



PERMIT NO.

24553

CITY OF NEW BEDFORD
SEWER AND/OR STORM DRAIN PERMIT

DATE

2-21-17

This certifies that permission is granted to

Property Owner

Address

Tel.

To connect a sewer and/or storm drain located at

Assessor's Plot 130B Lot 983, to the sewer and/or storm drain in Street

To be laid in accordance with the conditions in this application and the City of New Bedford ordinances.

TYPE OF USE: RESIDENTIAL COMMERCIAL INDUSTRIAL FLOW G.P.D.

If applicant other than actual property owner, attach Letter of Authorization from Property Owner.

Name

Tel.

Mailing Address

The Bonded Contractor/Drain Layer authorized to perform this work is:

Name

Address

Tel.

Type of Pipe Required:

PERMIT EXPIRES ONE YEAR AFTER DATE OF ISSUE

- Requires separate connections for sewage and storm drain where applicable. Storm water cannot be discharged to a sanitary sewer.
 - All work must be inspected and approved by a D.P.I. inspector before backfilling.
 - If this connection is to be part of a private service shared jointly with other building owners, attach copy of Recorded Joint Maintenance Agreement.
 - Permits can be issued to Industrial and/or Commercial Applicants only upon receipt and approval by the Commissioner of Public Infrastructure of required plans and supplemental information.
 - In addition, a City-issued Industrial User Discharge Permit and/or a Sewer Extension/Connection Permit issued by the Commonwealth of Massachusetts D.E.P. shall be required by the City for Industrial Discharge into the sewer system.
- Industrial User Discharge Permit No. Date

Comm. Mass. Sewer Conn./Ext. Permit No. Date

A Filing and Inspection Fee of \$, plus an Entrance Fee of \$, where applicable, must accompany this application.

Bank# Mutual Bank Check# 1133 Date 2-21-17 Receipt# 1448756

Other requirements:

Connection made to Sewer Part of jointly-shared private line YES NO
Storm Drain

Applicant agrees to abide by the above terms, as well as all pertinent ordinances of the City of New Bedford, and such other special rules as the Commissioner of Public Infrastructure and/or City Engineer may deem necessary.

City Engineer

Signature of Property Owner or Representative

INSPECTOR'S REPORT

INSPECTED BY:

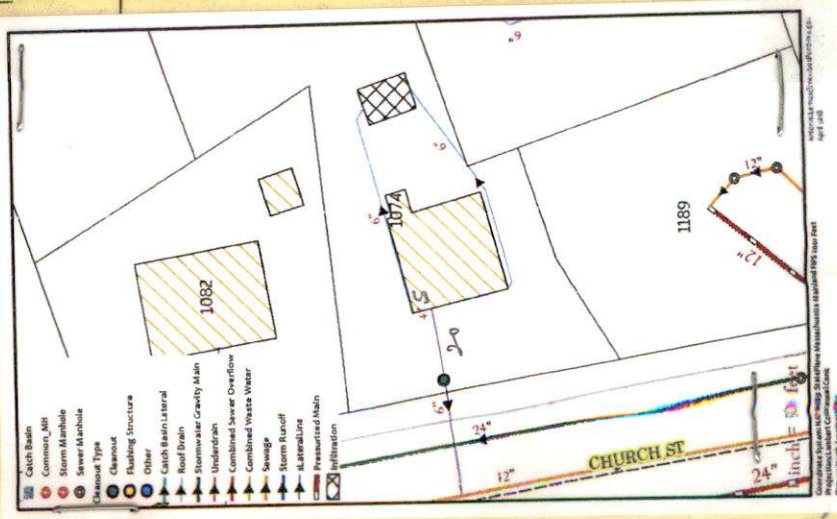
DATE:

COMMENTS:

APPROVED

DISAPPROVED

SIGNATURE



1111-18-2

LXP 12-21-18



PERMIT NO.
24553

CITY OF NEW BEDFORD
SEWER AND/OR STORM DRAIN PERMIT

DATE 12-21-17

This certifies that permission is granted to

Dos Amigos Realty LLC-2854 Cranberry Hwy E Wareham MA 02538
Property Owner Address Tel.

To connect a sewer and/or storm drain located at Church St (E.S.) 111' N x Joyce St

Assessor's Plot BOB 983 Lot 983, to the sewer and/or storm drain in Street

To be laid in accordance with the conditions in this application and the City of New Bedford ordinances.

TYPE OF USE: RESIDENTIAL COMMERCIAL INDUSTRIAL FLOW _____ G.P.D.

If applicant other than actual property owner, attach Letter of Authorization from Property Owner.

Pending Contractor.

