

expired 11/14/18

SERVICE 33965

W-17-50

NEW BEDFORD WATER WORKS

APPLICATION FOR SERVICE AND METER

NEW BEDFORD NOV 14, 2017

1990

I HEREBY ACKNOWLEDGE the receipt of a copy of the Regulations prescribed in the Ordinance of the City, for the use of Water, and I request that the water may be furnished through a Shawmut Ave
1 inch copper meter at (E.S.) 75' N.X. New Plainville Rd
Plot 124C Lot 52 (Duplex)

at such rates as may from time to time be established by the City.

I hereby agree to pay promptly the bill for the Service pipe laid down for my premises, and to pay all dues for water, and I agree to conform to the said Regulations and to all provisions of the Water Ordinances, until written notice is given by me or my agent to cut off the supply.

X [Signature]

TELEPHONE

508 9712220

Riv Canessa
Christopher Ciard 508
2044 Shawmut Ave.

Service laid Size and kind of pipe

From St.

Turned on Meter Set hwy 1

Reading Location

Building rates Paid

Cost of Service 500.00 Paid

31-727

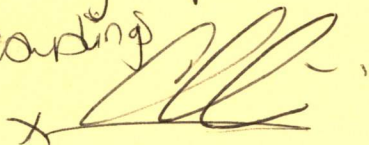
CK # 1363

1" COPPER ASERVICE

N x N Line New Plainville	151.0'
W x E Line Shawmut Ave	2.0'
N x N House	8.0'
W x W House	58.0'
Main to Property Line	12.0'
Pipe to Property Line	60.0'

3/29/18: Contractor WC SMITH
Inspector P.Reynolds

Picking up
cording



X
4-4-18

DISPLAY PERMIT IN A CONSPICUOUS PLACE ON THE PREMISES



Commonwealth of Massachusetts

City of New Bedford

133 William Street New Bedford, MA 02740

WATER SERVICE PERMIT



Date: 1/3/2018

No. **W-17-50**

Permit Fee: \$0.00

Service Location: NS SHAWMUT AVE

Owner Name: CIANO CHRISTOPHER P

Owner Phone #: (508) 971-2220

Type of Occupancy: Residential

Type of Work: Water - Domestic New 1"

Work Description: service#33965
P. 124C
L.52

ES 75' N x New Plainville Rd / Shawmut Ave

DUPLEX

Contractor

Name: Robert J. Canessa Certificate #: _____

Type of Business : DPI - Other

Address: P. O. Box 51643 City/Town/State: New Bedford MA Phone #: (508) 998-

Type of Service Pipe Size Trench Length: 0.00

Fire Service _____

Domestic Service _____

Estimated consumption of water

Estimated average daily consumption 0.00 gallons

Estimated maximum day consumption 0.00 gallons

Are lawn sprinklers and/or lawn irrigation proposed on site? No

Estimated fire flows required for the project site: 0.00

Does the project require a fire suppression system? No

Required minimum static pressure for the proposed project site 0.00

Cross Connection? No

Right of Way? No

Meter Impact? No

Street Opening Permit Required? No

Call Phone: (781) 942-9077 For Inspection



Commonwealth of Massachusetts

CITY OF NEW BEDFORD

City Hall, Room 308, 133 William Street New Bedford, MA 02740 (508) 979-1540



FOUNDATION PERMIT

10/4/2017

No. B-16-3117

MSBC Sect. 111.8 - Any permit issued shall be deemed abandoned and invalid unless the work authorized by it shall have been commenced within six (6) months after its issuance.

FEE PAID \$100.00

This certifies that CIANO CHRISTOPHER P

owner/contractor has permission to:

NS

SHAWMUT AVE

on: Foundations Only 1-2 Family - 100.00

Providing that the person accepting this permit shall in every respect conform to the terms of application therefore on file in this office; to the provisions of the statute of the Commonwealth and to the by-laws of the City of New Bedford relating to the inspection, erection, enlarging, altering, raising, moving, repairing, or tearing down of a building.

