

SERVICE 33888

-F.S.

NEW BEDFORD WATER WORKS

4/22/17

APPLICATION FOR SERVICE AND METER

NEW BEDFORD

4/22/16

I HEREBY ACKNOWLEDGE the receipt of a copy of the Regulations prescribed in the Ordinance of the City, for the use of Water, and I request that the water may be furnished through a

2" inch Fine Supply meter at 120 - 122 Oakdale St:

(Rockdale West Apartments)

at such rates as may from time to time be established by the City.

I hereby agree to pay promptly the bill for the Service pipe laid down for my premises, and to pay all dues for water, and I agree to conform to the said Regulations and to all provisions of the Water Ordinances, until written notice is given by me or my agent to cut off the supply.

P. 74

\$ 67.69.95

(Rockdale West Apartments)

Michael Phillips

Ken

x. Roger S. Smith

50 French St. Rehoboth MA

Pond View Excavating

TELEPHONE 401-438-3500

Service laid Size and kind of pipe

From St.

Turned on Meter Set

Reading Location

Building rates Paid

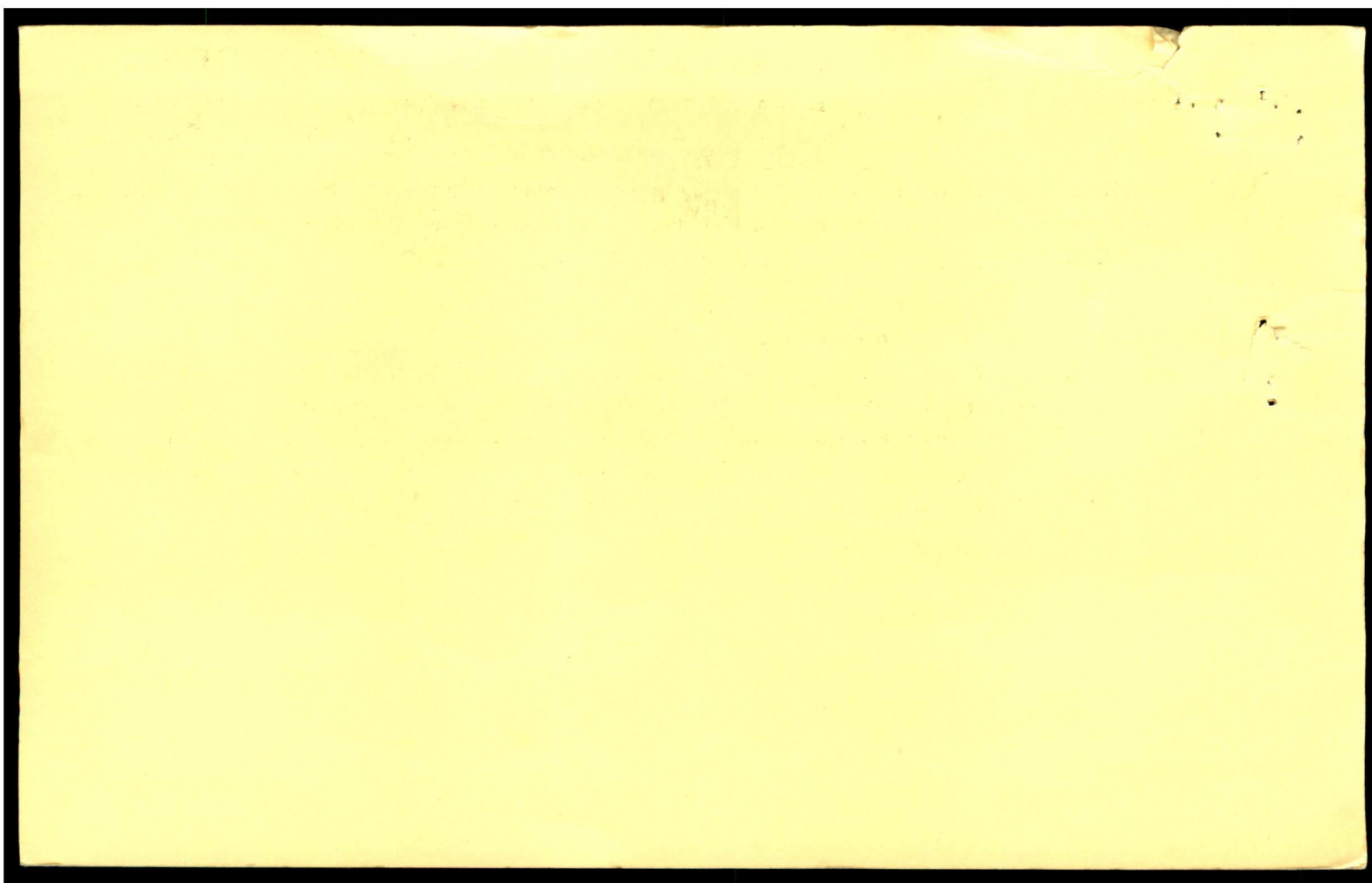
Cost of Service Paid

31-727

\$465.00

CHK # 25907

✓



DISPLAY PERMIT IN A CONSPICUOUS PLACE ON THE PREMISES



Commonwealth of Massachusetts

City of New Bedford

133 William Street New Bedford, MA 02740

WATER SERVICE PERMIT



Date: 8/17/2016

No. **W-16-6**

Permit Fee: \$465.00

Service Location: 120- OAKDALE ST

Owner Name: ROCKDALE WEST LLC

Owner Phone #: (401) 438-3000

