



PERMIT NO.

24585

CITY OF NEW BEDFORD
SEWER AND/OR STORM DRAIN PERMIT

DATE

5/30/18

This certifies that permission is granted to

Property Owner

Address

Tel.

To connect a sewer and/or storm drain located at

Assessor's Plot 130A Lot 22C, to the sewer and/or storm drain in Street

To be laid in accordance with the conditions in this application and the City of New Bedford ordinances.

TYPE OF USE: RESIDENTIAL COMMERCIAL INDUSTRIAL FLOW G.P.D.

If applicant other than actual property owner, attach Letter of Authorization from Property Owner.

Name

Tel.

Mailing Address

The Bonded Contractor/Drain Layer authorized to perform this work is:

Name

Address

Tel.

Type of Pipe Required:

PERMIT EXPIRES ONE YEAR AFTER DATE OF ISSUE

- Requires separate connections for sewage and storm drain where applicable. Storm water cannot be discharged to a sanitary sewer.
- All work must be inspected and approved by a D.P.I. inspector before backfilling.
- If this connection is to be part of a private service shared jointly with other building owners, attach copy of Recorded Joint Maintenance Agreement.
- Permits can be issued to Industrial and/or Commercial Applicants only upon receipt and approval by the Commissioner of Public Infrastructure of required plans and supplemental information.
- In addition, a City-issued Industrial User Discharge Permit and/or a Sewer Extension/Connection Permit issued by the Commonwealth of Massachusetts D.E.P. shall be required by the City for Industrial Discharge into the sewer system.

Industrial User Discharge Permit No. Date

Comm. Mass. Sewer Conn./Ext. Permit No. Date

A Filing and Inspection Fee of \$150, plus an Entrance Fee of \$ where applicable, must accompany this application.

Bank# C.C. Check# VISACARD Date 5/30/18 Receipt# 1701609

Other requirements:

Connection made to Sewer Part of jointly-shared private line YES NO
Storm Drain

Applicant agrees to abide by the above terms, as well as all pertinent ordinances of the City of New Bedford, and such other special rules as the Commissioner of Public Infrastructure and/or City Engineer may deem necessary

City Engineer

Signature of Property Owner or Representative

INSPECTOR'S REPORT

INSPECTED BY: SEE INSPECT SHEET

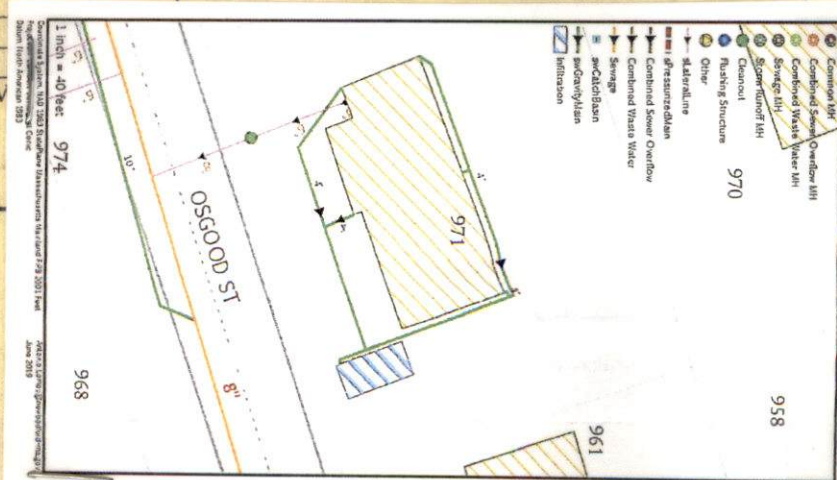
DATE:

COMMENTS:

APPROVED

DISAPPROVED

SIGNATURE



PERMIT NO.

24585



CITY OF NEW BEDFORD
SEWER AND/OR STORM DRAIN PERMIT

DATE

5/30/18

This certifies that permission is granted to

Rigsley Jacklyn Daniel Wainbourn 971 Osgood St.

Property Owner

Address

Tel.

To connect a sewer and/or storm drain located at 971 Osgood St (n.s) 305' E x Acushnet Ave.

Assessor's Plot 130A Lot 220, to the sewer and/or storm drain in Street

To be laid in accordance with the conditions in this application and the City of New Bedford ordinances.

