

SERVICE 33952

NEW BEDFORD WATER WORKS
APPLICATION FOR SERVICE AND METER
NEW BEDFORD

exp 8-4-18

8-4-17

I HEREBY ACKNOWLEDGE the receipt of a copy of the Regulations prescribed in the Ordinance of the City, for the use of Water, and I request that the water may be furnished through a

1 inch copper meter at ROSA Dr (N.S.) 339' ex Acusnet Ave

at such rates as may from time to time be established by the City.

I hereby agree to pay promptly the bill for the Service pipe laid down for my premises, and to pay all dues for water, and I agree to conform to the said Regulations and to all provisions of the Water Ordinances, until written notice is given by me or my agent to cut off the supply.

P: 136
L: 534

Rosa M. M. M.

Dem Development
70 Lamberth St
NB MA 02745

TELEPHONE

Service laid Size and kind of pipe

From St.

Turned on Meter Set

Reading Location

Building rates Paid

Cost of Service Paid

31-727

\$500.00 check # 7115

X

RReo

Rosa Drive Ns 339' E x Acushnet Ave

P.136 L.532

1" Copper Service 07/26/2017

RJ Canessa (Contractor)

E x E Line Acushnet Ave 246.0'

S x N Line Rosa Drive 17.6'

W x E Line House 28.5'

E x E Line House 30.0'

S x S Line House 46.5'

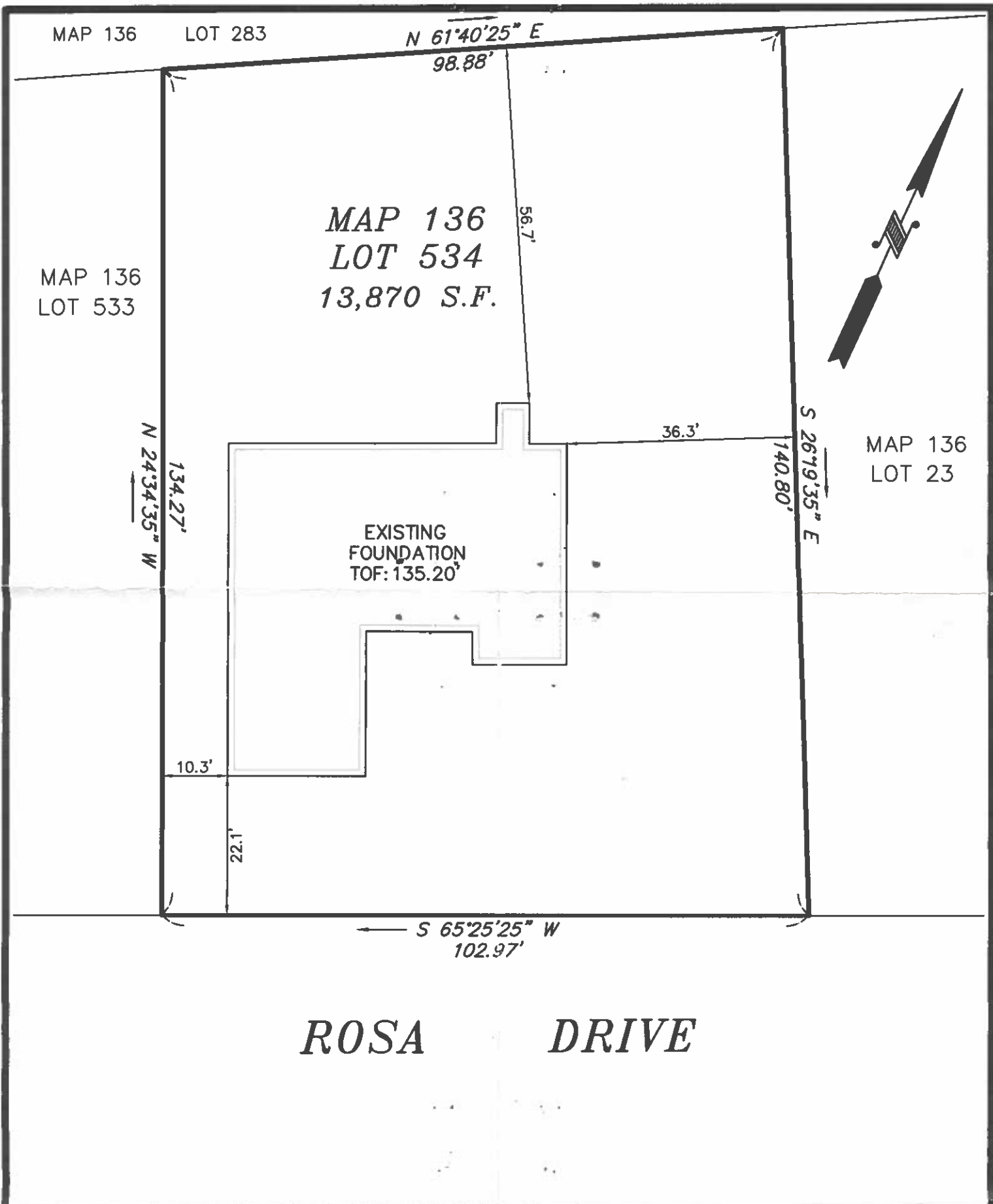
Main to Prop Line 44.0'

