

W-17-46
SERVICE 33959

NEW BEDFORD WATER WORKS

APPLICATION FOR SERVICE AND METER

NEW BEDFORD

10/17/2017

expires 10/17/18

I HEREBY ACKNOWLEDGE the receipt of a copy of the Regulations prescribed in the Ordinance of the City, for the use of Water, and I request that the water may be furnished through a

1 inch Copper meter at (NS) 554' E. V Acushnet Ave
P136 L. 474 Single family

at such rates as may from time to time be established by the City.

I hereby agree to pay promptly the bill for the Service pipe laid down for my premises, and to pay all dues for water, and I agree to conform to the said Regulations and to all provisions of the Water Ordinances, until written notice is given by me or my agent to cut off the supply.

Sewer permit #24539

RJ CANESSA TELEPHONE 508-993-0381

DPM Development

Rosa Mont

70 Lambeth St

New Bedford MA 02745

Service laid Size and kind of pipe

From St.

Turned on Meter Set

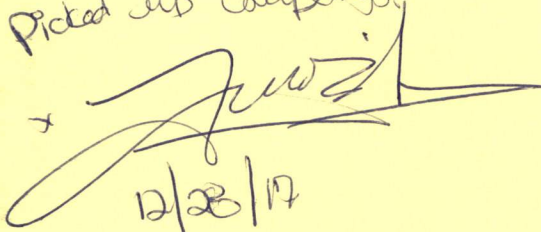
Reading Location

Building rates Paid 500.00 ck # 7253

Cost of Service 500.00 Paid

31-727

Picked up couplings

x  12/28/17

DISPLAY PERMIT IN A CONSPICUOUS PLACE ON THE PREMISES



Commonwealth of Massachusetts

City of New Bedford

133 William Street New Bedford, MA 02740

WATER SERVICE PERMIT



Date: 12/7/2017

No. **W-17-46**

Permit Fee: \$500.00

Service Location: NS ROSA DR

Owner Name: MONIZ PROPERTIES INC

Owner Phone #: (508) 993-0381

Type of Occupancy: Residential

Type of Work: Water - Domestic New 1"