TYPE OF USE: RESIDENTIAL COMMERCIAL INDUSTRIAL FLOW G.P.D.

If applicant other than actual property owner, attach Letter of Authorization from Property Owner.

Name

Tel.

Mailing Address

The Bonded Contractor/Drain Layer authorized to perform this work is:

Name

Rathanyl Gomes

Address

301 Bonney St.

Tel.

5089983901

Type of Pipe Required:

PVC

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Industrial User Discharge Permit No. Date

Comm. Mass. Sewer Conn./Ext. Permit No. Date

A Filing and Inspection Fee of \$450, plus an Entrance Fee of \$ where applicable, must accompany this application.

Bank#

C.C.

Check#

VISAcard

Date

5/30/18

Receipt#

1701600

Other requirements:

Connection made to

Sewer

Part of jointly-shared private line

YES

NO

Storm Drain

Applicant agrees to abide by the above terms, as well as all pertinent ordinances of the City of New Bedford, and such other special rules as the Commissioner of Public Infrastructure and/or City Engineer may deem necessary

Signature of City Engineer

City Engineer

Engineering Supervisor

Signature of Property Owner or Representative

Signature of Property Owner or Representative

INSPECTOR'S REPORT

INSPECTED BY:

DATE:

COMMENTS:

APPROVED

DISAPPROVED

SIGNATURE

SKETCH PLAN



PERMIT NO.

CITY OF NEW BEDFORD
SEWER AND/OR STORM DRAIN PERMIT

DATE 5/30/19

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Property Owner

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Tel.

To connect a sewer and/or storm drain located at

Assessor's Plot Lot, to the sewer and/or storm drain in Street

To be laid in accordance with the conditions in this application and the City of New Bedford ordinances.

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Name Tel.

Mailing Address

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Name Address Tel.

Type of Pipe Required:

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- Industrial User Discharge Permit No. Date

Comm. Mass. Sewer Conn./Ext. Permit No. Date

A Filing and Inspection Fee of \$, plus an Entrance Fee of \$, where applicable, must accompany this application.

Bank# Check# Date Receipt#

Other requirements:

Connection made to Sewer Part of jointly-shared private line YES NO
Storm Drain

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City Engineer

Signature of Property Owner or Representative

INSPECTOR'S REPORT

INSPECTED BY: SEE INSPECT SHEET

DATE:

COMMENTS:

APPROVED

DISAPPROVED

SIGNATURE

SKETCH PLAN

MAP 130A
LOT 217

MAP 130A
LOT 229

MAP 130A
LOT 218

LOT 230

MAP 130A LOT 220
8,000 S.F.

EXISTING
FOUNDATION
TOF: 101.45'

OSGOOD

(PUBLIC - 40' WIDE)

STREET

OWNER

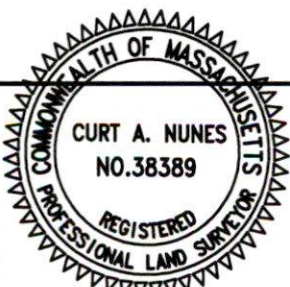
Daniel Washburn & Jaclyn
Pugsley
971 Osgood Street
New Bedford, MA 02745

AS-BUILT FOUNDATION PLAN

971 OSGOOD STREET

IN

NEW BEDFORD, MA



THIS PLAN IS BASED ON AN INSTRUMENT
SURVEY PERFORMED BY ROMANELLI
ASSOCIATES, INC. ON 03/12/18.

PROFESSIONAL LAND SURVEYOR

DATE

DATE: MARCH 14, 2018

SCALE: 1" = 20'

ROMANELLI ASSOCIATES INC.
PROFESSIONAL LAND SURVEYORS

1162 Rockdale Ave. New Bedford, MA 02740
Phone (508) 995-0100 - (508) 995-6678
WWW.ROMANELLI-INC.COM



JN 17-143



City of New Bedford, MA

Building Division

City Hall, Room 308, 133 William Street
New Bedford, MA 02740

RECEIPT

~~DENIED~~ - NO SITE
PLAN, NO
demo. permit
etc. see
overhead comments

APPLICATION TO CONSTRUCTION, REPAIR, RENOVATE, CHANGE THE USE OR OCCUPANCY OF, OR DEMOLISH A DWELLING

Permit No #: **TB-17-2128** Date Received: **8/28/2017**

Signature: **PUGSLEY JACLYN Daniel Washburn**

Building Commissioner/Inspector of Buildings:

Date

12/6/17 See attached
Comments
before issue
permits!