Pipe Inside Property 33.0'

Inspector: P. Reynolds

wrong measurements

~~Rosa Monis~~
picked up couplings
9/14/12



MAP 136

LOT 283

N 61°40'25" E

98.88'

56.7'

MAP 136

LOT 534

13,870 S.F.

MAP 136

LOT 533

N 24°34'35" W

134.27'

EXISTING
FOUNDATION
TOF: 135.20'

36.3'

S 26°19'35" E

140.80'

MAP 136
LOT 23

10.3'

22.1'

S 65°25'25" W
102.97'

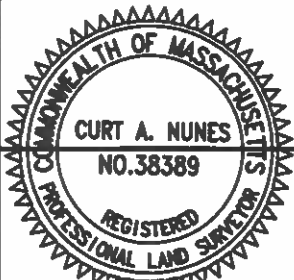
ROSA DRIVE

AS BUILT FOUNDATION PLAN - MAP 136 LOT 534

ROSA DRIVE

IN

NEW BEDFORD, MA



I CERTIFY THAT THE FOUNDATION SHOWN
HEREON, AS BUILT, CONFORMS TO THE CITY
OF NEW BEDFORD ZONING SETBACK
REQUIREMENTS.

PROFESSIONAL LAND SURVEYOR

DATE

08/02/17

DATE: AUGUST 2, 2017

SCALE: 1" = 20'

ROMANELLI ASSOCIATES INC.