Permit is issued subject to the following special requirements: (Restrictions)



Wiring Inspector



Plumbing Inspector



Building Inspector

YOUR AREA INSPECTOR IS: Thomas Welch

Tel. (508) 979-1540 Between 8:00am - 9:00am

NOTICE: NOTIFY INSPECTOR 48 HOURS IN
ADVANCE OF APPLYING SHEATHING OR LATHING

OCCUPANCY PERMIT REQUIRED BEFORE OCCUPANCY

No Building or Structure shall be used or occupied until the Certificate of Use and Occupancy shall have been issued by the Building Commissioner - MSBC, Sect. 120.1

This Card Must Be Displayed in a Conspicuous Place on the Premises and Not Torn Down or Removed Until Completion of Work

SUBJECT TO MASSACHUSETTS
STATE BUILDING CODE

Donny D. Romanowicz

Building Inspector

Plan Review Comments:

#70-18 co. c³g
1992 ^{SH-1} Shannut
~~Sewer~~ Water
per top
1:00 PM Thurs



ASR-D.P.I. Engrg.

RE: TB-16-3117

Shawmut Ave. (ES) 75' N. x New Plainville Rd.

Plot 124C/Lot 52

Reviewed 9/28/2017

Requirements to be met by Owner/Developer for this project:

- 1.) The revised site plan submitted to D.P.I., titled "Subsurface Sewage Disposal System, Assessors Map 124C Portion of Lot 27 Shawmut Avenue/New Plainville Road, New Bedford, MA 02745", dated 1/31/2017, with a revision date of 9/22/2017, prepared by Sitec, Inc. and signed/stamped by Steven D. Gioiosa, P.E.-Civil, was approved conditionally, pending the following revisions and submittal of the following before applying for permits at D.P.I.:

- a. Drawing title should reflect what it is intended for (i.e. Building Permit Plan, Proposed Site Plan, etc.). The plan title should have been changed from "Subsurface Sewage Disposal System" to "Building Permit Plan" or "Proposed Site Plan".
- b. Must update Assessor's Parcel ID information to Assessors Map 124C Lot 52 to reflect the proper information for the parcel.
- c. The Owner/Agent needs to provide a permit from the B.O.H. issued for the installation of a new septic system on Lot 52 for the new duplex residence to be built. [On 9/26/17, when Mr. Christopher Ciano dropped off the revised plan, he was asked why they still did not provide the 10' separation from the septic system. Mr. Ciano claimed that Sitec told him there was a 5' overdig on the leaching field, and that they'd be able to meet the 10' separation required. If upon inspection by D.P.I., the separation distance has not been met, he will have to relocate his water service to comply.]

The Owner/Developer is responsible for making sure that Inspectional Services is provided with the latest revised plan.

- 2.) Must provide 3 "stamped" copies of final site plan, with reflecting the revisions requested by D.P.I. (see above) at the time of this review, when applying for water, sewer/drain and driveway permits at D.P.I. [All pages must be "stamped" if it is a multi-page plan set.] Any changes made to the site plan after it has been approved by D.P.I. must be re-submitted for approval, even if the revisions were made per the requirements of another Department.] In addition, a copy of the foundation permit and of the "stamped" foundation as-built plan must also be submitted. Note that any representative/agent pulling permits on behalf of the owner must provide D.P.I. with a permission slip. If the property was acquired within the past 3 months, then the new owner must also provide a copy of the recorded deed showing property ownership.
- 3.) Must contact D.P.I.-Engineering to measure for building number (address) once front door is framed. The C.O. will not be signed unless the legal address assigned by the City is permanently affixed to, above, or next to, the entrance to which it was assigned such that it is highly visible from the street.

Please also note the following, which may be applicable to your site:

- a.) Any new mains installed must be inspected, tested (witnessed by a D.P.I. inspector), and approved for connection, and the respective as-built must be submitted prior to D.P.I. issuing permits for individual house connections. Installer is responsible for meeting minimum required vertical and horizontal separation for water and sewer mains and services.

- b.) The integrity of any previously existing service being re-utilized must be determined, and said testing witnessed by a D.P.I. inspector, prior to connection. The owner/developer assumes all responsibility of re-utilizing said service. The vertical and horizontal separation required between water and sewer must be provided for any new pipe being installed, and in areas where vertical and horizontal separation cannot be achieved, encasement or sleeving of the pipe will be required.
- c.) A joint sewer maintenance agreement is required between parties sharing a sewer service line, and will only be permitted by D.P.I. under extenuating circumstances.
- d.) Recorded easements must exist for any water, sewer and drainage pipes being installed on other parcels to service the subject parcel. Recorded easements should also exist for any water, sewer and drainage pipes traversing the subject parcel to service other properties.
- e.) The maximum width allowed for any residential driveway opening is 18'. Any other pre-existing curb cuts along perimeter of property will have to be closed.