SECTION 1: SITE INFORMATION

1.1 Property Address 971 OSGOOD ST (N.S.) 305'E. XAVIER STREET ME.	1.2 Assessors Map & Parcel Number 130A-220
1.3 Zoning Information RA Zoning District Proposed Use	1.4 Property Dimensions 8000 Lot Area Frontage (ft)

1.5 Building Setbacks (ft)					
Front Yard		Side Yard		Rear Yard	
Required	Provided	Required	Provided	Required	Provided
20.00	20.00	8.00	17.00	30.00	34.00
1.6 Water Supply False	1.7 Flood Zone Information False				
1.8 Sewage Disposal False					

SECTION 2: PROPERTY AUTHORIZED AGENT

Agent of Record PUGSLEY JACLYN Daniel Washburn	971 OSGOOD STREET				
Name	Address				
	NEW BEDFORD MA 02745				

SECTION 3: Description of Proposed Work

Permit For: **Foundations Only 1-2 Family - 100.00**

Brief Description of Proposed Work:

Foundation

m.s.

*Also - no site
plan - need to
recharge water!
New blg!*

*10/12 - P. M. H. S. conv. w/ymans & re,
ymans is to call guy & set
up mtg. to discuss how
lot's proj. will be + connect
w/ firm for him to be responsible*

SECTION 4: Estimated Construction Costs / Permit Fees

Total Project Cost: **\$10,000.00**
Total Permit Fee Paid: **\$0.00**

Payment Date

Amount Paid

Check No

*for mtr & mtr w/
sparger expansion to
elements!*

Account Number: **02401200-453010 ISPBPM**

THIS IS NOT A PERMIT

ASR-D.P.I. Engrg.

RE: TB-17-2128

Osgood St. (NS) 305' E. x Acushnet Ave.

(Purported Address: 971 Osgood St.-Rebuild of Existing Single Family w/New Addition)

Plot 130A/Lot 220

Reviewed 12/6/2017

Requirements to be met by Owner/Agent for this project:

- 1.) The site plan submitted to D.P.I. by the owner, dated 10/21/2017, prepared by S&K Engineering, LLC and stamped/signed by Kevin J. Silva (P.E.-Civil), was approved by D.P.I., pending the following conditions being met (D.P.I. will not sign the C.O. if these requirements have not been fulfilled):
 - a.) D.P.I. will allow the use of the existing bituminous asphalt driveway opening as long as the driveway width, location and surface condition is not altered. However, being that the owner has already disturbed the existing driveway pavement due to utility work, a driveway permit will have to be obtained for resurfacing. If at the time of applying for the driveway permit the owner/agent has decided to alter (i.e. widen, relocate, etc.) the configuration of the existing driveway opening from what is shown on the site plan, then D.P.I. will have to mark out the location to make sure it is possible. Maximum of 18' allowed for driveway opening for residential driveways. The owner/agent will also have to consult with Inspectional Services to obtain approval regarding the required buffer/setbacks.
 - b.) Water and sewer permits must be obtained to upgrade the existing water and sewer service connections. The new sewer service connection must be 6" SDR 35 PVC (minimum), with a clean out within the City layout, 2' from property line, for a single-family residence. The new water service connection must be 3/4" copper (minimum), with a curb stop within City layout, 1-1/2' from curb/edge of pavement, for single-family residence. There must be a 10' horizontal separation distance between the water and sewer service connections, and must also meet the vertical separation requirements. Any location where horizontal and/or vertical separations cannot be met must be properly encased/sleeved.
 - c.) Obtain all necessary permits/inspections for performing any work under the jurisdiction of D.P.I. within the City Layout or private property that is not denoted on the site plan submitted.

Note: The Owner/Developer is responsible for making sure that Inspectional Services is provided with the latest revised plan.