Work Description: service # 33959
P.136
L.474

Contractor

Name: Robert J. Canessa Certificate #: _____ Type of Business: DPI - Other

Address: P. O. Box 51643 City/Town/State: New Bedford MA Phone #: (508) 998-

Type of Service Pipe Size Trench Length: 0.00

Fire Service _____

Domestic Service _____

Estimated consumption of water

Estimated average daily consumption 0.00 gallons

Cross Connection? No

Estimated maximum day consumption 0.00 gallons

Right of Way? No

Are lawn sprinklers and/or lawn irrigation proposed on site? No

Meter Impact? No

Estimated fire flows required for the project site: 0.00

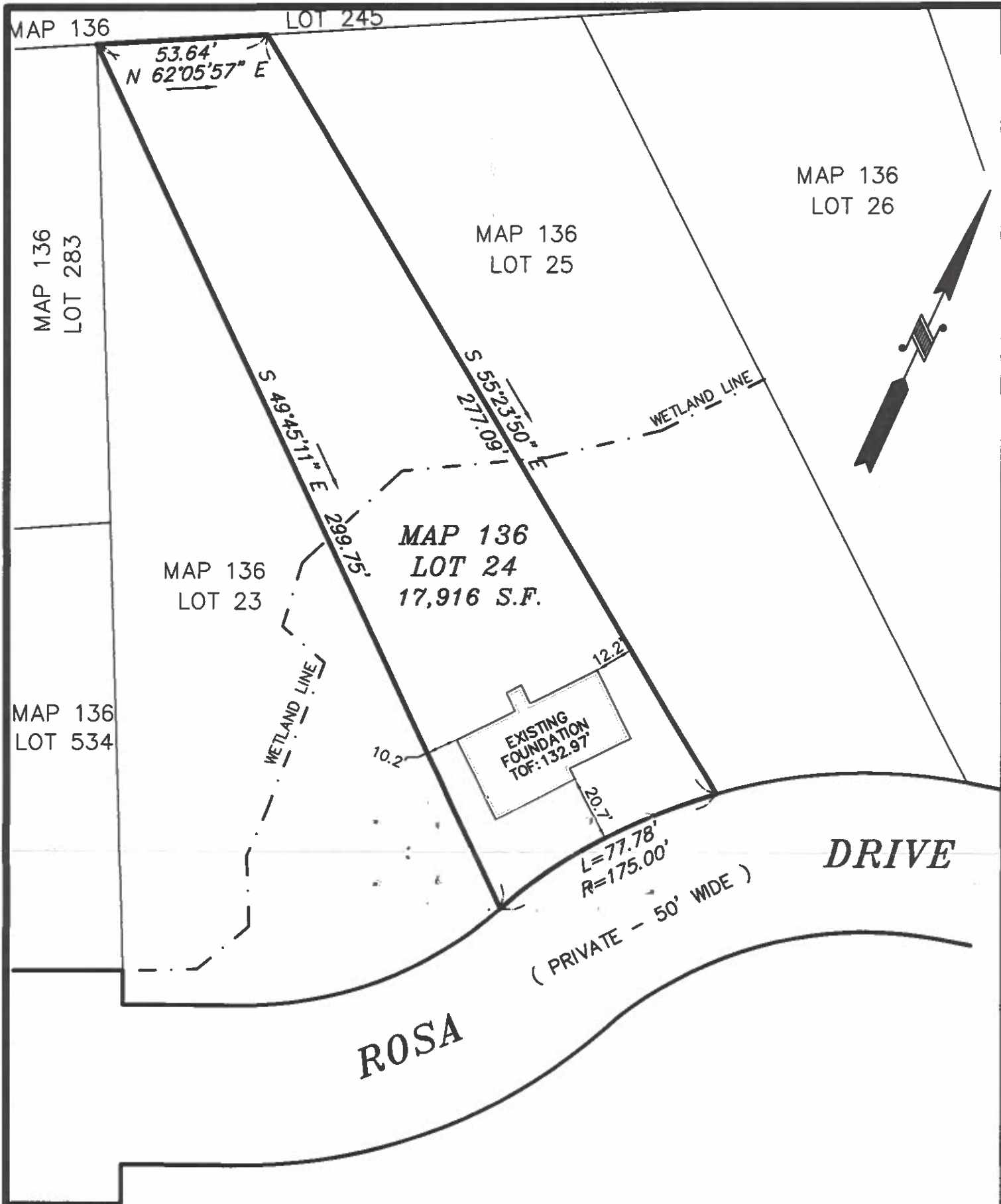
Street Opening Permit Required? No

Does the project require a fire suppression system? No

Required minimum static pressure for the proposed project site 0.00

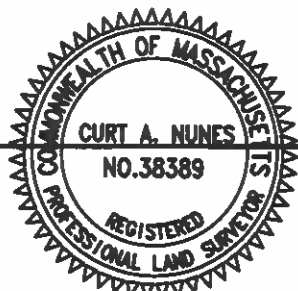
GRANTED WITH THE USUAL CONDITIONS

Call Phone: (781) 942-9077 For Inspection



AS BUILT FOUNDATION PLAN - MAP 136 LOT 24

ROSA DRIVE IN NEW BEDFORD, MA



I CERTIFY THAT THE FOUNDATION SHOWN
HEREON, AS BUILT, CONFORMS TO THE CITY
OF NEW BEDFORD ZONING SETBACK
REQUIREMENTS.

PROFESSIONAL LAND SURVEYOR

10/16/17
DATE

DATE: OCT. 16, 2017

SCALE: 1" = 40'

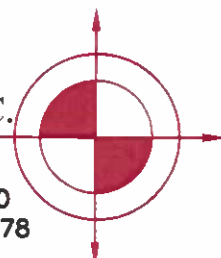
ROMANELLI ASSOCIATES INC.

PROFESSIONAL LAND SURVEYORS

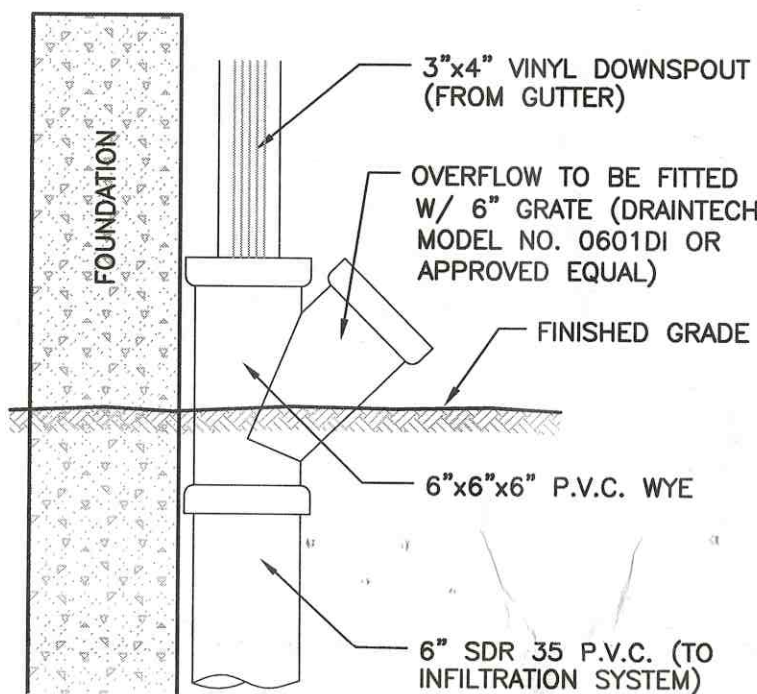
1162 Rockdale Ave. New Bedford, MA 02740