The following was a private comment to Inspectional Services:

Note to Inspectional Services: Please kindly print the comments for owner/applicant or direct them to D.P.I. for a copy.

ASR-D.P.I. Engrg.

RE: TB-16-3117

Shawmut Ave. (ES) 75' N. x New Plainville Rd.

Plot 124C/Lot 52*

Reviewed 9/22/2017

*Please note that this is a new parcel number that was subdivided primarily out of Plot 124C/Lot 27.

Site plan submitted must include the following information: *

1. Permit is incorrectly filed under Plot 128/Lot 24 in view permit. Please consult with Inspectional Services to assure that it is moved to the correct parcel id.
2. Size/type of proposed water service needs to be specified on plan. Water curb stop must be 1-1/2' from curb (or edge of road pavement), within the sidewalk area. Any bends in the water service must remain within the private property, and a 10' separation distance must be maintained from sewer service/septic system.
3. Type of driveway brows proposed must be called out (i.e. bituminous concrete, cement concrete, etc...).
4. Roof runoff must be infiltrated into ground. Show location, calcs. and specs. for proposed recharge system on plan.

No. 17-07

Form 2 - DSCP

Fee 200

COMMONWEALTH OF MASSACHUSETTS
Board of Health, _____, MA
DISPOSAL SYSTEM CONSTRUCTION PERMIT

Permission is hereby granted to; Construct (X) Repair () Upgrade () Abandon () an individual sewage disposal system at
Shawmut Ave New Romantik Rd 1246 / 205 27 as described in the application for Disposal

System Construction Permit No. 17-07 dated _____.

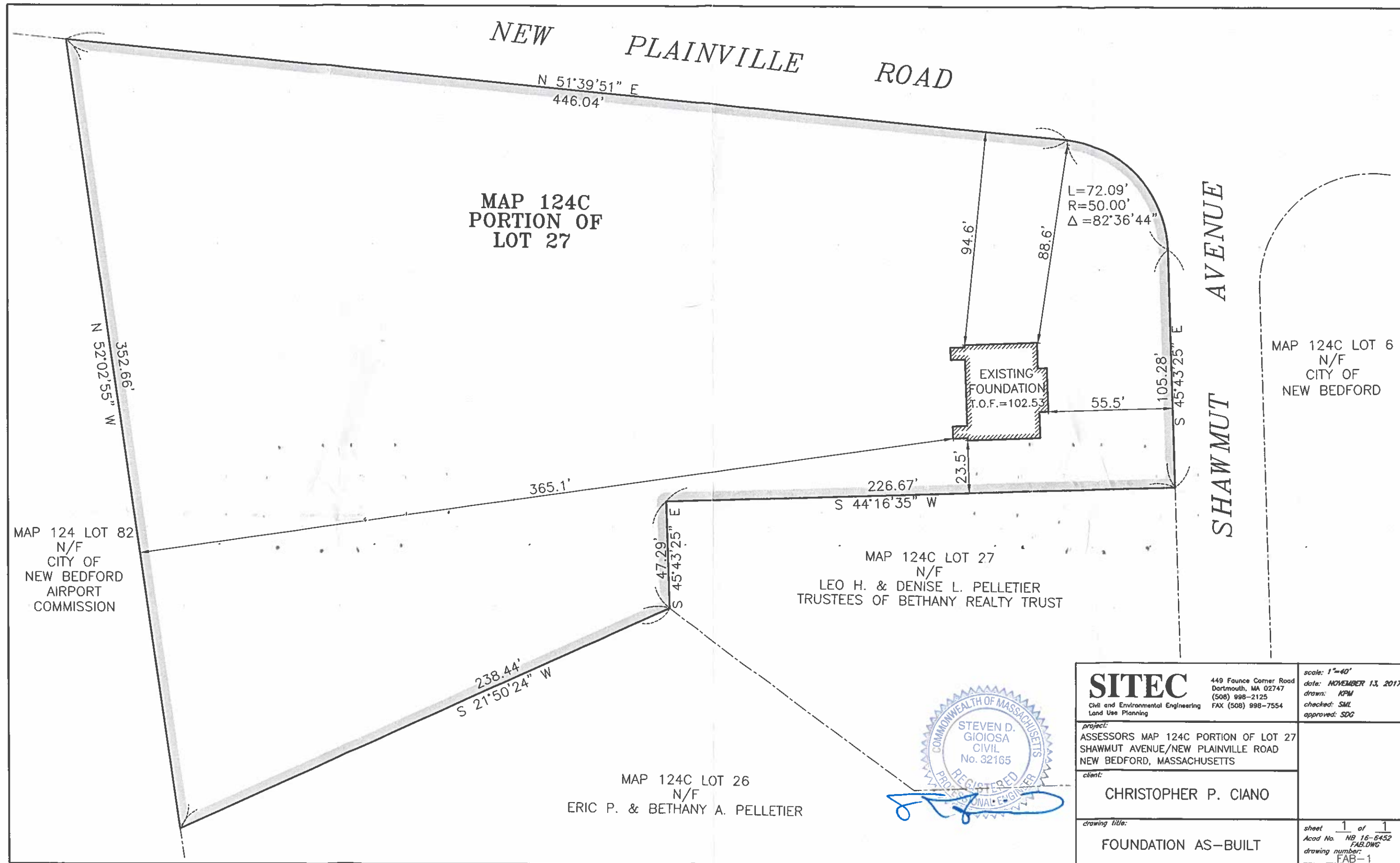
Provided: Construction shall be completed within three years of the date of this permit. All local conditions must be met.



