



24556

**CITY OF NEW BEDFORD  
SEWER AND/OR STORM DRAIN PERMIT**

DATE 1-9-18

This certifies that permission is granted to

Micro Media Partners, LLC	77 Stet Rd Dorham, NC 27834	(800) 733-5931
Property Owner	Address	Tel.

To connect a sewer and/or storm drain located at: Qua's Way (WS) 4' E x Cardinal Street

Assessor's Plot ..... Lot....., to the sewer and/or storm drain in..... Street

To be laid in accordance with the conditions in this application and the City of New Bedford ordinances.

TYPE OF USE: RESIDENTIAL COMMERCIAL INDUSTRIAL FLOW G.P.D.

If applicant other than actual property owner, attach Letter of Authorization from Property Owner.

Name Manoel Oliveira Tel.                     

Mailing Address.....

The Bonded Contractor/Drain Layer authorized to perform this work is:

Name	Address	Tel.
------	---------	------

Type of Pipe Required: SDR 33 PVC

**PERMIT EXPIRES ONE YEAR AFTER DATE OF ISSUE**

- Requires separate connections for sewage and storm drain where applicable. Storm water cannot be discharged to a sanitary sewer.
  - All work must be inspected and approved by a D.P.I. inspector before backfilling.
  - If this connection is to be part of a private service shared jointly with other building owners, attach copy of Recorded Joint Maintenance Agreement.
  - Permits can be issued to Industrial and/or Commercial Applicants only upon receipt and approval by the Commissioner of Public Infrastructure of required plans and supplemental information.
  - In addition, a City-issued Industrial User Discharge Permit and/or a Sewer Extension/Connection Permit issued by the Commonwealth of Massachusetts D.E.P. shall be required by the City for Industrial Discharge into the sewer system.
- Industrial User Discharge Permit No. .... Date .....

Comm. Mass. Sewer Conn./Ext. Permit No. .... Date.....

A Filing and Inspection Fee of \$....., plus an Entrance Fee of \$..... where applicable, must accompany this application.

Bank# Bank of Check# 4788 Date 7-9-18 Receipt# 1466513

Other requirements:.....

Connection made to	Sewer	Part of jointly-shared private line	YES	NO
	Storm Drain			

**Applicant agrees to abide by the above terms, as well as all pertinent ordinances of the City of New Bedford, and such other special rules as the Commissioner of Public Infrastructure and/or City Engineer may deem necessary**

.....  
City Engineer

**Signature of Property Owner or Representative**

## INSPECTOR'S REPORT

INSPECTED BY: SEE INSPECT. COPY

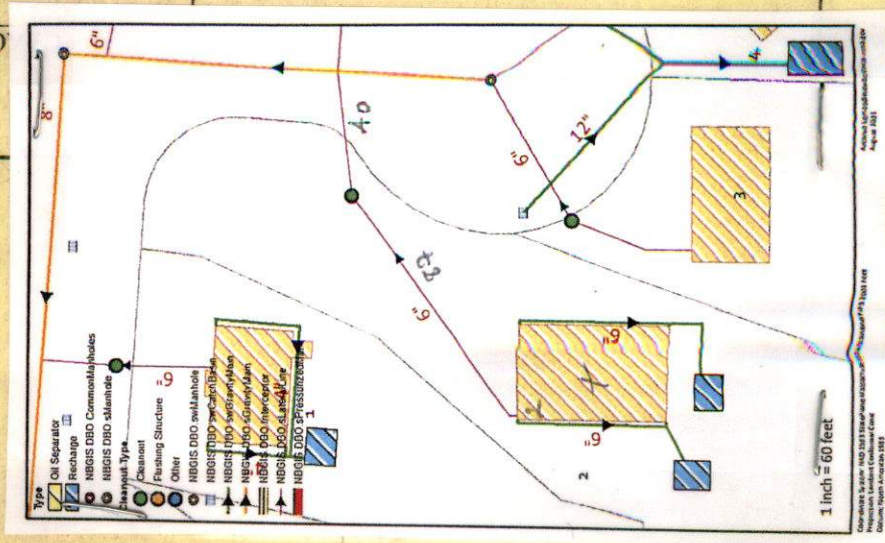
DATE: \_\_\_\_\_

**COMMENTS:**

APPROVED

DISAPPRO

**SIGNATURE**







Inspector James 1/25/18 C Expires 1-9-19  
City # 18-001233 1:00

PERMIT NO.  
**24556**

CITY OF NEW BEDFORD  
SEWER AND/OR STORM DRAIN PERMIT

DATE 1-9-18

This certifies that permission is granted to

Micro Health Partners 77 State Rd Dartmouth (SOS) 733-5931  
Property Owner LLC Address MA, 02748 Tel.