Name Tel.

Mailing Address

The Bonded Contractor/Drain Layer authorized to perform this work is:

Name Address Tel.

Type of Pipe Required:

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- Industrial User Discharge Permit No. Date

Comm. Mass. Sewer Conn./Ext. Permit No. Date

A Filing and Inspection Fee of \$ 450, plus an Entrance Fee of \$ where applicable, must accompany this application.

Bank# Mutual bank Check# 1133 Date 12-21-17 Receipt# 1448956

Other requirements:

Connection made to Sewer Part of jointly-shared private line YES NO
Storm Drain

Applicant agrees to abide by the above terms, as well as all pertinent ordinances of the City of New Bedford, and such other special rules as the Commissioner of Public Infrastructure and/or City Engineer may deem necessary.

Stephanie Croxton (TR)
City Engineer

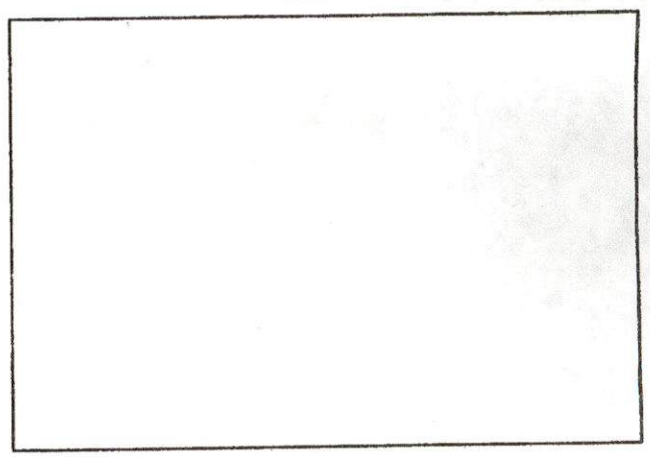
[Signature]
Signature of Property Owner or Representative

INSPECTOR'S REPORT

INSPECTED BY: _____
DATE: _____
COMMENTS: _____

APPROVED _____ DISAPPROVED _____

SIGNATURE



SKETCH PLAN

Lucy #18-002394

Drain Inspector: Friday 2/9/18

LXP 12-21-18



CITY OF NEW BEDFORD
SEWER AND/OR STORM DRAIN PERMIT

PERMIT NO.
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DATE 12-21-17

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If applicant other than actual property owner, attach Letter of Authorization from Property Owner.
Name Tel.
Mailing Address
The Bonded Contractor/Drain Layer authorized to perform this work is:
Name Address Tel.
Type of Pipe Required:

Pending Contractor

PERMIT EXPIRES ONE YEAR AFTER DATE OF ISSUE

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 - All work must be inspected and approved by a D.P.I. inspector before backfilling.
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 - In addition, a City-issued Industrial User Discharge Permit and/or a Sewer Extension/Connection Permit issued by the Commonwealth of Massachusetts D.E.P. shall be required by the City for Industrial Discharge into the sewer system.
- Industrial User Discharge Permit No. Date

Comm. Mass. Sewer Conn./Ext. Permit No. Date
A Filing and Inspection Fee of \$450, plus an Entrance Fee of \$ where applicable, must accompany this application.

Bank# Mutual Bank Check# 1133 Date 12-21-17 Receipt# 1448956

Other requirements:

Connection made to Sewer Part of jointly-shared private line YES NO
Storm Drain

Applicant agrees to abide by the above terms, as well as all pertinent ordinances of the City of New Bedford, and such other special rules as the Commissioner of Public Infrastructure and/or City Engineer may deem necessary.

Stephanie Croston (TR)
City Engineer

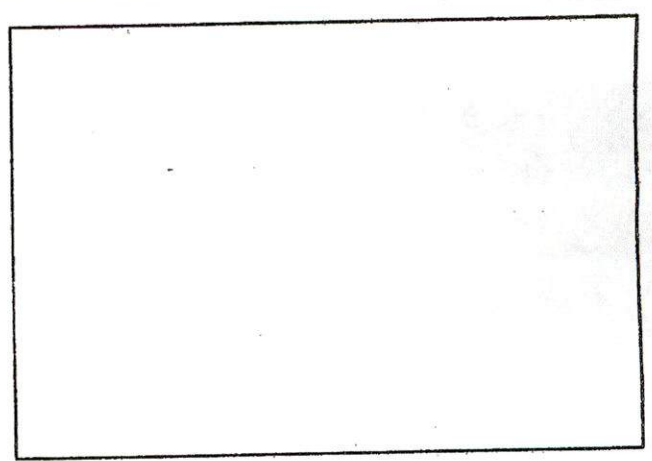
Signature of Property Owner or Representative