DEP APPROVED FORM 5/96

Date 4/10/17

Board of Health Sandra J. Manning

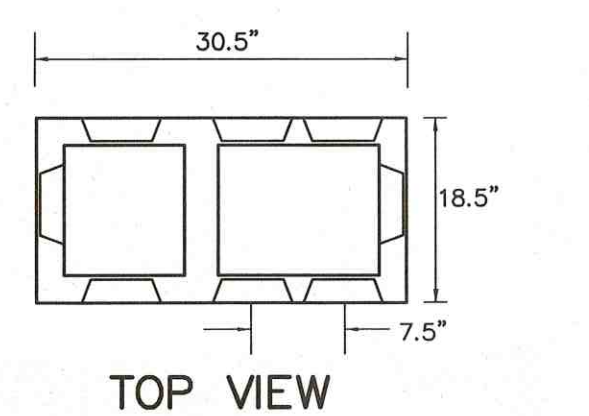
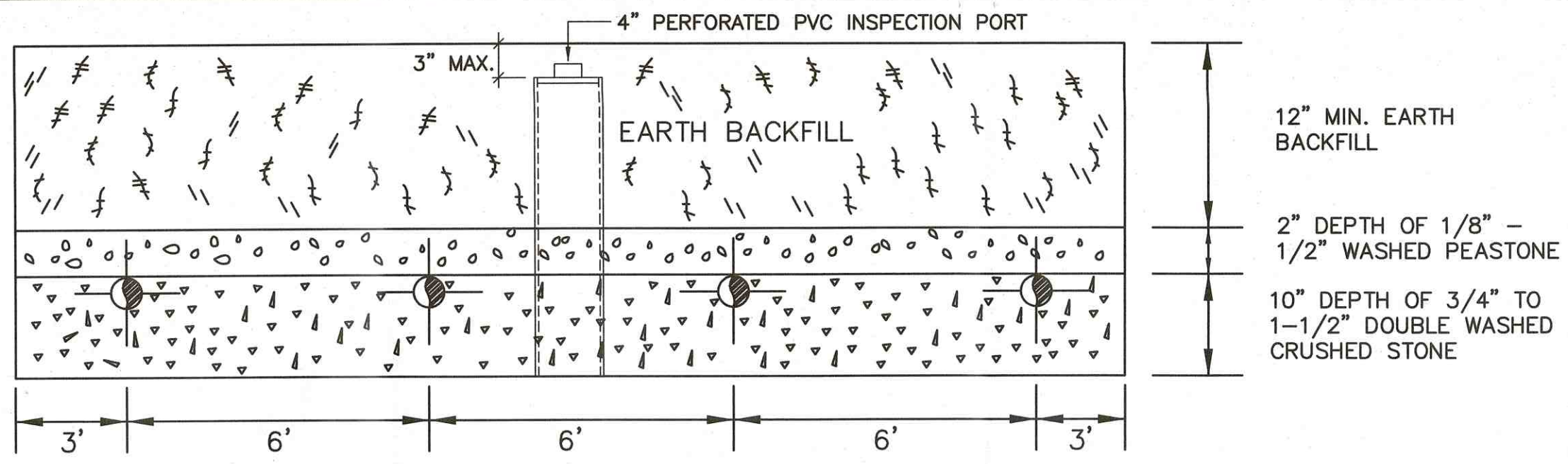