Phone (508) 995-0100 - (508) 995-6678

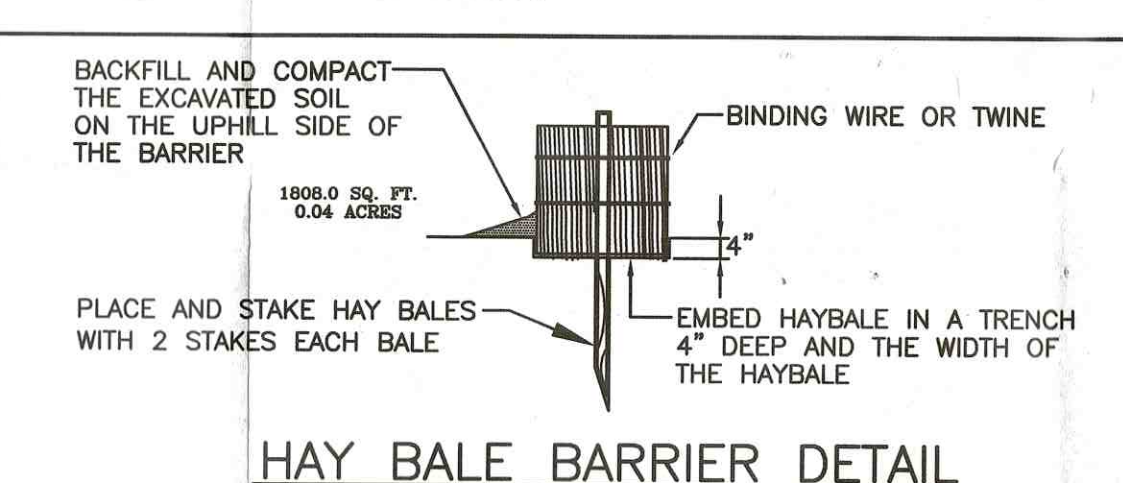
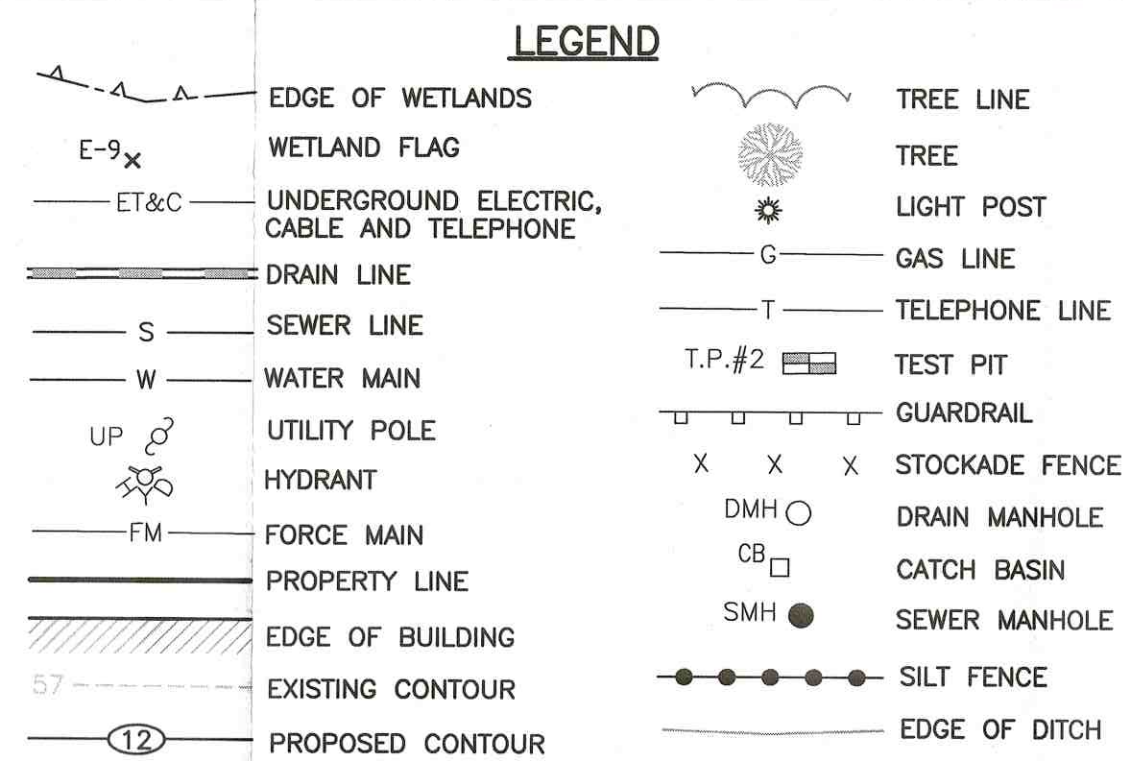
WWW.ROMANELLI-INC.COM