PROFESSIONAL LAND SURVEYORS

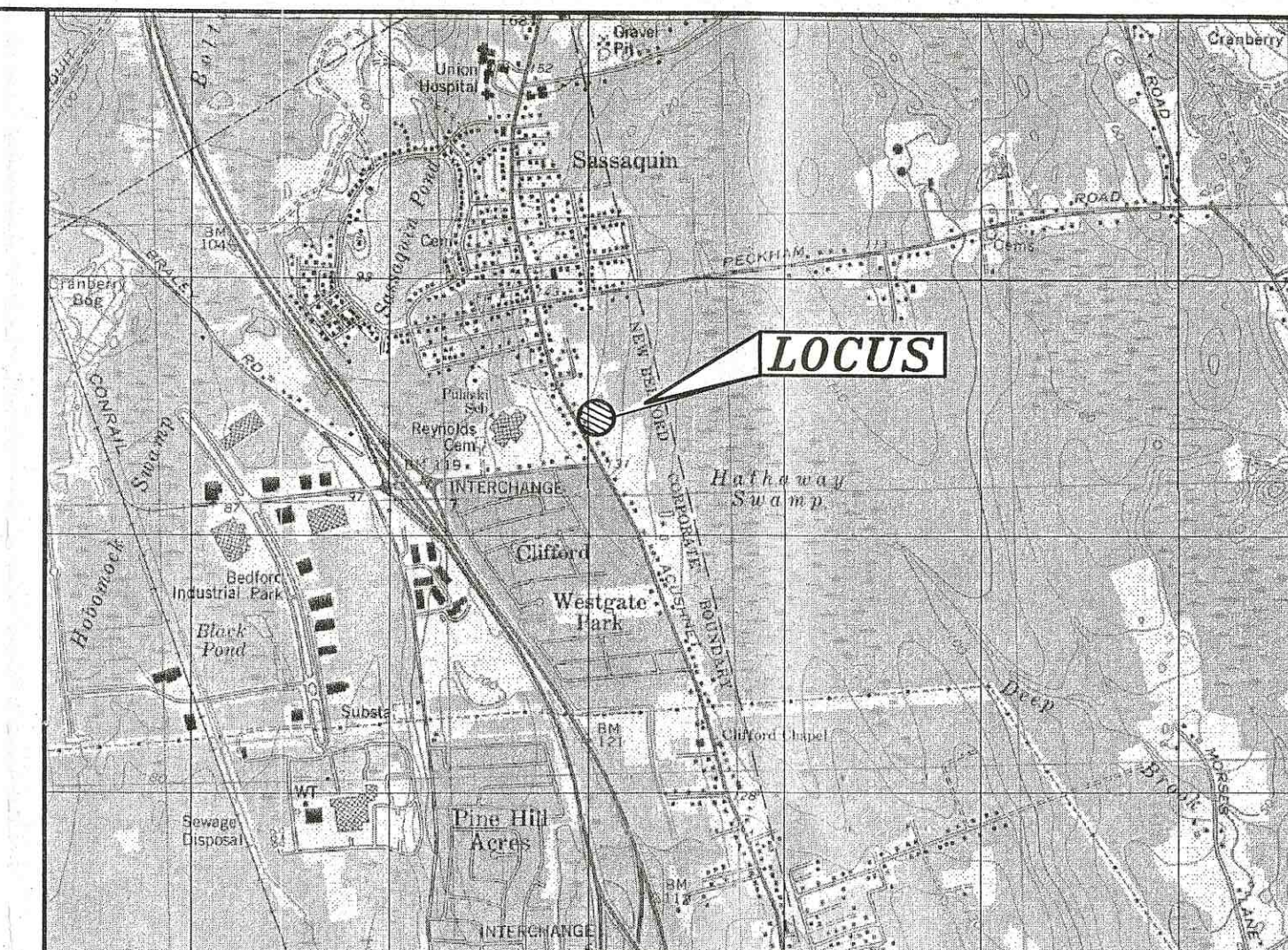
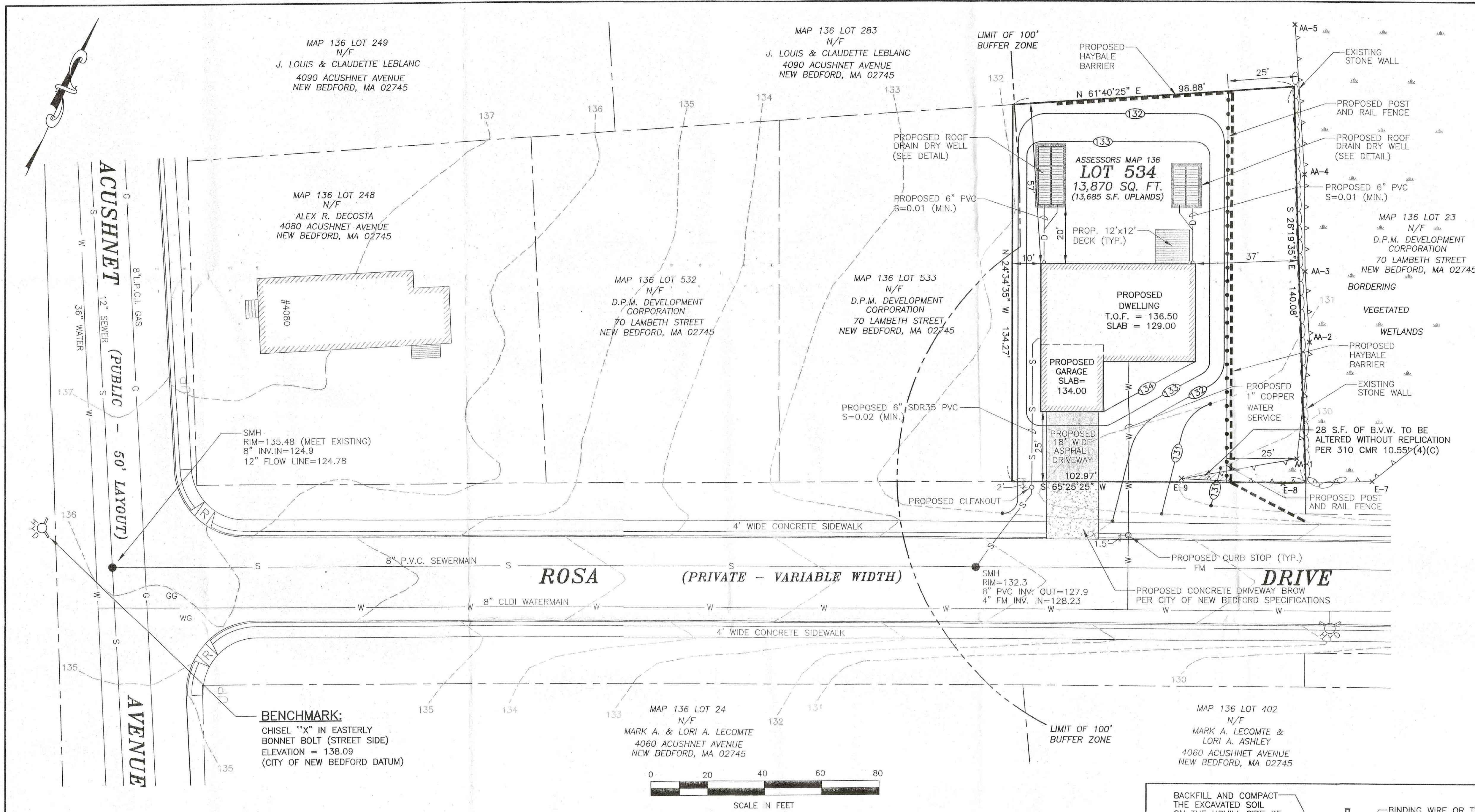
1162 Rockdale Ave. New Bedford, MA 02740