Type of Occupancy: Residential

Type of Work: Water - Fire Supply New 2"

Work Description: 2" FIRE SUPPLY
PERMIT#33888FS

P74 L67,69,95

DUCTILE IRON

SS OAKDALE 220' EX CARRIAGE DRIVE

Contractor

Name: _____ Certificate #: _____ Type of Business : _____

Address: _____ City/Town/State: _____ Phone #: _____

Type of Service

Pipe Size

Trench Length:

0.00

Fire Service

Domestic Service

Estimated consumption of water

Estimated average daily consumption 0.00 gallons

Cross Connection? **No**

Estimated maximum day consumption 0.00 gallons

Right of Way? **No**

Are lawn sprinklers and/or lawn irrigation proposed on site? **No**

Meter Impact? **No**

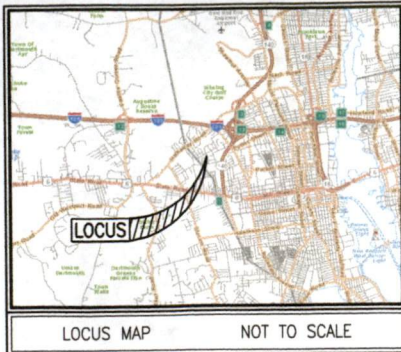
Estimated fire flows required for the project site: 0.00

Street Opening Permit Required? **No**

Does the project require a fire suppression system? **No**

Required minimum static pressure for the proposed project site 0.00

Call Phone: (781) 942-9077 For Inspection



CARRIAGE
(PUBLIC ~ 50' WIDE)

DRIVE

OAKDALE

(PUBLIC ~ 50' WIDE)

STREET

Existing 1/2 Domestic

Proposed 2" Fire

Subject Property

#120 - #122
(BURNED BUILDING TO BE RAZED)
3,055 S.F. FOOTPRINT

#128 - #130

MAP 74 ~ LOT 65

EXISTING PARKING

MAP 74 ~ LOT 66

MAP 74 ~ LOT 67

MAP 74 ~ LOT 71

MAP 74 ~ LOT 143

MAP 74 ~ LOT 69

MAP 74 ~ LOT 95

MAP 74 ~ LOT 54

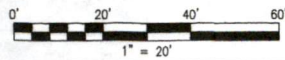
MAP 74 ~ LOT 73



120-122 Oakdale St
MAP 74, LOTS 67, 68, & 75

NOTES:

1. TOPOGRAPHIC AND PROPERTY LINE SURVEY PERFORMED BY KENNETH R. FERREIRA ENGINEERING



RECORD OWNER:
ASSESSORS MAP 74, LOTS 67, 1
ROCKDALE WEST, LLC
c/o CLAREMONT COMPANIES
ONE LAKESHORE CENTER
BRIDGEWATER, MA
BOOK 4269, PG. 350

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NEW BEDFORD 4/22/16

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P. 74
J. 67. 69. 95
(Rockdale West Apartments)
Michael Phillips
Ken
50 French St. Rehoboth MA
Pond View Excavating

TELEPHONE 401-438-3000

Service laid Size and kind of pipe

From St.

Turned on Meter Set

Reading Location

Building rates Paid

Cost of Service \$465.00 CHK #25907 Paid



Department of Public Infrastructure

Ronald H. Labelle
Commissioner

Water
Wastewater
Highways
Engineering
Cemetery

CITY OF NEW BEDFORD

Jonathan F. Mitchell, Mayor

To Whom It May Concern:

I Michael J. Phillips 42 West Hill Road New Bedford, Mass 02740, being
(Name) (Mailing Address)

Owner of property located at

*signing as an agent for The
Clement Company Owners
of 120/122 Oakdale*

Panel + Map 074
120/122 Oakdale St

Plot _____, Lot X 1-66-95, hereby agree to allow Pond View Excavating
(Name)

50 French St Rehoboth, ma, to act on my behalf including affixing my
(Mailing Address)

signature in securing permit for:

☐ Sewer/Drain Service Permits
☒ Water Service Permits
☐ Driveway Installation Permits
☐ Sidewalk Installation Permits

I further agree to conform to, and abide by, All City rules and ask regulations applicable to the permit (s) being applied for:

Name Kenneth J. Selby
Signature

50 French St
Address

4-17-16 401-438-3000
Date Telephone number



Commonwealth of Massachusetts
Department of Public Safety

Hoisting Engineer

License: **HE-056068**

Keith J Foley
53 French Street
Rehoboth MA 02769



Thomas J. Kelly
Commissioner

Expiration:
06/10/2016

Permit on lot
to fill site plan
is Revised to DFI
Standards

4/20/16

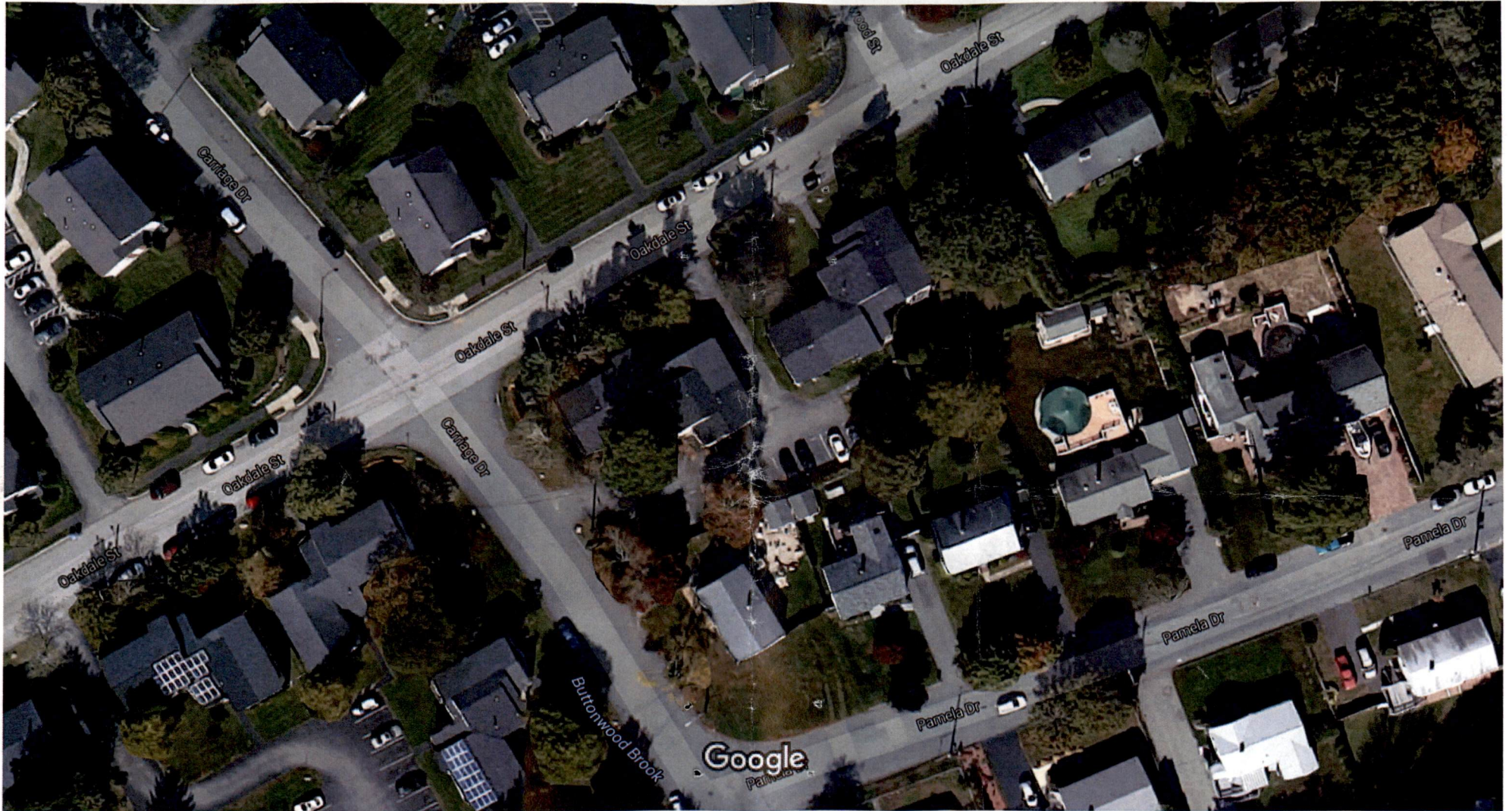
This Building

water



TO: BO
TITLE II
AND BE

I HEREBY
THE UNDE





Engrg.

TB-15-1926

Oakdale St. (S.S.) 220' E. x Carriage Dr.

Map 74/Lots 68 & 95

Reviewed 10/19/2015

NOTE: The land on which this duplex is being proposed is made up of 2 independent lots (D.P.I. is not aware of any plan being recorded at the Registry of Deeds combining these parcels). The 2 parcels are also zoned different (Lot 68 is Res. B and Lot 95 is Res. A).

Requirements to be met by Owner/Developer for this project:

- 1.) The site plan presently in the View Permit system dated 9/9/2015 was not approved by D.P.I. The plan was revised to reflect changes required by D.P.I. and resubmitted to D.P.I. with a revision date of 10/14/2015, but the resubmitted plan still contains errors. The proposed locations of the water shut offs (which should be within the sidewalk area at 1.5' from the curb, not in the street) and the width of the 2 proposed driveway aprons (which are all wider than the allowed maximum width of 18') must be revised before the owner/representative/agent pulls permits at D.P.I. The owner is responsible for making the building inspector aware of plan revisions and providing the revised version to Inspectional Services.
- 2.) Must provide 3 copies of "REVISED" final site plan at the time of applying for permits (see #1), showing all information required by D.P.I. (i.e. existing conditions and proposed grading/utilities [proposed water, sewer/storm drain (recharge structure) and driveway]) AND reflecting any revisions required by other Departments. A copy of the foundation permit and "stamped" foundation as-built plan must also be submitted. Any representative/agent pulling permits on behalf of the owner must provide D.P.I. with a permission slip. If property was acquired within the past 3 months, then the new owner must provide a copy of the recorded deed showing property ownership.
- 3.) Must contact D.P.I.-Engineering to measure for building number (address) once front door is framed. The C.O. will not be signed unless the legal address assigned by the City is permanently affixed to, above, or next to, the entrance to which it was assigned such that it is highly visible from the street.