SITEC Civil and Environmental Engineering Land Use Planning		449 Faunce Corner Road Dartmouth, MA 02747 (508) 998-2125 FAX (508) 998-7554	scale: 1"=40' date: NOVEMBER 13, 2017 drawn: KPM checked: SML approved: SDG
project: ASSESSORS MAP 124C PORTION OF LOT 27 SHAWMUT AVENUE/NEW PLAINVILLE ROAD NEW BEDFORD, MASSACHUSETTS			
client: CHRISTOPHER P. CIANO			
drawing title: FOUNDATION AS-BUILT		sheet 1 of 1 Acad No. NB 16-6452 FAB.DWG drawing number: FAB-1	

SOIL DATA

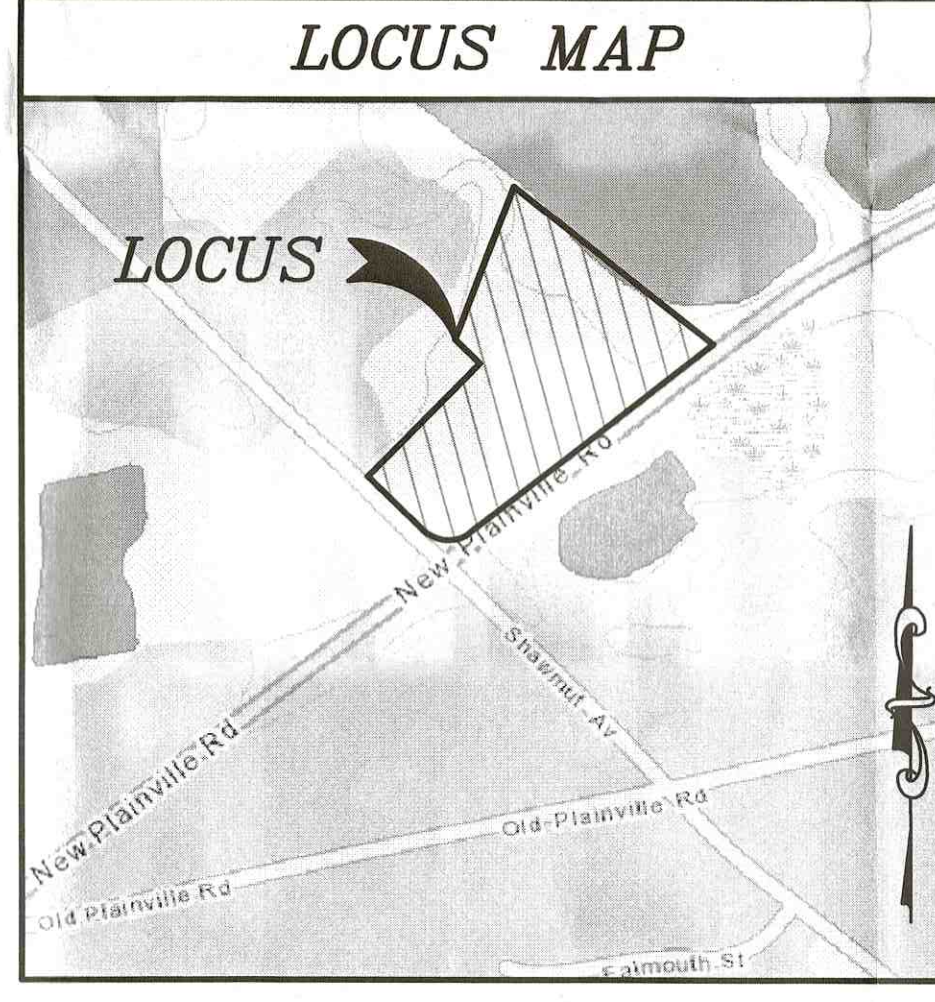
DATE: 09/26/2006
 PERFORMED BY: DANIEL GIOIOSA
 WITNESSED BY: DEREK MACEDO & GAIL JOSEPH, B.O.H. AGENTS