To connect a sewer and/or storm drain located at Ava's way (NS) 74' E x Cardinal Street  
Assessor's Plot 138 Lot 493, to the sewer and/or storm drain in Back Ava's way Street

To be laid in accordance with the conditions in this application and the City of New Bedford ordinances.

TYPE OF USE: RESIDENTIAL COMMERCIAL INDUSTRIAL FLOW \_\_\_\_\_ G.P.D.

If applicant other than actual property owner, attach Letter of Authorization from Property Owner.

Name Monald Oliveira Tel. \_\_\_\_\_

Mailing Address Morgan

The Bonded Contractor/Drain Layer authorized to perform this work is:

Name \_\_\_\_\_ Address \_\_\_\_\_ Tel. \_\_\_\_\_

Type of Pipe Required: SDR 35 PVC

PERMIT EXPIRES ONE YEAR AFTER DATE OF ISSUE

- Requires separate connections for sewage and storm drain where applicable. Storm water cannot be discharged to a sanitary sewer.
- All work must be inspected and approved by a D.P.I. inspector before backfilling.
- If this connection is to be part of a private service shared jointly with other building owners, attach copy of Recorded Joint Maintenance Agreement.
- Permits can be issued to Industrial and/or Commercial Applicants only upon receipt and approval by the Commissioner of Public Infrastructure of required plans and supplemental information.
- In addition, a City-issued Industrial User Discharge Permit and/or a Sewer Extension/Connection Permit issued by the Commonwealth of Massachusetts D.E.P. shall be required by the City for Industrial Discharge into the sewer system.

Industrial User Discharge Permit No. \_\_\_\_\_ Date \_\_\_\_\_

Comm. Mass. Sewer Conn./Ext. Permit No. \_\_\_\_\_ Date \_\_\_\_\_

A Filing and Inspection Fee of \$ 450.00, plus an Entrance Fee of \$ \_\_\_\_\_ where applicable, must accompany this application.

Bank# Bank of America Check# 4788 Date 1-9-18 Receipt# 1466513

Other requirements: \_\_\_\_\_  
FOR INSPECTION ONLY A 24 HOUR NOTICE IS REQUIRED AND THE CONTRACTOR/APPLICANT IS REQUIRED TO NOTIFY THE D.P.I. @ 508 979-1550 Press 4 Repair PERMIT EXPIRES 1 YEAR

Connection made to Sewer F NO  
Storm Drain

Applicant agrees to abide by the above terms, as well as all pertinent ordinances of the City of New Bedford, and such other special rules as the Commissioner of Public Infrastructure and/or City Engineer may deem necessary

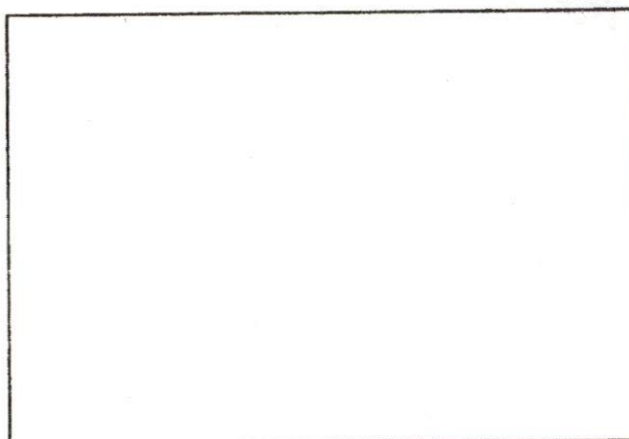
David M. Amato City Engineer  
Monald Oliveira Signature of Property Owner or Representative Manager

INSPECTOR'S REPORT

INSPECTED BY: \_\_\_\_\_  
DATE: \_\_\_\_\_  
COMMENTS: \_\_\_\_\_

APPROVED \_\_\_\_\_ DISAPPROVED \_\_\_\_\_

SIGNATURE



SKETCH PLAN





Commonwealth of Massachusetts

# CITY OF NEW BEDFORD

City Hall, Room 308, 133 William Street New Bedford, MA 02740 (508) 979-1540



## FOUNDATION PERMIT

11/5/2017

No. B-17-2461

MSBC Sect. 111.8 - Any permit issued shall be deemed abandoned and invalid unless the work authorized by it shall have been commenced within six (6) months after its issuance.