Phone (508) 995-0100 - (508) 995-6678

WWW.ROMANELLI-INC.COM



JN 16-088



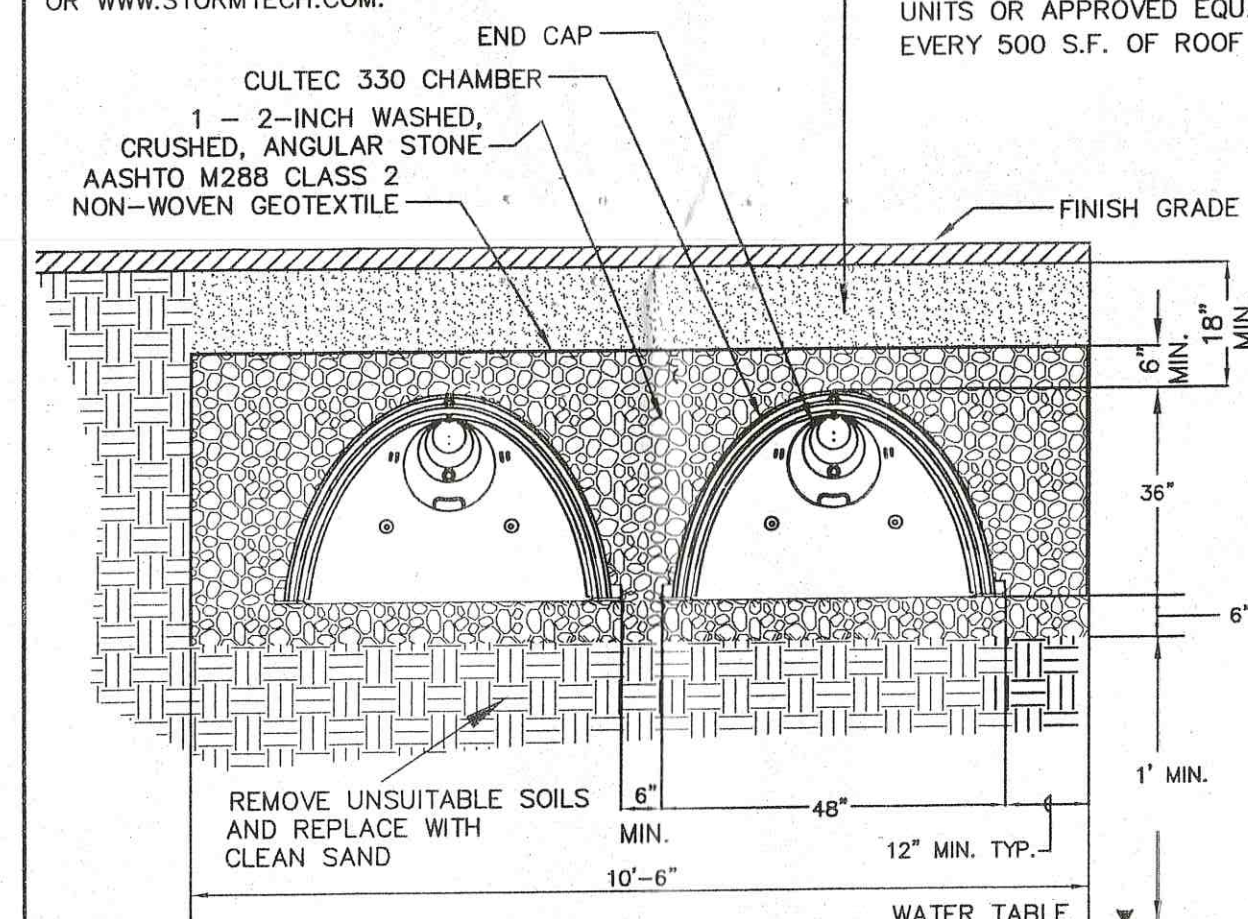
GENERAL NOTES:

- CONTRACTOR SHALL NOTIFY DIG SAFE AT LEAST 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
- CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF ALL UTILITIES PRIOR TO THE START OF CONSTRUCTION. THESE PLANS ARE BASED ON FIELD AND RECORD INFORMATION AND, THEREFORE, MAY NOT COMPLETELY DEPICT ALL EXISTING UTILITIES.
- CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER IMMEDIATELY IF FIELD CONDITIONS ARE FOUND TO DIFFER WITH THESE DRAWINGS.
- THE CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION OF THE ADJUTING AREA AND UTILITIES IN THE CONSTRUCTION OF THIS SITE. REPAIR OF DAMAGED PROPERTY SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AT NO COST TO THE OWNER.
- THE SITE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETING ALL CONSTRUCTION.
- ALL WORK SHALL BE IN ACCORDANCE WITH THE DEPARTMENT OF PUBLIC INFRASTRUCTURE CONSTRUCTION SPECIFICATIONS, LATEST REVISION.
- ALL CONSTRUCTION SHALL COMPLY WITH THE CITY OF NEW BEDFORD DPW STANDARDS.
- THE PROPOSED CONCRETE SIDEWALK AND DRIVEWAY APRONS MUST MEET CURRENT A.D.A. AND CITY STANDARDS. THE PROPOSED DRIVEWAYS SHALL BE 6" CEMENT CONCRETE WITH 6"x6" GAUGE WIRE MESH.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEERING DIVISION 24 HOURS IN ADVANCE TO ENSURE THE PROPOSED SIDEWALK AND DRIVEWAY APRONS AND WHEELCHAIR RAMPS WILL MEET THE CURRENT A.D.A. AND CITY OF NEW BEDFORD STANDARDS.
- PERMITS FOR DRAINAGE, WATER, SIDEWALKS AND DRIVEWAYS MUST BE OBTAINED FROM THE DEPARTMENT OF PUBLIC INFRASTRUCTURE (DPI) ENGINEERING DIVISION BY OWNER.
- ALL UTILITY WORK TO BE CONDUCTED PER DPI SPECIFICATION.
- THE DEVELOPER AND SITE CONTRACTOR MUST SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE DEPARTMENT OF PUBLIC INFRASTRUCTURE PRIOR TO START OF CONSTRUCTION.

WELL GRADED GRANULAR BACKFILL WHICH CONTAIN AN EVEN DISTRIBUTION OF PARTICLE SIZES WITH NO MORE THAN 12% PASSING THE #200 SIEVE COMPACTED TO A MINIMUM OF 95% OF THE STANDARD PROCTOR DENSITY. SEE THE TABLE OF ACCEPTABLE FILL MATERIALS IN STORMTECH'S DESIGN MANUAL, INSTALLATION MANUAL, OR WWW.STORMTECH.COM.