- 2.) Must provide 3 "stamped"/signed copies of the site plan approved by D.P.I. at the time of this review, when applying for water, sewer/drain and driveway permits at D.P.I. [Any revisions made to the site plan after it has been approved by D.P.I. must be re-submitted for approval, even if the revisions were made per the requirements of another Department.] Also, a copy of the foundation permit and of the "stamped"/signed foundation as-built plan must also be submitted.

Note: Any representative/agent pulling permits on behalf of the owner must provide D.P.I. with a permission slip. If the property was acquired within the past 3 months, then the new owner must also provide a copy of the recorded deed showing property ownership.

- 3.) According to the site plan submitted, there does not appear to be any intention of relocating the existing main entrance door. However, if for any reason the location of the original main entrance is

changed, D.P.I. Engineering must be contacted for a new address number to be issued for the above structure. If the existing main door entrance is not moved, D.P.I. will verify that the number does correspond to the location where it is being used and that it was a legal address assigned by the City. The C.O. will not be signed unless the legal address assigned by the City is permanently affixed to, above, or next to, the entrance to which it was assigned such that it is highly visible from the street.

Please also note the following:

- a.) Any new mains installed must be inspected, tested (witnessed by a D.P.I. inspector), and approved for connection, and the respective as-built must be submitted prior to D.P.I. issuing permits for individual house connections. Installer is responsible for meeting minimum required vertical and horizontal separation for water and sewer mains and services.
- b.) The integrity of any previously existing water and/or sewer service being re-utilized must be determined, and said testing witnessed by a D.P.I. inspector, prior to connection. The owner/developer assumes all responsibility of re-utilizing said service(s). Contractor is responsible for meeting minimum required vertical and horizontal separation for water and sewer services.
- c.) Recorded easements must exist for any water, sewer and drainage pipes being installed on other parcels to service the subject parcel. Recorded easements should also exist for any water, sewer and drainage pipes traversing the subject parcel to service other properties.
- d.) The maximum width allowed for any residential driveway opening is 18'. Any other pre-existing curb cuts along perimeter of property will have to be closed.

The following was a private comment to Inspectional Services:

Note to Inspectional Services: Please kindly print the D.P.I. comments for the owner/applicant at the time they pick up their foundation permit. It is imperative that the owner/applicant receive these comments when they are issued their foundation permit so that they are aware of the conditions under which it was approved.

ASR-D.P.I. Engrg.

RE: TB-17-2128

Osgood St. (NS) 305' E. x Acushnet Ave. (formerly 971 Osgood St.)

Plot 130A/Lot 220

Reviewed 9/5/2017

There is no record at D.P.I. that the water service and sewer service were inspected prior to demolition, nor that the water meter was removed and returned to D.P.I. There is also no record that a deposit was left in place allowing the water service to be cut off at the property line and re-used within the allowed time period designated by D.P.I. There is also no site plan showing the existing conditions and proposed work (i.e. grading, reconnection to City utilities, infiltration system, driveway opening, etc... for the new

house partially being built on the old foundation. They must contact D.P.I. to comply with proper demolition protocol and submit a proper site plan for review.

This is not a receipt. Review your information and click the Process Payment button to process your payment.

Account Information

Payment Type: Permits

Reference Number: 63906000-422186

Phone Number: 5089714520

Payment Information

Payment Amount: \$450.00

Convenience Fee: \$10.76

Total Payment: \$460.76

Payment Method: **VISA**

Card Number: XXXXXXXXXXXXX5969

Expiration Date: 0421

DANIEL WASHBURN

Billing Zip Code: 02744

Terms and Conditions

This service is offered by Value Payment Systems in agreement with New Bedford, MA, City of. All payments are processed immediately, and the payment date and time are equal to the time you complete this transaction and receive a confirmation number. A convenience fee (listed above) is charged by Value Payment Systems for using this service. Your payment and the convenience fee will be listed separately on your card statement. If your payment is unable to be processed, your liability will remain outstanding and you will be subject to any applicable penalties or interest. These obligations remain your sole responsibility. Value Payment Systems, LLC cannot issue refunds once your payment is processed and you receive a confirmation number. Please make sure you enter and review all information carefully for accuracy prior to completing your transaction. By clicking the PROCESS PAYMENT in this page you are agreeing to these Terms and Conditions to process payment.