FEE PAID \$100.00

This certifies that David Silveira

owner/contractor has permission to:

WS

AVA'S WAY

ON: Foundations Only 1-2 Family - 100.00

Providing that the person accepting this permit shall in every respect conform to the terms of application therefore on file in this office; to the provisions of the statute of the Commonwealth and to the by-laws of the City of New Bedford relating to the inspection, erection, enlarging, altering, raising, moving, repairing, or tearing down of a building.

Permit is issued subject to the following special requirements: (Restrictions)



Wiring Inspector



Plumbing Inspector



Building Inspector

YOUR AREA INSPECTOR IS: Thomas Welch

Tel. (508) 979-1540 Between 8:00am - 9:00am

**NOTICE: NOTIFY INSPECTOR 48 HOURS IN  
ADVANCE OF APPLYING SHEATHING OR LATHING**

**OCCUPANCY PERMIT REQUIRED BEFORE OCCUPANCY**

No Building or Structure shall be used or occupied until the Certificate of Use and Occupancy shall have been issued by the Building Commissioner - MSBC, Sect. 120.1

**This Card Must Be Displayed in a Conspicuous Place on the Premises and Not Torn Down or Removed Until Completion of Work**

SUBJECT TO MASSACHUSETTS  
STATE BUILDING CODE

*Danny D. [Signature]*

Building Inspector

Plan Review Comments:

## Ana S. Rosa

---

**From:** Ron Oliveira [ronoliveira2010@gmail.com]  
**Sent:** Monday, January 08, 2018 9:02 PM  
**To:** Ana S. Rosa  
**Subject:** Fwd:  
**Attachments:** Untitled.PDF - Adobe Acrobat.pdf; ATT00002.htm

Attached is the building permit for lot 2 avas way , I also dropped off the revised copies of the site plans and as built from prime engineering so maybe I can get this one off the ground as well

Sent from my iPhone

Begin forwarded message:

**From:** Maria Sequeira <[MSequeira@newbedford-ma.gov](mailto:MSequeira@newbedford-ma.gov)>  
**Date:** December 20, 2017 at 10:52:59 AM EST  
**To:** "[ronoliveira2010@gmail.com](mailto:ronoliveira2010@gmail.com)" <[ronoliveira2010@gmail.com](mailto:ronoliveira2010@gmail.com)>

: ASR-D.P.I. Engrg.

RE: TB-17-2461  
Ava's Way (WS) 74' S. x Cardinal St.  
Plot 138/Lot 493  
Reviewed 10/4/2017

Requirements to be met by Owner/Developer for this project:

1.) The revised site plan submitted to D.P.I. via View Permit, titled "Lot 2 Ava's Way, New Bedford, Massachusetts", with a date of 8/28/2017, prepared by Prime Engineering Inc. and stamped by Richard J. Rheame, P.E.-Civil was approved conditionally, pending the following revisions/conditions before can obtain permits from D.P.I.:

a. Sewer service and cleanout, and also water service and curb stop, locations must be verified in field and properly depicted on plan before applying for D.P.I. permits. Cleanout location must be 2' from property line within the sidewalk area, not from E.O.P./curb, and sewer service pipe type not called out on plan (minimum is SDR 35 PVC). Viewport in AutoCAD should be adjusted such that the sewer main size/location can also be seen on site plan.

b. Roadway pavement in Ava's Way is not to be disturbed. The existing location of the driveway opening is to remain as installed by the developer of the subdivision. The north and south side edges of driveway apron should be shown perpendicular, not diagonal, to the street layout line, and proper transitions must be provided as per D.P.I. specifications.

c. Site must be developed in accordance with conditions set forth in the approved Subdivision Plans.

Note: The Owner/Developer is responsible for making sure that Inspectional Services is provided with the latest revision of the plan.

2.) Must provide 3 "stamped" copies of final site plan, as approved by D.P.I. at the time of this review, when applying for water, sewer/drain and driveway permits at D.P.I. [All pages must be "stamped" if it is a multi-page plan set. Also, any revisions made to the site plan after it has been approved by D.P.I. must be re-submitted for approval, even if the revisions were made per the requirements of another Department.] In addition, a copy of the foundation permit and of the "stamped" foundation as-built plan must also be submitted. Note that any representative/agent pulling permits on behalf of the owner must provide D.P.I. with a permission slip. If the property was acquired within the past 3 months, then the new owner must also provide a copy of the recorded deed showing property ownership.