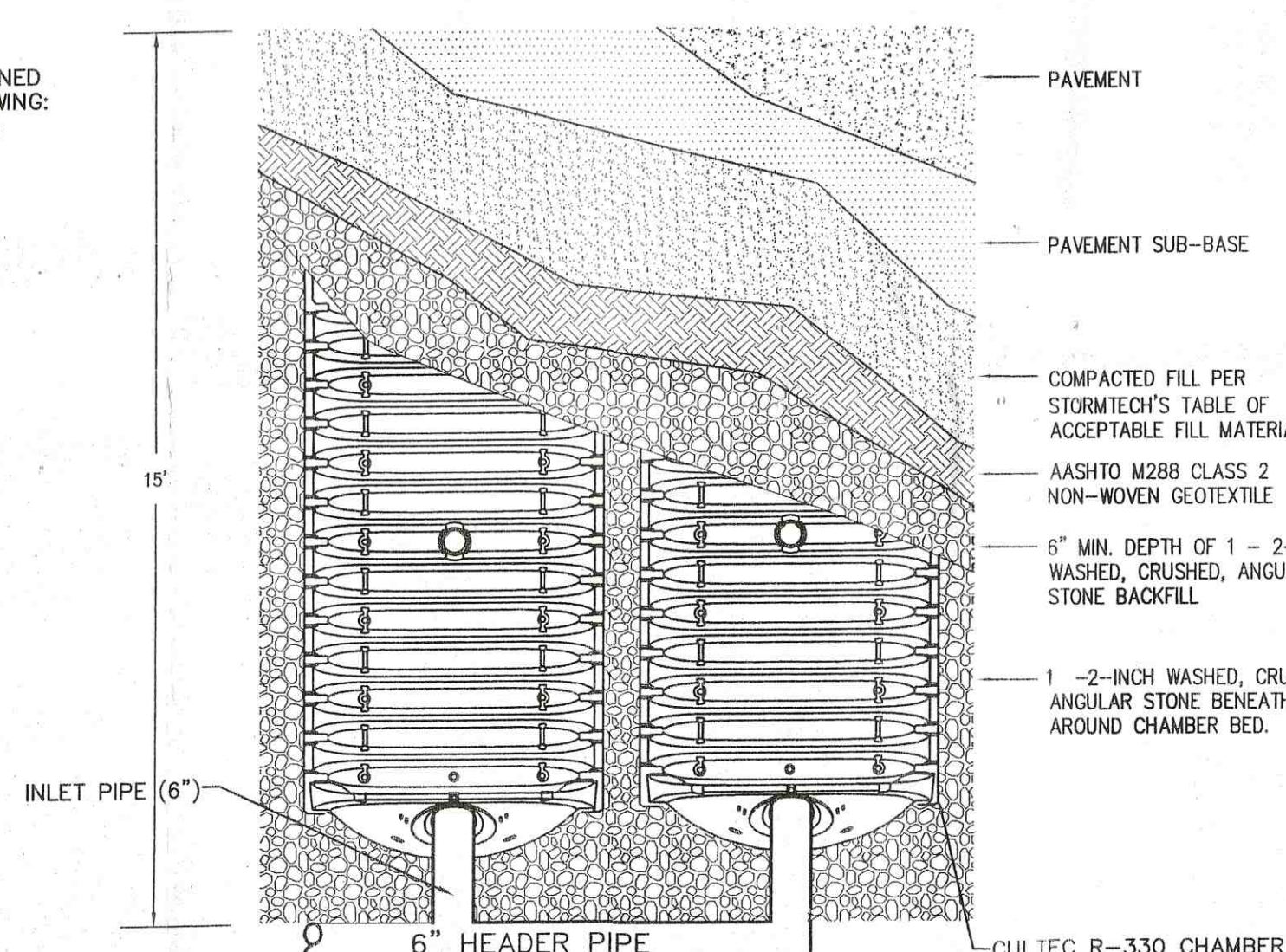
NOTES:

ALL HOUSES SHALL HAVE ROOF RUNOFF RECHARGE SYSTEM DESIGNED IN ACCORDANCE WITH THE FOLLOWING: PROVIDE (2) R-330 ROOF DRAIN UNITS OR APPROVED EQUAL PER EVERY 500 S.F. OF ROOF AREA.