Please note the following:

- a.) Any new mains installed must be inspected, tested (witnessed by a D.P.I. inspector), and approved for connection prior to D.P.I. issuing permits for service connections. Installer is responsible for meeting minimum required vertical and horizontal separation for water and sewer. D.P.I. requires that the as-built for all utilities installed within the roadway must be submitted prior to signing off on any C.O. for new buildings constructed.
- b.) The integrity of any previously existing water and/or sewer service being re-utilized must be determined, and said testing witnessed by a D.P.I. inspector, prior to connection. The owner/developer assumes all responsibility of re-utilizing said service(s). Contractor is responsible for meeting minimum required vertical and horizontal separation for water and sewer services.
- c.) The maximum width allowed for any residential driveway opening is 18'. Any other pre-existing curb cuts along perimeter of property will have to be closed.

SR-D.P.I. Engrg.

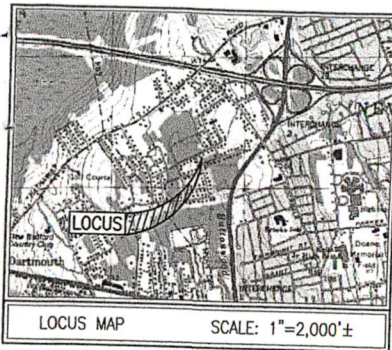
RE: TB-15-1924
Oakdale St. (S.S.) 148' E. x Carriage Dr.
Map 74/Lot 67
Reviewed 10/19/2015

Requirements to be met by Owner/Developer for this project:

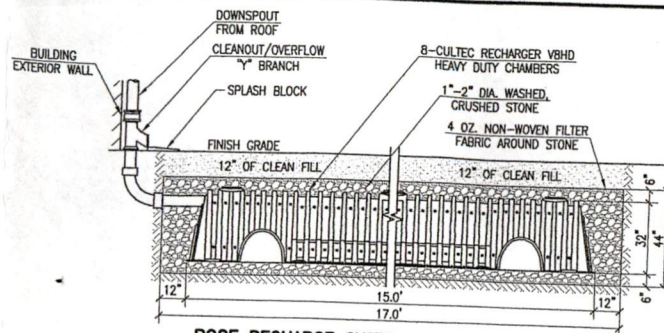
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*no calcs. for
sewer system?
put it all in it!*