3.) Must contact D.P.I.-Engineering to measure for building number (address) once front door is framed. The C.O. will not be signed unless the legal address assigned by the City is permanently affixed to, above, or next to, the entrance to which it was assigned such that it is highly visible from the street.

Please also note the following, which may be applicable to your site:

a.) Any new mains installed must be inspected, tested (witnessed by a D.P.I. inspector), and approved for connection, and the respective as-built must be submitted prior to D.P.I. issuing permits for individual house connections. Installer is responsible for meeting minimum required vertical and horizontal separation for water and sewer mains and services.

b.) The integrity of any previously existing service being re-utilized must be determined, and said testing witnessed by a D.P.I. inspector, prior to connection. The owner/developer assumes all responsibility of re-utilizing said service. The vertical and horizontal separation required between water and sewer must be provided for any new pipe being installed, and in areas where vertical and horizontal separation cannot be achieved, encasement or sleeving of the pipe will be required.

c.) A joint sewer maintenance agreement is required between parties sharing a sewer service line, and will only be permitted by D.P.I. under extenuating circumstances.

d.) Recorded easements must exist for any water, sewer and drainage pipes being installed on other parcels to service the subject parcel. Recorded easements should also exist for any water, sewer and drainage pipes traversing the subject parcel to service other properties.

e.) The maximum width allowed for any residential driveway opening is 18'. Any other pre-existing curb cuts along perimeter of property will have to be closed.

: 1. Water service to be copper and 10ft away from sewer service.

2. Water curb stop/shut off to be 1.5ft from face of curb or pavement.

3. Water meter to be installed at the point entry 1.0ft inside cellar wall.

4. Owner to apply for a water permit.

: the project is to be completed in compliance with SE49-0721 Order of Conditions from the Conservation Commission

: waiting for erosion controls to be installed

: Erect a 48'x30' foundation permit for new construction, of a single family dwelling  
: Any changes, alterations, removal or installation of any gas or plumbing fixture will require a permit as per the provisions of 24B  
CMR.

Work Order Number: 18-001233

1/25/2018  
7:56 AM

Category: Service Lateral Pressure Priority: \_\_\_\_\_  
Problem: Locate Request Crew: \_\_\_\_\_  
Cause: \_\_\_\_\_ Supervisor: STEPHANIE DUPRAS  
Main Task: Inspection Status: New Work Order  
Work Order Start Date/Time: \_\_\_\_\_ Work Order End Date/Time: \_\_\_\_\_

Location (s) \_\_\_\_\_  
AVA'S WAY

Comments from Request  
AVA'S WAY, (NS) 74' E X CARDINAL ST SEWER INSPECTION THU 1/25/18 @ 1:00 SEWER PERMIT  
#24556

Task Start Date/Time: \_\_\_\_\_ Task End Date/Time: \_\_\_\_\_

Task Code: SWT180 Task Description: Inspection

Employee Number	Employee Name	Time Type				Units
		Reg	OT	Normal	Type	
14950	ANTONIO LEMOS	0.00	0.00	0.00	REGULAR TIME	Hours
_____	_____	_____	_____	_____	_____	_____
_____	_____	_____	_____	_____	_____	_____
_____	_____	_____	_____	_____	_____	_____

Equipment Code	Equipment Description	Units
_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____

Material Code	Material Description	Units
_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____

Fluid Code	Fluid Description	Units
_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____



Work Order Number: 18-001322

1/25/2018  
2:20 PM

Category: Water Service Priority: \_\_\_\_\_  
Problem: Locate Request Crew: \_\_\_\_\_  
Cause: \_\_\_\_\_ Supervisor: STEPHANIE DUPRAS  
Main Task: Inspect Status: New Work Order  
Work Order Start Date/Time: \_\_\_\_\_ Work Order End Date/Time: \_\_\_\_\_

Location (s)

AVA'S WAY

Comments from Request

ROOF DRAIN INSPECTION SCHED FOR 1/26/18@1:00 PM, (PLOT 138 LOT 493)

RJ CNAESSA

Sewer # 24556

Task Start Date/Time: \_\_\_\_\_

Task End Date/Time: \_\_\_\_\_

Task Code:

WDT440

Task Description:

Locate / Mark-out

Employee Number	Employee Name	Time Type			Units	
		Reg	OT	Normal		
14950	ANTONIO LEMOS	0.00	0.00	0.00	REGULAR TIME	Hours

Equipment Code	Equipment Description	Units

Material Code	Material Description	Units

Fluid Code	Fluid Description	Units

TWW-18-7



Inspector <sup>Expires</sup> 1-9-19

PERMIT NO.  
24556

CITY OF NEW BEDFORD  
SEWER AND/OR STORM DRAIN PERMIT

DATE 1-9-18

This certifies that permission is granted to

micro health Partners 77 State Rd Dartmouth (508) 733-5931  
Property Owner LLC Address MA, 02748 Tel.

To connect a sewer and/or storm drain located at Ava's way (NS) 74' E x Cardinal Street  
Assessor's Plot 138 Lot 493, to the sewer and/or storm drain in Bina Ava's way Street

To be laid in accordance with the conditions in this application and the City of New Bedford ordinances.  
TYPE OF USE: RESIDENTIAL COMMERCIAL INDUSTRIAL FLOW G.P.D.

If applicant other than actual property owner, attach Letter of Authorization from Property Owner.  
Name: Donald Oliveira Tel.  
Mailing Address: Malden  
The Bonded Contractor/Drain Layer authorized to perform this work is:

Name Address Tel.  
Type of Pipe Required: SDR 35 PVC

PERMIT EXPIRES ONE YEAR AFTER DATE OF ISSUE

- Requires separate connections for sewage and storm drain where applicable. Storm water cannot be discharged to a sanitary sewer.
  - All work must be inspected and approved by a D.P.I. inspector before backfilling.
  - If this connection is to be part of a private service shared jointly with other building owners, attach copy of Recorded Joint Maintenance Agreement.
  - Permits can be issued to Industrial and/or Commercial Applicants only upon receipt and approval by the Commissioner of Public Infrastructure of required plans and supplemental information.
  - In addition, a City-issued Industrial User Discharge Permit and/or a Sewer Extension/Connection Permit issued by the Commonwealth of Massachusetts D.E.P. shall be required by the City for Industrial Discharge into the sewer system.
- Industrial User Discharge Permit No. Date.

Comm. Mass. Sewer Conn./Ext. Permit No. Date.  
A Filing and Inspection Fee of \$450.00, plus an Entrance Fee of \$ where applicable, must accompany this application.

Bank# Bank of America Check# 4788 Date 1-9-18 Receipt# 1466513  
FOR INSPECTION ONLY A 24 HOUR NOTICE IS REQUIRED AND THE CONTRACTOR/APPLICANT IS REQUIRED TO NOTIFY THE D.P.I. @ 508 979-1550 Press 4 Repair PERMIT EXPIRES 1 YEAR

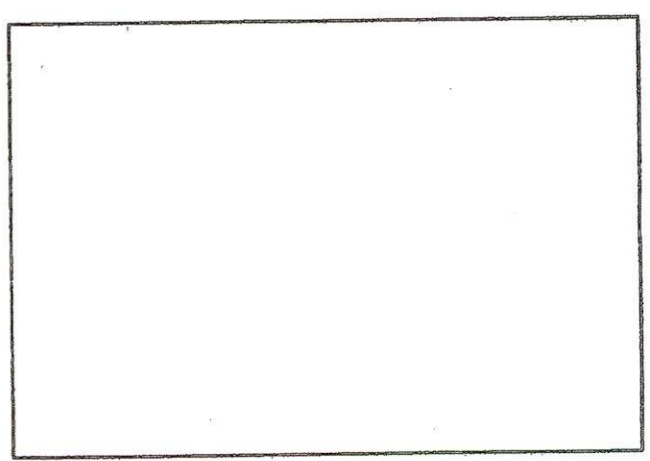
Other requirements: Sewer  
Connection made to Storm Drain F NO

Applicant agrees to abide by the above terms, as well as all pertinent ordinances of the City of New Bedford, and such other special rules as the Commissioner of Public Infrastructure and/or City Engineer may deem necessary

City Engineer: [Signature]  
Signature of Property Owner or Representative Manager: [Signature]

INSPECTOR'S REPORT

INSPECTED BY: Antonio Lemos  
DATE: 1/26/2018  
COMMENTS: OK  
6" + 20" + infiltration  
APPROVED DISAPPROVED  
Antonio Lemos  
SIGNATURE



SKETCH PLAN