Edit Payment Details

PROCESS PAYMENT



Commonwealth of Massachusetts

City of New Bedford

133 William Street New Bedford, MA 02740

SEWER PERMIT



Date: **6/21/2018**

No. **WW-18-39**

Sewer Connection Fee: **\$450.00**

Pipe Size: **0.00**

Trench Length: **0.00**

Service Location: **971 OSGOOD ST**

Owner Name: **PUGSLEY JACLYN**

Type of Occupancy: **Residential**

Type of Work: **Sewer - New Sewer Service**

Work Description: **service#24585**

P.130a

L.220

971 OSGOOD ST

oSGOOD sT sT ns 305' e X aCUSHNET aVE

EXPIRES 05-30-18

No. of Units : **0**

Required Design Daily Flow : **0.00**

Provided Daily Flow : **0.00**

The undersigned petitions you to grant permission to ENTER INTO THE MAIN SEWER and, if such permission is granted, hereby agrees to the following:

1. To abide by the conditions and regulations imposed by the Commissioner of Public Works by statute or by ordinance now in force, or as amended from time to time.
2. That the connection of said sewer with the main sewer shall be inspected by an employee of the department of Public Works or by a designated agent of the Town before burial of said connection.
3. That the work shall at all times be under the direction and control of the Commissioner of Public Works or his authorized agent, and that any expense incurred by the Town shall be charged to the permittee, and said permittee agrees to reimburse the Town for said expense.

Installing Company Name: _____

License Type: _____

Address: _____ City/Town/State: _____

Call (781) 942-9077 For Inspection



02744

508 971 4520

CITY OF NEW BEDFORD
DEPARTMENT OF PUBLIC INFRASTRUCTURE
1105 Shawmut Avenue, New Bedford, MA 02746

Date: 5-30-18 20

TO: DPI

FROM: Daniel Washburn
Sewer permit # 24585

CHARGE CODE: DPI Sew

ACCOUNT: 03906000-422185

DEPOSIT \$ \$450 VISA card

Initials TR 10.76
460.76

White & Yellow/Treasurer's Copy • Pink/Department Copy

mon 3/4/19 @ 1:00

Work Order Number: 19-003621

3/1/2019
1:37 PM

Category: Service Lateral Pressure Priority:
Problem: Contractor Inspection Crew:
Cause: Supervisor: STEPHANIE DUPRAS CRAMPTON
Main Task: Inspection Status: New Work Order
Work Order Start Date/Time: Work Order End Date/Time:

Location (s)
971 OSGOOD ST

Comments from Request
SEWER INSPECTION FOR NATHANYL GOMES ON MON 3/4/19 @ 1:00 .. PERMIT #24585

Task Start Date/Time: Task End Date/Time: no plans

Task Code: SWT180 Task Description: Inspection

Employee Number	Employee Name	Time Type				Units
		Reg	OT	Normal	Type	
14950	ANTONIO LEMOS	0.00	0.00	0.00	REGULAR TIME	Hours

Equipment Code	Equipment Description	Units

Material Code	Material Description	Units

Fluid Code	Fluid Description	Units

Postponed.

Tomorrow

3/5/2019

Antonio



exp 5/30/19

PERMIT NO.
24585

CITY OF NEW BEDFORD
SEWER AND/OR STORM DRAIN PERMIT

DATE 5/30/18

This certifies that permission is granted to

Rugsley Jacklyn Daniel Washburn 971 Osgood St.
Property Owner Address Tel.

To connect a sewer and/or storm drain located at 971 Osgood St (n.s) 305' E x Acushnet Ave.

Assessor's Plot 130A Lot 220, to the sewer and/or storm drain in Street

To be laid in accordance with the conditions in this application and the City of New Bedford ordinances.

TYPE OF USE: RESIDENTIAL COMMERCIAL INDUSTRIAL FLOW G.P.D.

If applicant other than actual property owner, attach Letter of Authorization from Property Owner.

Name Tel.