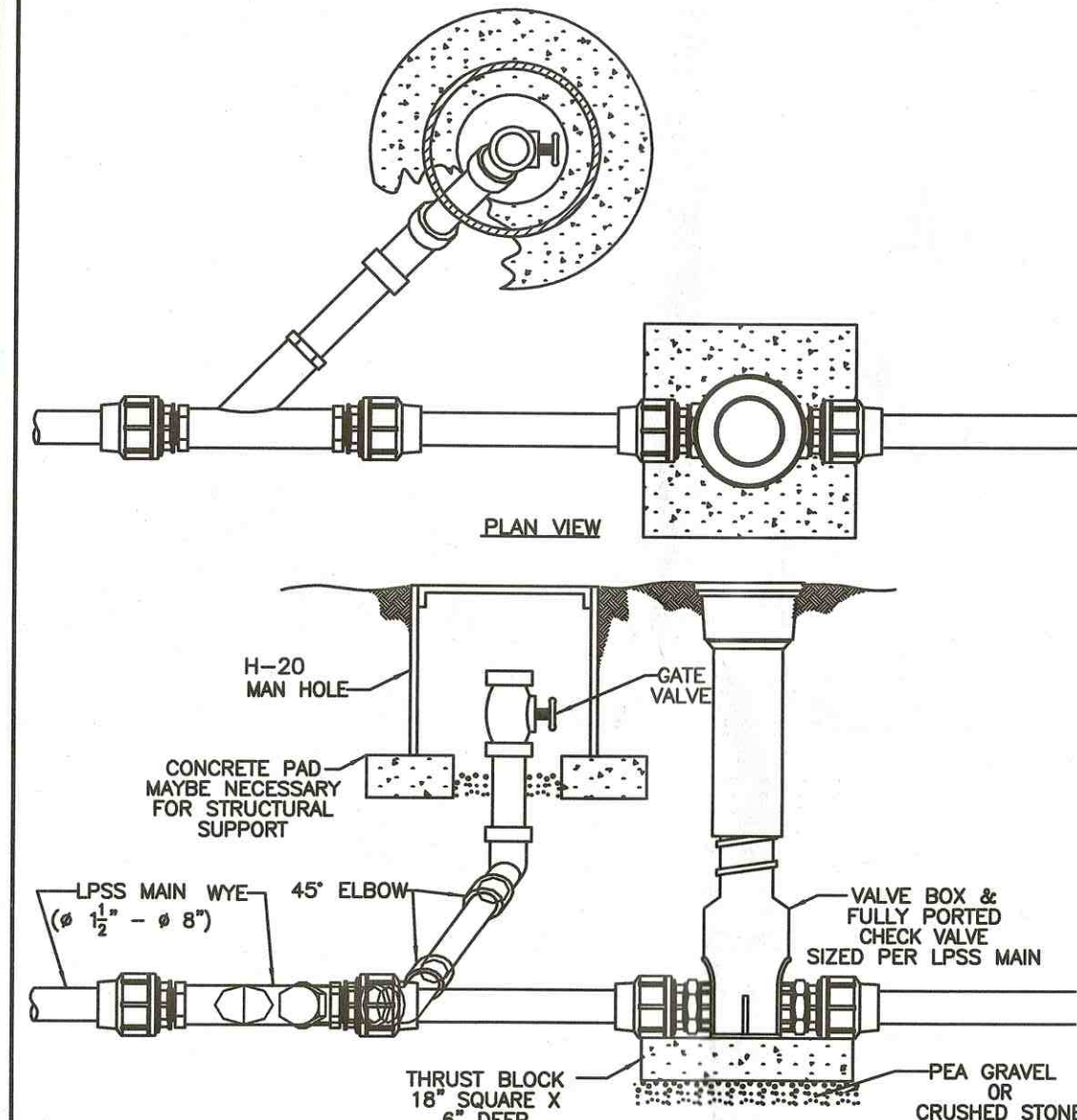
JN 16-088



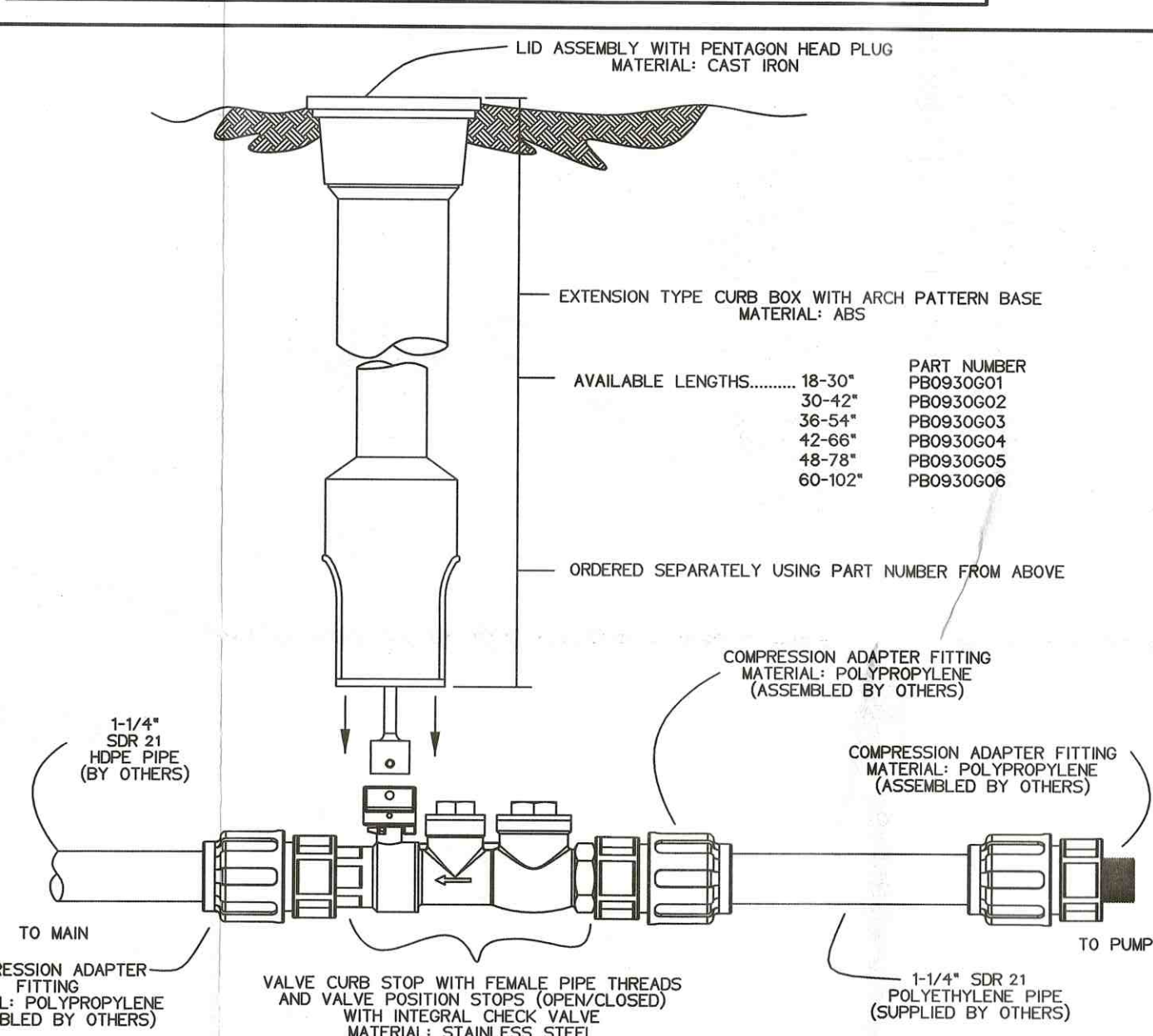
ROOF DRAIN INFILTRATION SYSTEM OVERFLOW DETAIL
NOT TO SCALE



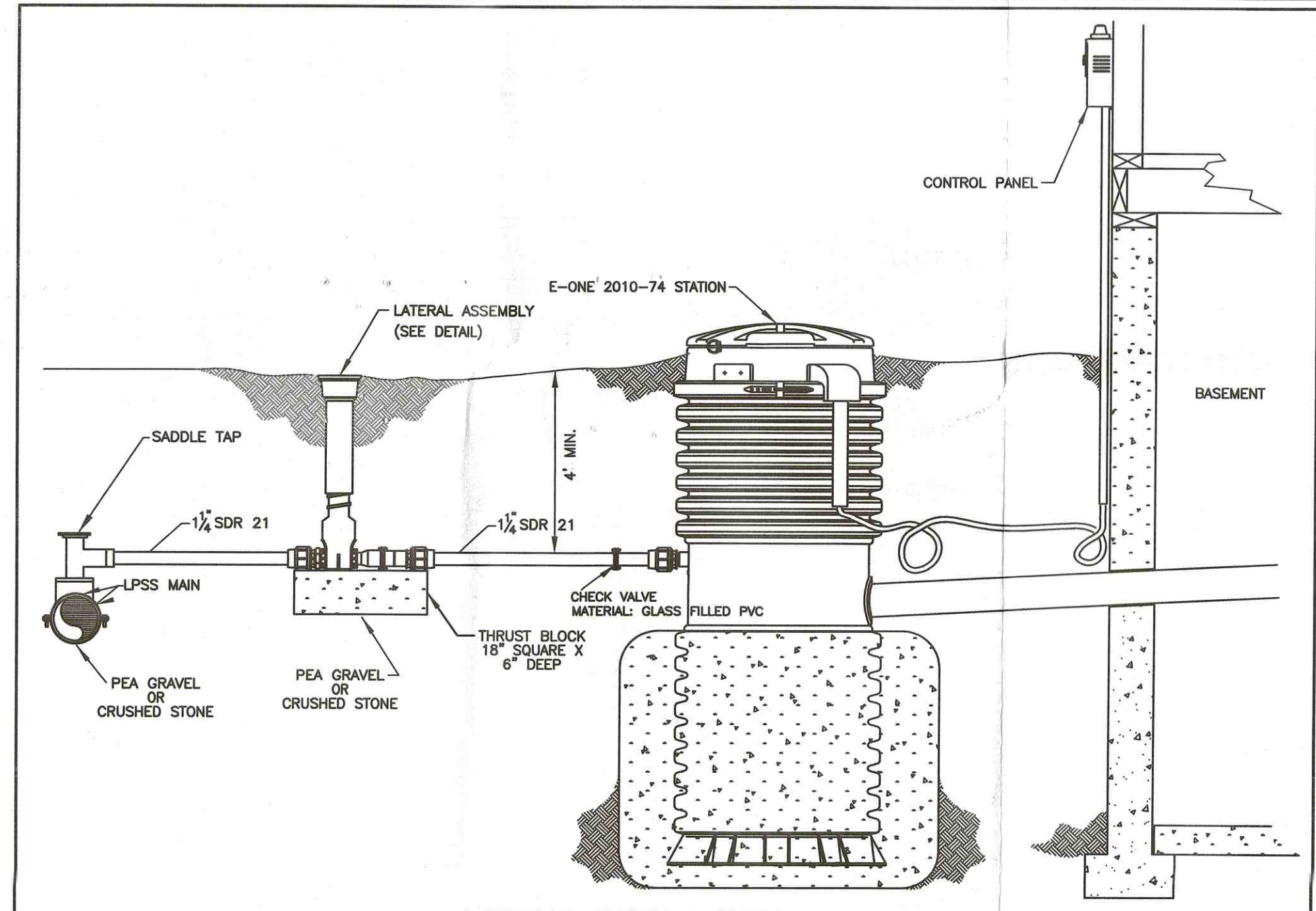
HAY BALE BARRIER DETAIL
NOT TO SCALE



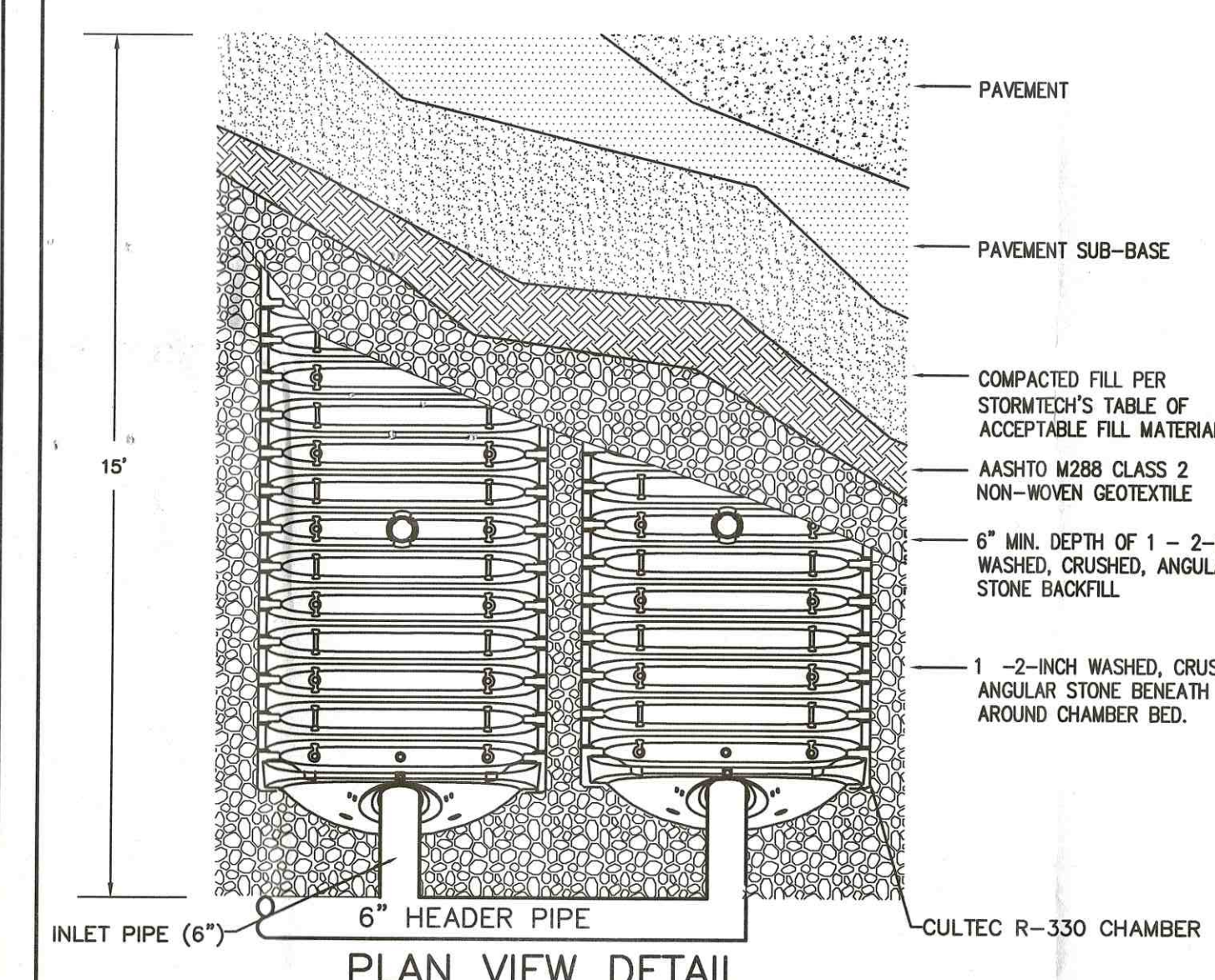
CLEAN-OUT DETAIL
NOT TO SCALE



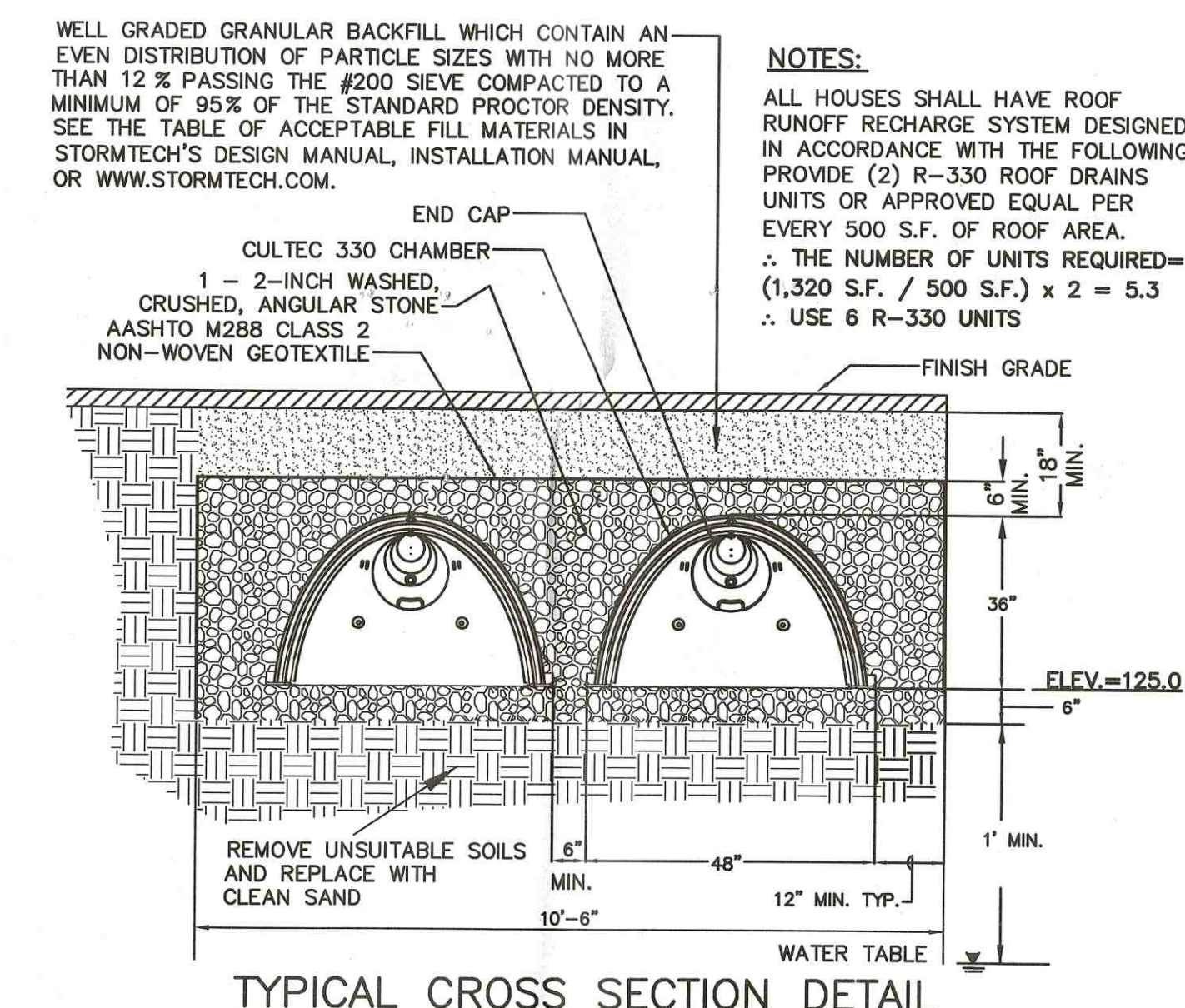
LATERAL ASSEMBLY DETAIL
NOT TO SCALE



LATERAL INSTALLATION
NOT TO SCALE

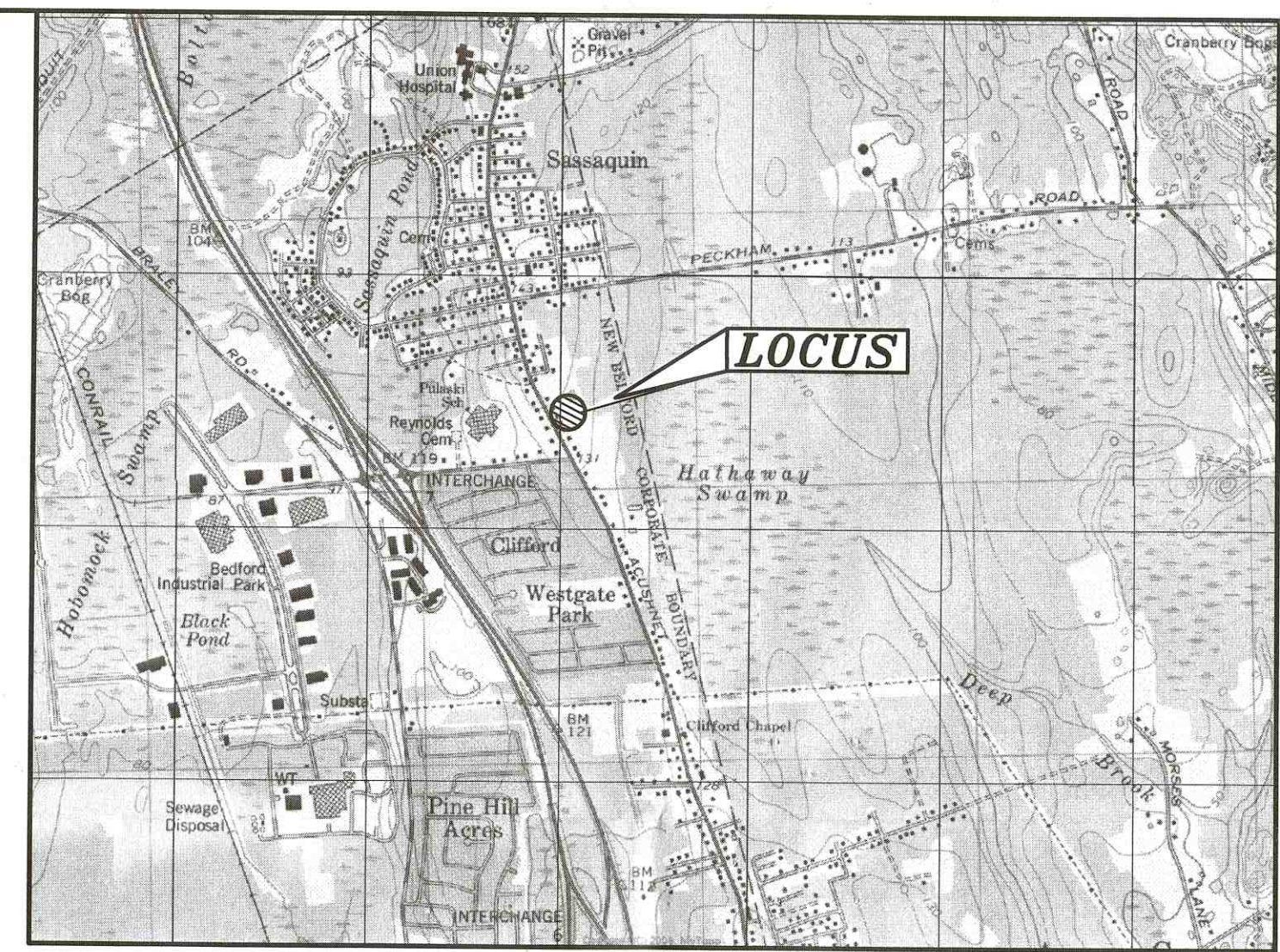


PLAN VIEW DETAIL
NOT TO SCALE



TYPICAL CROSS SECTION DETAIL
NOT TO SCALE

ROOF DRAIN INFILTRATION SYSTEM DETAIL
NOT TO SCALE



LOCUS MAP
NOT TO SCALE

BENCHMARK:

CHISEL "X" IN EASTERLY
BONNET BOLT (STREET SIDE)
OF HYDRANT LOCATED AT THE
INTERSECTION OF ROSA DRIVE
AND ACUSHNET AVENUE.
ELEVATION = 138.09
(CITY OF NEW BEDFORD DATUM)

ZONING REQUIREMENTS:

ZONING DISTRICT — RESIDENCE A (RA)
MINIMUM LOT AREA = 8,000 SQ. FT.
MINIMUM FRONT YARD = 75 FEET
MINIMUM SIDE YARD = 15 FEET
MINIMUM BUILDING COVERAGE = 35% LOT AREA
* — PER 2008 ZONING REQUIREMENTS

GENERAL NOTES:

1. CONTRACTOR SHALL NOTIFY DIG SAFE AT LEAST 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
2. CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF ALL UTILITIES PRIOR TO THE START OF CONSTRUCTION. THESE PLANS ARE BASED ON FIELD AND RECORD INFORMATION AND, THEREFORE, MAY NOT COMPLETELY DEPICT ALL EXISTING UTILITIES.
3. CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER IMMEDIATELY IF FIELD CONDITIONS ARE FOUND TO DIFFER WITH THESE DRAWINGS.
4. THE CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION OF THE ADJACENT AREA AND UTILITIES IN THE CONSTRUCTION OF THIS SITE. REPAIR OF DAMAGED PROPERTY SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AT NO COST TO THE OWNER.
5. THE SITE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETING ALL CONSTRUCTION.
6. ALL WORK SHALL BE IN ACCORDANCE WITH THE DEPARTMENT OF PUBLIC INFRASTRUCTURE CONSTRUCTION SPECIFICATIONS, LATEST REVISION.