INSPECTOR'S REPORT

INSPECTED BY: Antonio Lemos
DATE: 4/05/2018
COMMENTS:

NEW SERVICE 4" 6"
APPROVED DISAPPROVED

Antonio Lemos
SIGNATURE



SKETCH PLAN

DISPLAY PERMIT IN A CONSPICUOUS PLACE ON THE PREMISES



Commonwealth of Massachusetts

City of New Bedford

133 William Street New Bedford, MA 02740

SEWER PERMIT



Date: **1/23/2018**

No. **WW-18-2**

Sewer Connection Fee: **\$450.00**

Pipe Size: **0.00**

Trench Length: **0.00**

Service Location: **ES CHURCH ST**

Owner Name: **DOS AMIGOS REALTY LLC**

Type of Occupancy: **Residential**

Type of Work: **Sewer - New Sewer Service**

Work Description: **service#24553**
P.130B
L.983

Church ST ES 111' N x Joyce St

No. of Units : **0** Required Design Daily Flow : **0.00** Provided Daily Flow : **0.00**

The undersigned petitions you to grant permission to ENTER INTO THE MAIN SEWER and, if such permission is granted, hereby agrees to the following:

1. To abide by the conditions and regulations imposed by the Commissioner of Public Works by statute or by ordinance now in force, or as amended from time to time.
2. That the connection of said sewer with the main sewer shall be inspected by an employee of the department of Public Works or by a designated agent of the Town before burial of said connection.
3. That the work shall at all times be under the direction and control of the Commissioner of Public Works or his authorized agent, and that any expense incurred by the Town shall be charged to the permittee, and said permittee agrees to reimburse the Town for said expense.

Installing Company Name: _____ License Type: _____

Address: _____ City/Town/State: _____

GRANTED WITH THE USUAL CONDITIONS

Call (781) 942-9077 For Inspection

DOS AMIGOS REALTY, LLC

2854 CRANBERRY HIGHWAY
EAST WAREHAM, MA 02538

MUTUAL BANK

1133
63-7050/2113
12/21/2017

PAY TO THE
ORDER OF

City of New Bedford

\$ **450.00

Four Hundred Fifty and 00/100

DOLLARS

City of New Bedford
1105 Shawmut Avenue
New Bedford, MA 02746

MEMO

Sewer/Water- Church Street

⑈001133⑈ ⑆211370503⑆

845 492 8



CITY OF NEW BEDFORD

DEPARTMENT OF PUBLIC INFRASTRUCTURE

1105 Shawmut Avenue, New Bedford, MA 02746

Date: 12-21-17 20

to: DPI

FROM: Dos Amigos Realty LLC

Sewer # 24553

CHARGE CODE: DPI Sew

ACCOUNT: 03900000-022185

DEPOSIT \$ 450 check # 1133

Initials TR

White & Yellow/Treasurer's Copy • Pink/Department Copy



Commonwealth of Massachusetts

CITY OF NEW BEDFORD

City Hall, Room 308, 133 William Street New Bedford, MA 02740 (508) 979-1540



FOUNDATION PERMIT

No. B-17-1913

MSBC Sect. 111.8 - Any permit issued shall be deemed abandoned and invalid unless the work authorized by it shall have been commenced within six (6) months after its issuance.

9/14/2017

FEE PAID \$100.00

This certifies that JC Engineering License #41807

owner/contractor has permission to: ES CHURCH ST

on: Foundations Only 1-2 Family - 100.00 130B - 983

Providing that the person accepting this permit shall in every respect conform to the terms of application therefore on file in this office; to the provisions of the statute of the Commonwealth and to the by-laws of the City of New Bedford relating to the inspection, erection, enlarging, altering, raising, moving, repairing, or tearing down of a building.

Permit is issued subject to the following special requirements: (Restrictions)

 Wiring Inspector



Plumbing Inspector



Building Inspector

YOUR AREA INSPECTOR IS: Thomas Welch

Tel. (508) 979-1540 Between 8:00am - 9:00am

**NOTICE: NOTIFY INSPECTOR 48 HOURS IN
ADVANCE OF APPLYING SHEATHING OR LATHING**

OCCUPANCY PERMIT REQUIRED BEFORE OCCUPANCY

No Building or Structure shall be used or occupied until the Certificate of Use and Occupancy shall have been issued by the Building Commissioner - MSBC, Sect. 120.1

This Card Must Be Displayed in a Conspicuous Place on the Premises and Not Torn Down or Removed Until Completion of Work

SUBJECT TO MASSACHUSETTS
STATE BUILDING CODE



Building Inspector

Plan Review Comments:

: ASR-D.P.I. Engrg.