Mailing Address

The Bonded Contractor/Drain Layer authorized to perform this work is:

Name Nathanyl Gomes Address 307 Bonney St. Tel. 5089983901
Type of Pipe Required: PVC

PERMIT EXPIRES ONE YEAR AFTER DATE OF ISSUE

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Bank# Check# VISAcard Date 5/30/18 Receipt# 1701609

Other requirements:

Connection made to Sewer Part of jointly-shared private line YES NO
Storm Drain

Applicant agrees to abide by the above terms, as well as all pertinent ordinances of the City of New Bedford, and such other special rules as the Commissioner of Public Infrastructure and/or City Engineer may deem necessary

City Engineer

Engineering Supervisor

Signature of Property Owner or Representative

INSPECTOR'S REPORT

INSPECTED BY: Antonio Lemos
DATE: 3/07/2019

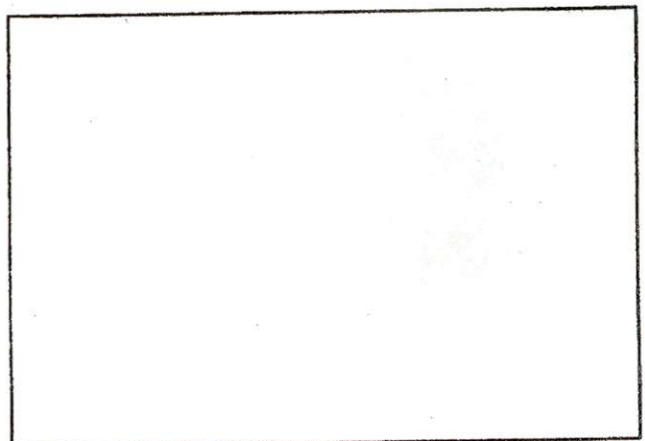
COMMENTS: Repair 6" PVC + CD

APPROVED

DISAPPROVED

Antonio Paulo Lemos

SIGNATURE



SKETCH PLAN

Work Order Number: 19-009435

6/5/2019
12:25 PM

Category:	Service Lateral Gravity	Priority:	
Problem:	Contractor Inspection	Crew:	
Cause:		Supervisor:	STEPHANIE DUPRAS CRAMPTON
Main Task:	Inspect	Status:	New Work Order
Work Order Start Date/Time:		Work Order End Date/Time:	
Department:	WW Wastewater Collection	Area:	
Division:		Sub-Area:	
Sub-Division:			

Location (s)

971 OSGOOD ST

Comments for Crew

PLEASE INSPECT INFILTRATION SYSTEM
5/6/19 AT 9:00 PERMIT #24585
DAN-508-971-4520

Task Start Date/Time: Task End Date/Time:

Task Code: SWT160 Task Description: Inspect

Employee Number	Employee Name	Time Type				Units
		Reg	OT	Normal	Type	
14950	ANTONIO LEMOS	0.00	0.00	0.00	REGULAR TIME	Hours

Equipment Code	Equipment Description	Units

Material Code	Material Description	Units

Fluid Code	Fluid Description	Units



exp 5/30/19

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Name Tel.

Mailing Address

The Bonded Contractor/Drain Layer authorized to perform this work is:

Name Nathanyl Gomes Address 307 Bonney St. Tel. 508 998 3901

Type of Pipe Required: P.V.C.

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Storm Drain

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Signature of City Engineer

City Engineer
Engineering Supervisor

Signature of Property Owner or Representative

INSPECTOR'S REPORT

INSPECTED BY: Antonio P Lemos

DATE: 6/06/2019

COMMENTS:

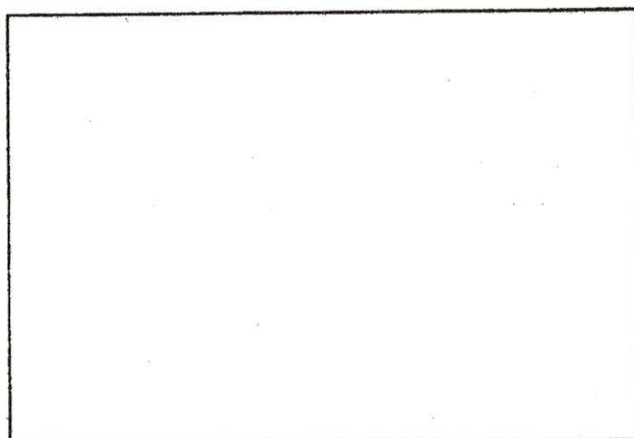
Trlo 885 of Infiltration

APPROVED

DISAPPROVED

Signature of Antonio Lemos

SIGNATURE



SKETCH PLAN