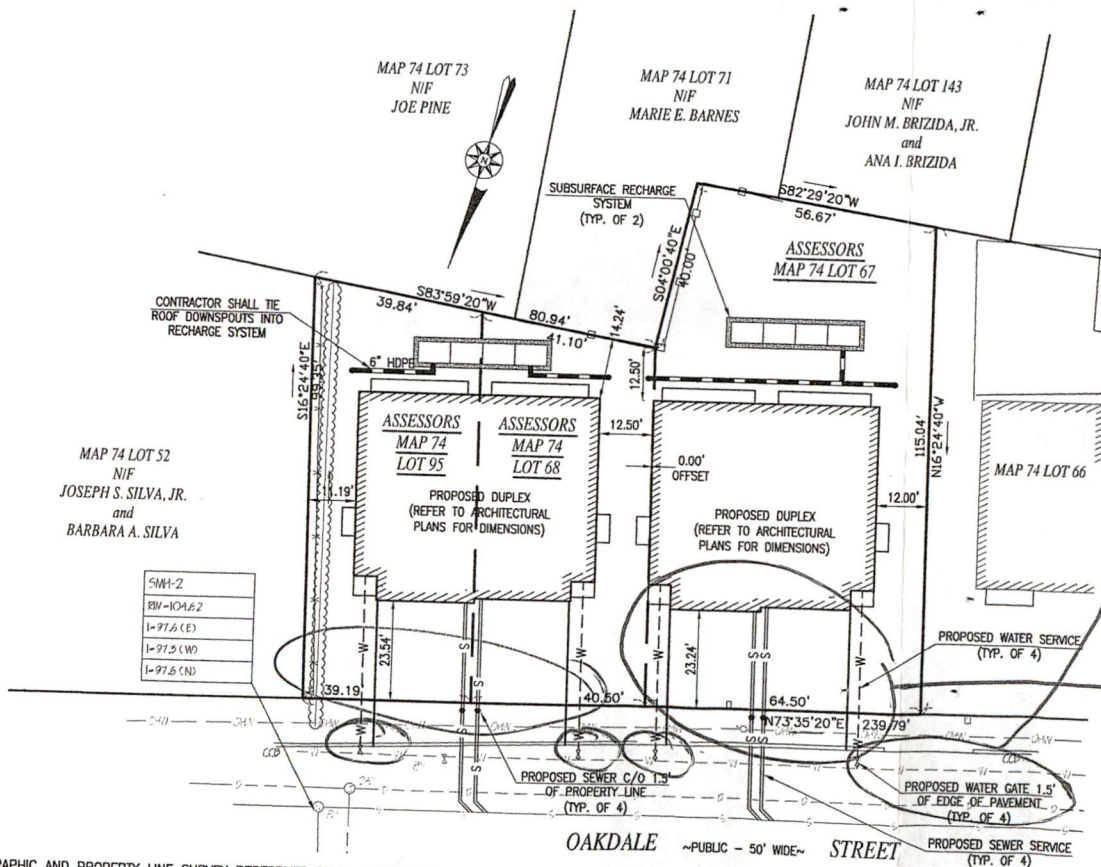
ROOF RECHARGE SYSTEM

NOT TO SCALE

*Needs to
be corrected
on plan owner
brings to DPT.
to pull permits!*

*W50 skid off?
(with skid off?
11' from curb
in sidewalk)*

*Joining old brow?
(18' max covering)*

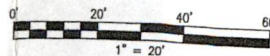


NOTES:

1. TOPOGRAPHIC AND PROPERTY LINE SURVEY PERFORMED BY THOMPSON FARLAND, INC.
2. VERTICAL ELEVATIONS REFER AN ASSUMED DATUM.
3. CONTRACTOR SHALL REFER TO DEPARTMENT OF PUBLIC INFRASTRUCTURE SPECIFICATIONS.

FLOOD NOTE:

BY GRAPHIC PLOTTING ONLY, THE PROPERTY DEPICTED ON THIS PLAN FALLS IN ZONE X, AS SHOWN ON THE FLOOD INSURANCE RATE MAP 25005C0389F WITH AN EFFECTIVE DATE OF 7-07-2009.



RECORD OWNER:

ASSESSORS MAP 74, LOTS 67, 68, & 95
ROCKDALE WEST, LLC
c/o CLAREMONT COMPANIES
ONE LAKESHORE CENTERSTATE
BRIDGEWATER, MA 02324
BOOK 4269, PAGE 350

BUILDING PERMIT PLAN
120-122 OAKDALE STREET

ASSESSORS MAP 74, LOTS 67, 68, & 95
NEW BEDFORD, MASSACHUSETTS

PREPARED FOR:
CLAREMONT CORPORATION
LAKESHORE CENTER
BRIDGEWATER, MASSACHUSETTS 02324

OCTOBER 14, 2015

SCALE: 1"=20'

JOB NO. 15-802

SHEET, 1 OF 1

THOMPSON FARLAND
PROFESSIONAL ENGINEERS // LAND SURVEYORS
www.ThompsonFarland.com
(MAIN OFFICE) 388 COUNTY STREET, NEW BEDFORD, MA 02740
NEW BEDFORD | TAUNTON | CLAREMONT

DRAWN BY: ***
DESIGNED BY: ***
CHECKED BY: CAF