TP-1	TP-2	TP-3	TP-4
0" 101.0 16" 99.7 24" 99.0 38" 97.8 132" 90.0	0" 101.0 20" 99.3 26" 98.8 38" 97.8 120" 91.0	0" 101.3 16" 100.0 28" 99.0 40" 98.0 132" 90.3	0" 101.0 16" 99.7 24" 99.0 42" 97.5 126" 90.5
A SANDY LOAM 10YR 3/3 B SANDY LOAM 10YR 6/6 C1 MEDIUM TO COARSE SAND 10YR 5/4	A SANDY LOAM 10YR 3/3 B SANDY LOAM 10YR 6/6 C1 MEDIUM TO COARSE SAND 10YR 5/4	A SANDY LOAM 10YR 3/3 B SANDY LOAM 10YR 6/6 C1 MEDIUM TO COARSE SAND 10YR 5/4	A SANDY LOAM 10YR 3/3 B SANDY LOAM 10YR 6/6 C1 MEDIUM TO COARSE SAND 10YR 5/4
PERC RATE: 1" IN < 2 MIN. PERC DEPTH 50" ELEV.=96.8	PERC RATE: 1" IN < 2 MIN. PERC DEPTH 48" ELEV.=97.0		



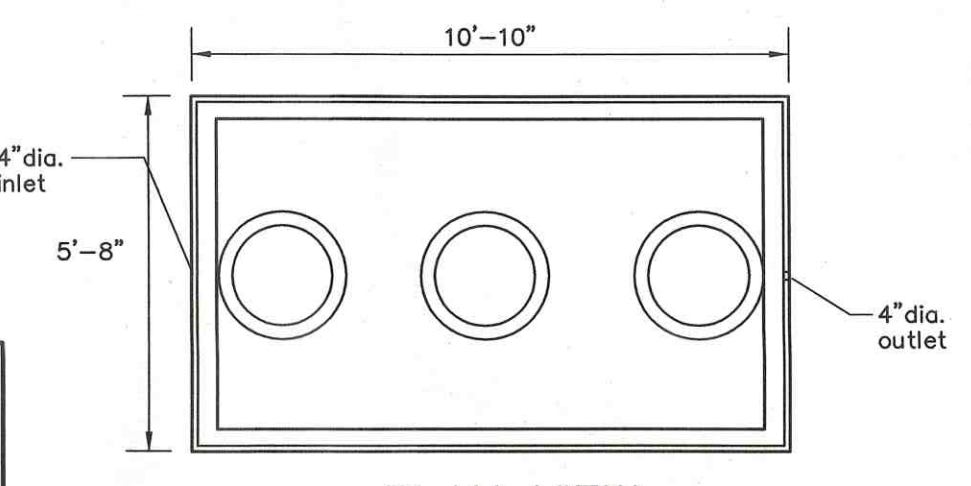
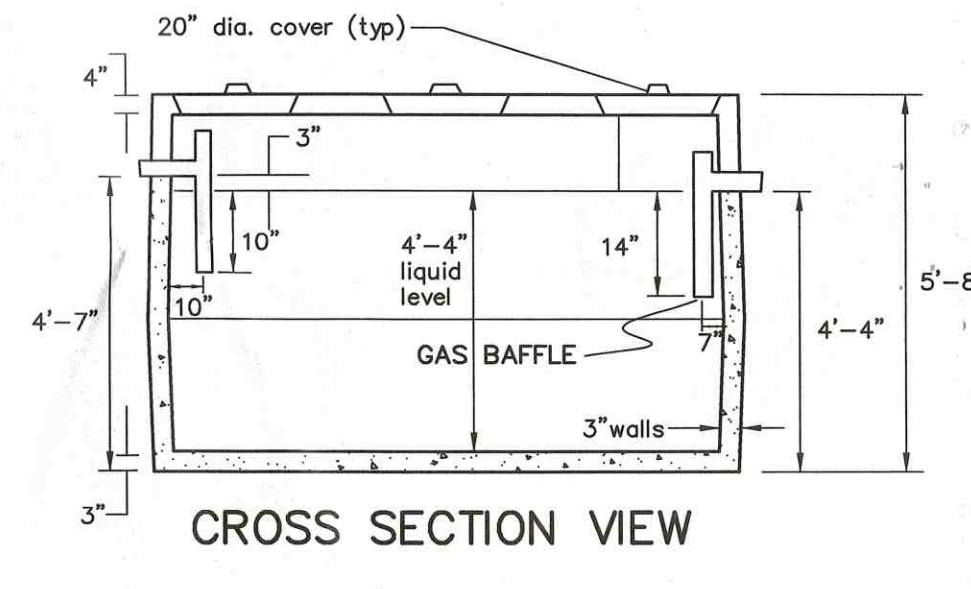
LEGEND	
100	EXISTING CONTOUR
98.69	PROPOSED CONTOUR
TP-1	PIPE INVERT ELEVATION
TEST PIT	
SEPTIC TANK	
DISTRIBUTION BOX	
PROPOSED WATER SERVICE LINE	
PROPOSED SEPTIC SERVICE LINE	
OBSERVED GROUNDWATER TABLE ELEVATION	