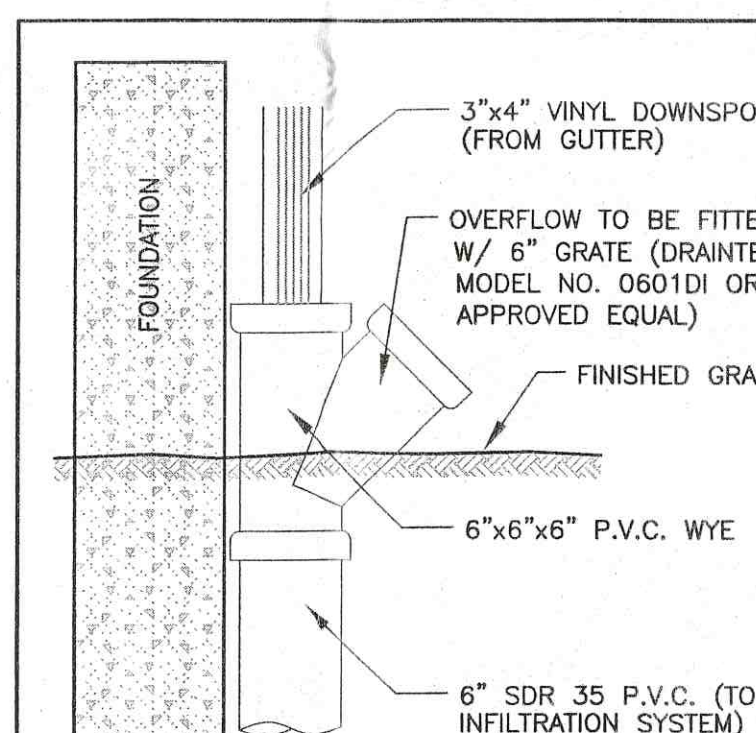
ROOF DRAIN INFILTRATION SYSTEM DETAIL

NOT TO SCALE



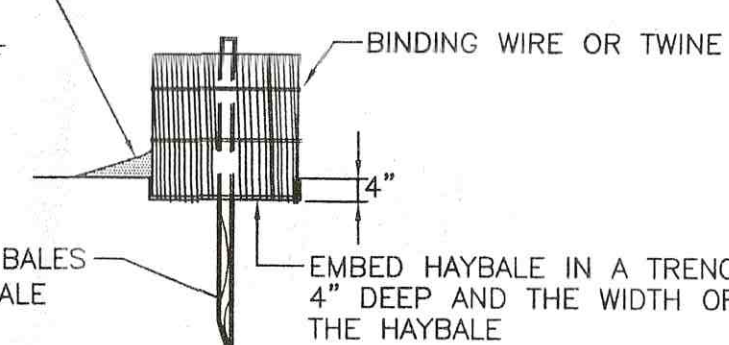
ZONING REQUIREMENTS:

ZONING DISTRICT -- RESIDENCE A (RA)
MINIMUM LOT AREA = 8,000 SQ. FT.
MINIMUM FRONTAGE = 75 FEET
MINIMUM FRONT YARD = 20 FEET
MINIMUM SIDE YARD = 8 AND 12 FEET
MAXIMUM BUILDING COVERAGE = 35% LOT AREA



NOT TO SCALE

BACKFILL AND COMPACT THE EXCAVATED SOIL ON THE UPHILL SIDE OF THE BARRIER



LEGEND

EDGE OF WETLANDS	TREE LINE
E-9	TREE
X	LIGHT POST
ET&C	GAS LINE
DRAIN LINE	T- TELEPHONE LINE
S- SEWER LINE	T.P.#2
W- WATER MAIN	X X X
UTILITY POLE	DMH
HYDRANT	CB
FM- FORCE MAIN	SMH
PROPERTY LINE	STOCKADE FENCE
EDGE OF BUILDING	DRAIN MANHOLE
EXISTING CONTOUR	CATCH BASIN
PROPOSED CONTOUR	DRAIN MANHOLE
	SILT FENCE
	EDGE OF DITCH

SITEC

Civil and Environmental Engineering
Land Use Planning

449 Fausse Corner Road
Dorchester, MA 02747
(508) 998-2125
FAX (508) 998-7554

project: ASSESSORS MAP 136 LOT 534
ROSA DRIVE
NEW BEDFORD, MASSACHUSETTS

client: D.P.M. DEVELOPMENT CORP.

drawing title: PLOT PLAN

revised: 6-20-17
6-12-17

scale: 1" = 20'

date: 5-22-17

drawn: JPT

checked: SML

approved: SML

signature

sheet 1 of 1
drawing number: 13-5613_3A_PP