RE: TB-17-1913
Church St. (ES) 111' N. x Joyce St.
Plot 130B/Lot 983
Reviewed 9/8/2017

Requirements to be met by Owner/Developer for this project:

1.) The revised site plan submitted to D.P.I., titled "Proposed Site Plan at Church Street, New Bedford, MA 02745", dated 7/25/2017, with a revision date of 8/31/2017, prepared by JC engineering, Inc. and stamped by John L. Churchill, Jr., P.L.S. and P.E.-Civil, was approved conditionally, pending the following revisions before applying for permits at D.P.I.:

- a. Polyethylene water service pipe is not allowed by D.P.I. (must be copper)... please revise on plan.
- b. Sewer service pipe must be SDR 35... please revise on plan.

The Owner/Developer is responsible for making sure that Inspectional Services is provided with the latest revised plan.

2.) Must provide 3 "stamped" copies of final site plan, as approved by D.P.I. at the time of this review, when applying for water, sewer/drain and driveway permits at D.P.I. [All pages must be "stamped" if it is a multi-page plan set.] Any changes made to the site plan after it has been approved by D.P.I. must be re-submitted for approval, even if the revisions were made per the requirements of another Department.] In addition, a copy of the foundation permit and of the "stamped" foundation as-built plan must also be submitted. Note that any representative/agent pulling permits on behalf of the owner must provide D.P.I. with a permission slip. If the property was acquired within the past 3 months, then the new owner must also provide a copy of the recorded deed showing property ownership.

3.) Must contact D.P.I.-Engineering to measure for building number (address) once front door is framed. The C.O. will not be signed unless the legal address assigned by the City is permanently affixed to, above, or next to, the entrance to which it was assigned such that it is highly visible from the street.

Please also note the following, which may be applicable to your site:

- a.) Any new mains installed must be inspected, tested (witnessed by a D.P.I. inspector), and approved for connection, and the respective as-built must be submitted prior to D.P.I. issuing permits for individual house connections. Installer is responsible for meeting minimum required vertical and horizontal separation for water and sewer mains and services.
- b.) The integrity of any previously existing service being re-utilized must be determined, and said testing witnessed by a D.P.I. inspector, prior to connection. The owner/developer assumes all responsibility of re-utilizing said service. The vertical and horizontal separation required between water and sewer must be provided for any new pipe being installed, and in areas where vertical and horizontal separation cannot be achieved, encasement or sleeving of the pipe will be required.
- c.) A joint sewer maintenance agreement is required between parties sharing a sewer service line, and will only be permitted by D.P.I. under extenuating circumstances.
- d.) Recorded easements must exist for any water, sewer and drainage pipes being installed on other parcels to service the subject parcel. Recorded easements should also exist for any water, sewer and drainage pipes traversing the subject parcel to service other properties.
- e.) The maximum width allowed for any residential driveway opening is 18'. Any other pre-existing curb cuts along perimeter of property will have to be closed.

:

: The home will be connected to city sewage.

: compliance with NB Zoning side yard setbacks is req. (10' min.)

: contractor req., hers rater req., stretch code performance reqs.req.

: Any changes, alterations, removal or installation of any gas or plumbing fixture will require a permit as per the provisions of 248 CMR.

: 1. Water service to be 10ft away from sewer service.

2. Water service curb stop/shut off to be 1.5ft from face of curb/ Pavement.

3. Install water meter at point on entry into the building.

4. Owner to apply for a water permit.

: ASR-D.P.I. Engrg.

RE: TB-17-1913
Church St. (ES) 111' N. x Joyce St.
Plot 130B/Lot 983
Reviewed 8/15/2017

Site plan submitted must include the following information:

1. Location/size/type of proposed water service needs to be specified on plan. Water curb stop must be 1-1/2' from curb (or edge of road pavement), within the sidewalk area. Size of existing water main should be called out on plan. Any bends in the water service must remain within the private property, and a 10' separation distance must be maintained from sewer service throughout.
2. Location/size/type of proposed sewer service needs to be specified on plan. Sewer cleanout must be 2' from property line, within the sidewalk area, and location be shown on plan. Size of existing sewer main should be called out on plan. Linework depicting existing sewer main/proposed sewer service location is very faint on plan and needs to be changed to a more visible line type. Minimum size of proposed sewer service allowed is 6" and it looks like 4" is called out on plan.
3. Size/type of driveway brow (opening) is to be called out on plan (maximum is 18' wide). Radii not allowed on driveway brow (must be straight shot to street line) and need proper transitions per City specs.
4. Roof runoff must be infiltrated into ground. Show location, calcs. and specs. for proposed recharge system on plan.