DESIGN DATA	
DESIGN PERC RATE: 1" IN < 2 MIN.	
EFFLUENT LOADING RATE: SOIL CLASS I	0.74 GPD/SF
DESIGN FLOW: 6 BEDROOM x 110 GPD/BEDROOM = 660 GPD REQUIRED	
SYSTEM DESIGN: USE 24' x 38' LEACHING FIELD	
BOTTOM: 24' x 38' x 0.74 GPD/SF = 675 GPD PROVIDED	
RESERVE AREA: USE 24' x 38' LEACHING FIELD	



ZONING REQUIREMENTS (MINIMUM)	
FRONT YARD SETBACK: 20 FEET	
SIDE YARD SETBACK: 10 FEET, 12 FEET	
REAR YARD SETBACK: 30 FEET	

- GENERAL NOTES**
- THIS SYSTEM SHALL BE INSPECTED WHEN LEACHING AREA IS FULLY EXCAVATED AND WHEN ALL COMPONENTS ARE IN PLACE. WHEN THE SYSTEM IS READY FOR INSPECTION, THE CONTRACTOR SHALL NOTIFY THE LOCAL BOARD OF HEALTH.
 - DOUBLE WASHED CRUSHED STONE SHALL BE FREE OF ALL DIRT, DUST AND FINES.
 - ALL ELEVATIONS ARE BASED ON ASSUMED ELEVATION DATUM.
 - HEAVY EQUIPMENT SHALL NOT BE ALLOWED TO OPERATE OVER THE LIMITS OF THE SEWAGE DISPOSAL SYSTEM DURING THE COURSE OF CONSTRUCTION.
 - NO FIELD MODIFICATIONS TO THE SEWAGE DISPOSAL SYSTEM SHALL BE MADE WITHOUT PRIOR WRITTEN APPROVAL OF THE ENGINEER AND THE LOCAL BOARD OF HEALTH.
 - UNLESS OTHERWISE NOTED ALL SYSTEM COMPONENTS SHALL BE INSTALLED IN ACCORDANCE WITH TITLE V OF THE STATE ENVIRONMENTAL CODE AND ANY APPLICABLE LOCAL REGULATIONS.
 - SEPTIC TANK, DISTRIBUTION BOX, ETC. SHALL BE MANUFACTURED BY SHEA CONCRETE OR APPROVED EQUAL.
 - GROUT TO BE USED AT ALL POINTS WHERE PIPES ENTER OR LEAVE ALL CONCRETE STRUCTURES IN ORDER TO PROVIDE A WATER TIGHT SEAL.
 - ALL SHIP LAP JOINTS IN THE SEPTIC TANK SHALL BE SEALED WITH NEOPRENE GASKETS OR ASPHALT CEMENT.
 - EXCAVATE ALL UNSUITABLE MATERIAL IN LEACHING AREA AND BACKFILL WITH CLEAN, GRANULAR SAND IN ACCORDANCE WITH 15.225(3) OF TITLE V. ALL BACKFILL MATERIAL HAS TO BE APPROVED BY THE NEW BEDFORD BOARD OF HEALTH.
 - THIS SYSTEM IS NOT DESIGNED FOR A GARBAGE DISPOSAL UNIT.



