

137-39 Union

N.B. Clrist for Saving

 $\frac{3}{4}$

Acushnet Ave

30.6 ft.

Union

7.5 ft.

25 ft. of 3/4" copper tubing

1 3/4" Hays tap

1 3/4" Hays curb stop.

1 Buffalo stop box

1 wipe joint

Mueller B-100 tapping machine

1 8" x 1 1/2" dresser service saddle

1 1 $\frac{1}{2}$ " Hays tap

1 1 1/2" Mueller curb stop

40 ft. of 3/4" copper tubing

D-4 drilling machine

1/13/89: Renewed from curb stop to meter stop--shut off

Stock: 2ft. $\frac{3}{4}$ " copper tubing.

NOTE: Brick sidewalk, electric in sidewalk, old gas line in the same trench. HAND DIG JOB

REMARKS

CHARGE OUT

APPLICATION No.: 195

TAP CLEARED

LOCATION: 137 Union Street

DATE

BEF.

AFT.

REMARKS

OWNER:

31-313

MEASURES: 3/4 copper

E line acushnet ave 30.6'
S x N line union st 7.5'

29.5 ft pipe

service renewed from main pipe to 1 1/2' inside sidewalk stop, using 25 1/2" 5/8 H lead pipe

1 Red Hed Stop 3-31-42

6/19/69, renewed from new 12" main to a point 1 ft. inside curb stop; 25 ft. 3/4" copper tubing

1 3/4" Hays tap; 1 3/4" Hays curb stop; 1 Buffalo stop box.

1/13/89 renewed from curb stop to meter stop.

sgut off 2 ft - 3/4 copper tubing. Side cut:

4x4 brick with cement.

METER HISTORY

DATE	SERVICE	Application No.	REMARKS
	St. & No. 137-89 Union	#195	
	Size Pipe 5/8" 3/4" Kind Pipe H-L lead Copper	Laid June 24, 1870	
	E from Acushnet Ave.	St. 30.6 ft.	
	S from N line Union	St. 7.5 ft.	
	from line	St. ft.	
	City 28 ft. Earth	Taker	
	29.5 ft. Pipe	ft. Earth	
		ft. Pipe	
	28 17		
	Over		
	Library B		

CHARGE OUTS

Service renewed from main pipe to 1 1/2' inside sidewalk stop, using 25 1/2' 5/8 H. Lead Pipe 3-31-42
 1 Red Hed Stop
 6/19/69, renewed from new 12" main to a point 1 ft. inside curb stop; 25 ft. 3/4" copper tubing; 1 3/4" Hays tap; 1 3/4" Hays curb stop; 1 Buffalo stop box.
 1/13/89 Renewed from curb stop to meter stop. shut off. 2 ft. - 3/4" copper tubing. Side cut: 4 x 4 brick w/ cement.

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