7. ALL CONSTRUCTION SHALL COMPLY WITH THE CITY OF NEW BEDFORD DPW STANDARDS.
8. THE PROPOSED CONCRETE SIDEWALK AND DRIVEWAY APRONS MUST MEET CURRENT A.D.A. AND CITY STANDARDS. THE PROPOSED DRIVEWAYS SHALL BE 6" CEMENT CONCRETE WITH 6"x6" GAUGE WIRE MESH.
9. THE CONTRACTOR SHALL NOTIFY THE ENGINEERING DIVISION 24 HOURS IN ADVANCE TO ENSURE THE PROPOSED SIDEWALK AND DRIVEWAY APRONS AND WHEELCHAIR RAMPS WILL MEET THE CURRENT A.D.A. AND CITY OF NEW BEDFORD STANDARDS.
10. PERMITS FOR DRAINAGE, WATER, SIDEWALKS AND DRIVEWAYS MUST BE OBTAINED FROM THE DEPARTMENT OF PUBLIC INFRASTRUCTURE (DPI) ENGINEERING DIVISION BY OWNER.
11. ALL UTILITY WORK TO BE CONDUCTED PER DPI SPECIFICATION.
12. THE DEVELOPER AND SITE CONTRACTOR MUST SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE DEPARTMENT OF PUBLIC INFRASTRUCTURE PRIOR TO START OF CONSTRUCTION.

SITEC
Civil and Environmental Engineering
Land Use Planning

449 Fauce Corner Road
Dorchester, MA 02124
(617) 998-2125
FAX (617) 998-7554

revised: 10-3-17

scale: 1" = 30'

date: 8-23-17

drawn: JPT

checked: SML

approved: SML

project: ASSESSORS MAP 136 LOT 474

client: ROSA DRIVE

client: NEW BEDFORD, MASSACHUSETTS

client: D.P.M. DEVELOPMENT CORP.

drawing title: PLOT PLAN

sheet 1 of 1

drawing number: 13-5613_2S_PP