SEPTIC TANK

FOR BUILDING DEPARTMENT USE
 FOR PERMIT

BOARD OF HEALTH STAMPS

BOARD OF HEALTH STAMPS

P.E. STAMP

P.L.S. STAMP

Proposed Site Plan

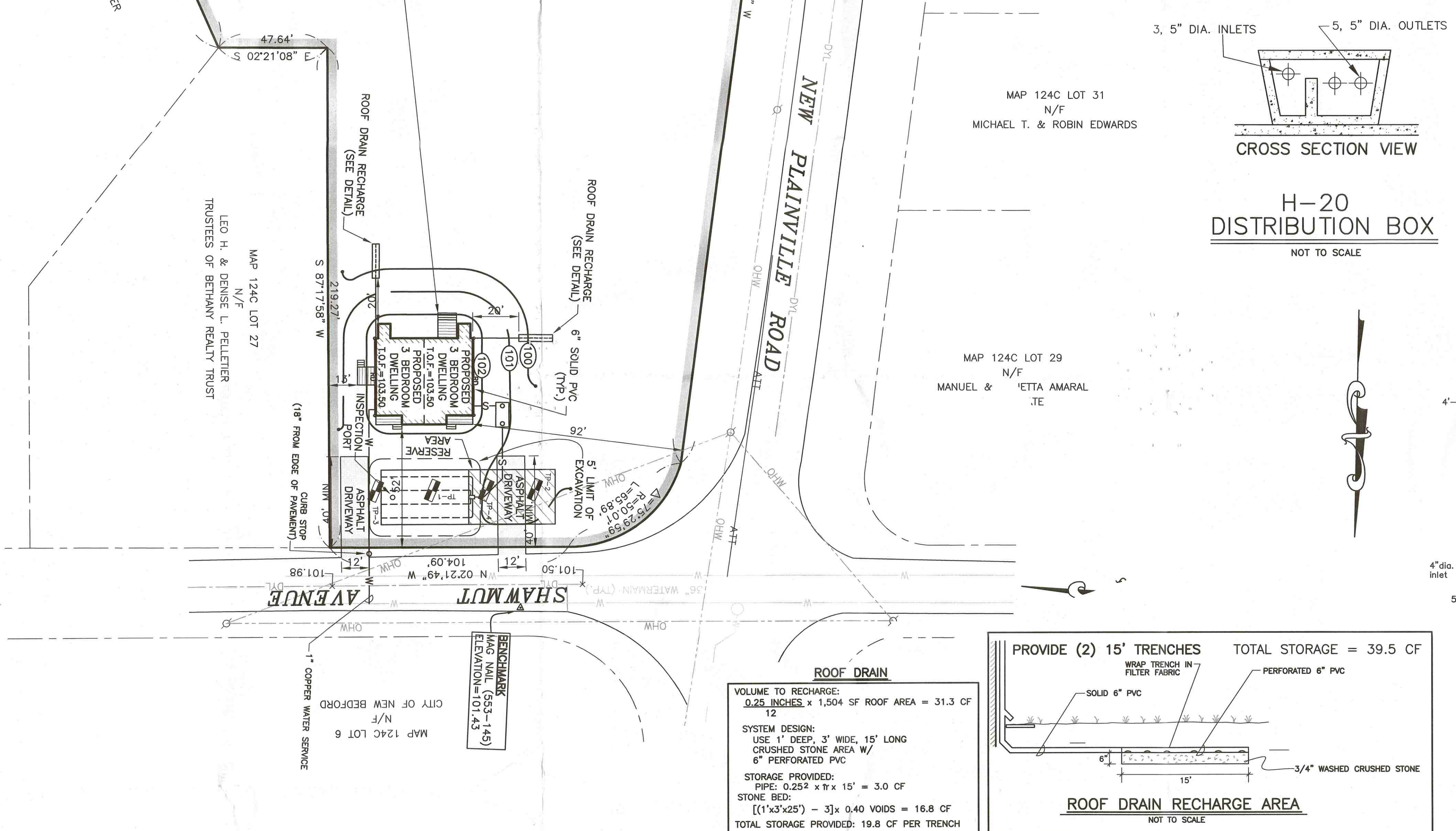
OWNER: CHRISTOPHER P. CIANO
 ASSESSORS MAP 124C PORTION OF LOT 52
 STREET LOCATION: SHAWMUT AVENUE /
 NEW PLAINVILLE ROAD
 NEW BEDFORD, MA 02745

ENGINEERING FIRM:
SITEC
 Civil and Environmental Engineering
 Land Use Planning

DATE: 01/31/2017 **REVISED: 09/22/2017**

CONTACT PERSON: ALISON CESAR

ACAD NO. DAR 16-6432 CIANO SSDS.DWG FILE NO. 16-6432



ROOF DRAIN

VOLUME TO RECHARGE:
 9.25 INCHES x 1,504 SF ROOF AREA = 31.3 CF

SYSTEM DESIGN:
 USE 1" DEEP, 3" WIDE, 15' LONG
 CRUSHED STONE AREA W/
 6" PERFORATED PVC

STORAGE PROVIDED:
 PIPE: 0.252 x 15' x 15' = 3.0 CF
 STONE BED:
 [(1'x3'x25') - 3] x 0.40 VOIDS = 16.8 CF
 TOTAL STORAGE PROVIDED: 19.8 CF PER TRENCH