: ASR-D.P.I. Engrg.

No PVC water service connections allowed.



City of New Bedford, MA

Building Division
City Hall, Room 308, 133 William Street
New Bedford, MA 02740

RECEIPT

APPLICATION TO CONSTRUCTION, REPAIR, RENOVATE, CHANGE THE USE OR OCCUPANCY OF, OR DEMOLISH A DWELLING

Permit No #: B-17-1913	Date Received: 8/4/2017
Signature: JC Engineering License #41807	
Building Commissioner/Inspector of Buildings:	Date:

SECTION 1 : SITE INFORMATION

1.1 Property Address ES CHURCH ST		1.2 Assessors Map & Parcel Number 130B-983	
1.3 Zoning Information RA		1.4 Property Dimensions 12111	
Zoning District	Proposed Use	Lot Area	Frontage (ft)

1.5 Building Setbacks (ft)					
Front Yard		Side Yard		Rear Yard	
Required	Provided	Required	Provided	Required	Provided
20.00	23.20	8.00	16.60	30.00	139.30
1.6 Water Supply	False	1.7 Flood Zone Information		1.8 Sewage Disposal	False

SECTION 2: PROPERTY AUTHORIZED AGENT

Agent of Record			
JC Engineering License #41807	2854 Cranberry Hwy.	East Wareham	Ma. 02538
Name	Address		

SECTION 3: Description of Proposed Work

Permit For: Foundations Only 1-2 Family - 100.00
Brief Description of Proposed Work: foundation for single family m.s.

SECTION 4: Estimated Construction Costs / Permit Fees

Total Project Cost :	\$10,000.00	Payment Date	Amount Paid	Check No
Total Permit Fee Paid:	\$100.00	9/11/2017	\$100.00	1080
Account Number : 02401200-453010 ISPBPM				

THIS IS NOT A PERMIT

130 B

[illegible]

Work Order Number: 18-002397

2/15/2018
9:14 AM

Category: Service Lateral Gravity Priority: _____
Problem: Contractor Inspection Crew: _____
Cause: _____ Supervisor: STEPHANIE DUPRAS
Main Task: Investigate / Inspect Status: New Work Order
Work Order Start Date/Time: _____ Work Order End Date/Time: _____

Location (s)

CHURCH ST

Comments from Request

drain inspection Church ST ES 111' N x Joyce St P130B L 983 2/9/18 Friday

Task Start Date/Time: _____ Task End Date/Time: _____

Task Code: SWT220 Task Description: Investigate / Inspect

Employee Number	Employee Name	Time Type				Units
		Reg	OT	Normal	Type	
14950	ANTONIO LEMOS	0.00	0.00	0.00	REGULAR TIME	Hours

_____	_____	_____	_____	_____	_____	_____
_____	_____	_____	_____	_____	_____	_____
_____	_____	_____	_____	_____	_____	_____

Equipment Code	Equipment Description	Units
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_____	_____	_____
_____	_____	_____
_____	_____	_____

Material Code	Material Description	Units
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_____	_____	_____
_____	_____	_____
_____	_____	_____

Fluid Code	Fluid Description	Units
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_____	_____	_____
_____	_____	_____
_____	_____	_____

Work Order Number: 18-004981

4/5/2018
2:39 PM

Category: Service Lateral Gravity Priority: _____
Problem: Locate Request Crew: _____
Cause: _____ Supervisor: STEPHANIE DUPRAS
Main Task: Investigate / Inspect Status: New Work Order
Work Order Start Date/Time: _____ Work Order End Date/Time: _____

Location (s)

CHURCH ST

Comments from Request

sewer inspection , sewer permit # 24553 plot 130B lot 983 - sched for 4/5/18 @ 3:00pm

Task Start Date/Time: _____ Task End Date/Time: _____

Task Code: SWT220 Task Description: Investigate / Inspect

Employee Number	Employee Name	Time Type			Units	
		Reg	OT	Normal		
14950	ANTONIO LEMOS	0.00	0.00	0.00	REGULAR TIME	Hours

_____	_____	_____	_____	_____	_____	_____
_____	_____	_____	_____	_____	_____	_____
_____	_____	_____	_____	_____	_____	_____

Equipment Code	Equipment Description	Units
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_____	_____	_____
_____	_____	_____
_____	_____	_____

Material Code	Material Description	Units
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_____	_____	_____
_____	_____	_____
_____	_____	_____

Fluid Code	Fluid Description	Units
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_____	_____	_____
_____	_____	_____
_____	_____	_____